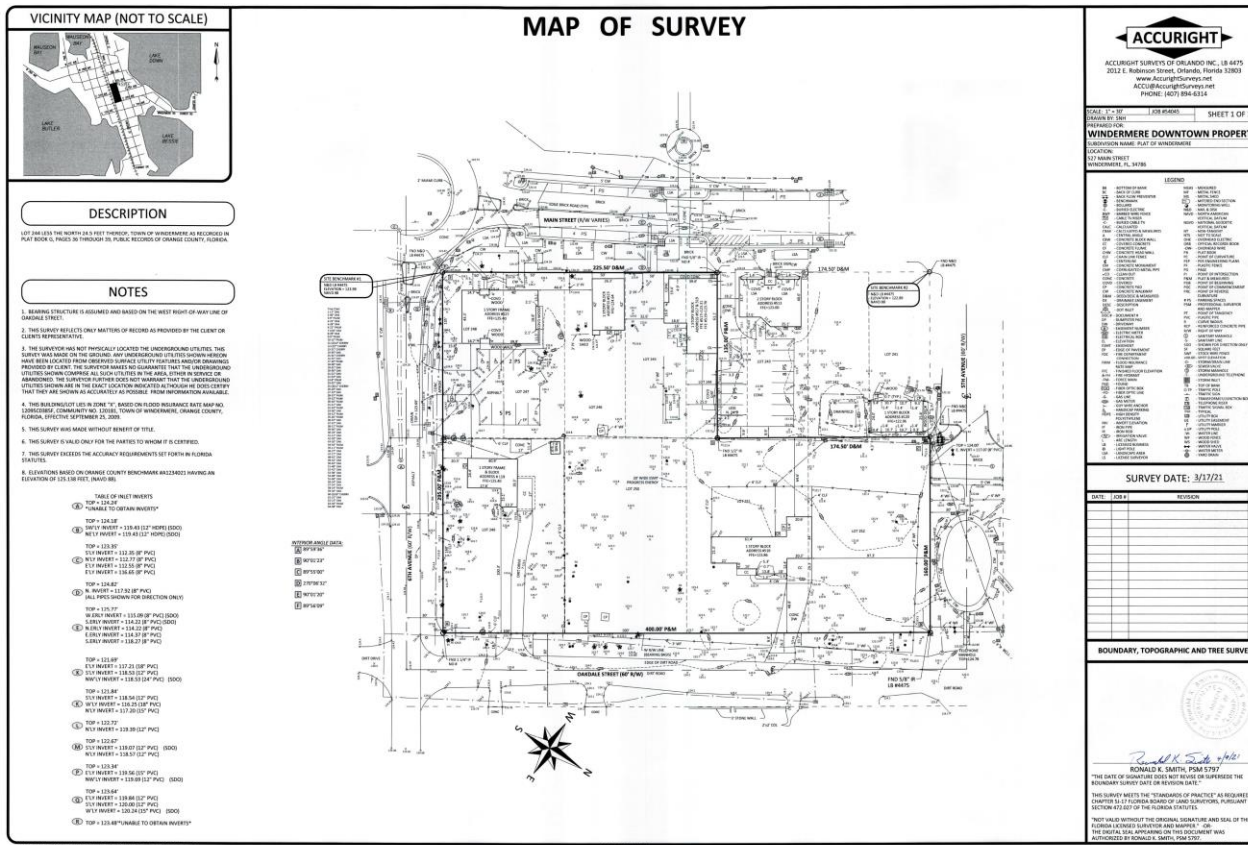


Downtown Windermere Properties  
Final Reading  
Ordinance 2023-02  
Development Agreement  
Final Development Plan/  
Major Site Plan

Town Council



August 8, 2023



# Project Location

Northeast Corner of Main Street and E. 6<sup>th</sup> Avenue

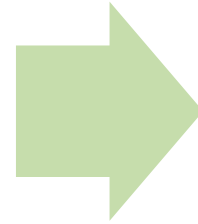
2.17 acres +/-

Property Owner is Downtown Windermere Properties, LLC

Applicant is V3 Capital Group, LLC

# Planned Unit Development (PUD) Process

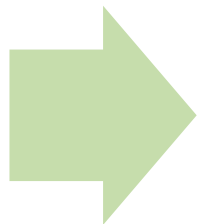
Pre-Application  
2019



Conceptual Plan Review  
DRB Individual Comments October  
2020



PUD Zoning and Preliminary  
Development Plan (PDP)  
Town Council Approved, June 8, 2021,  
by Ordinance 2021-01



Final Development Plan (FDP)/  
Major Site Plan  
DRB, June 20, 2023  
Town Council, July 11, 2023,  
and August 8, 2023



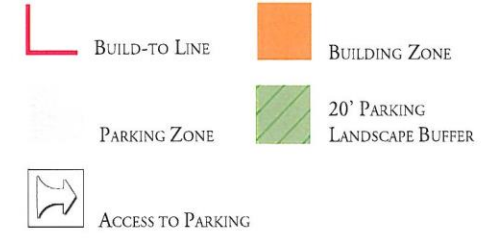
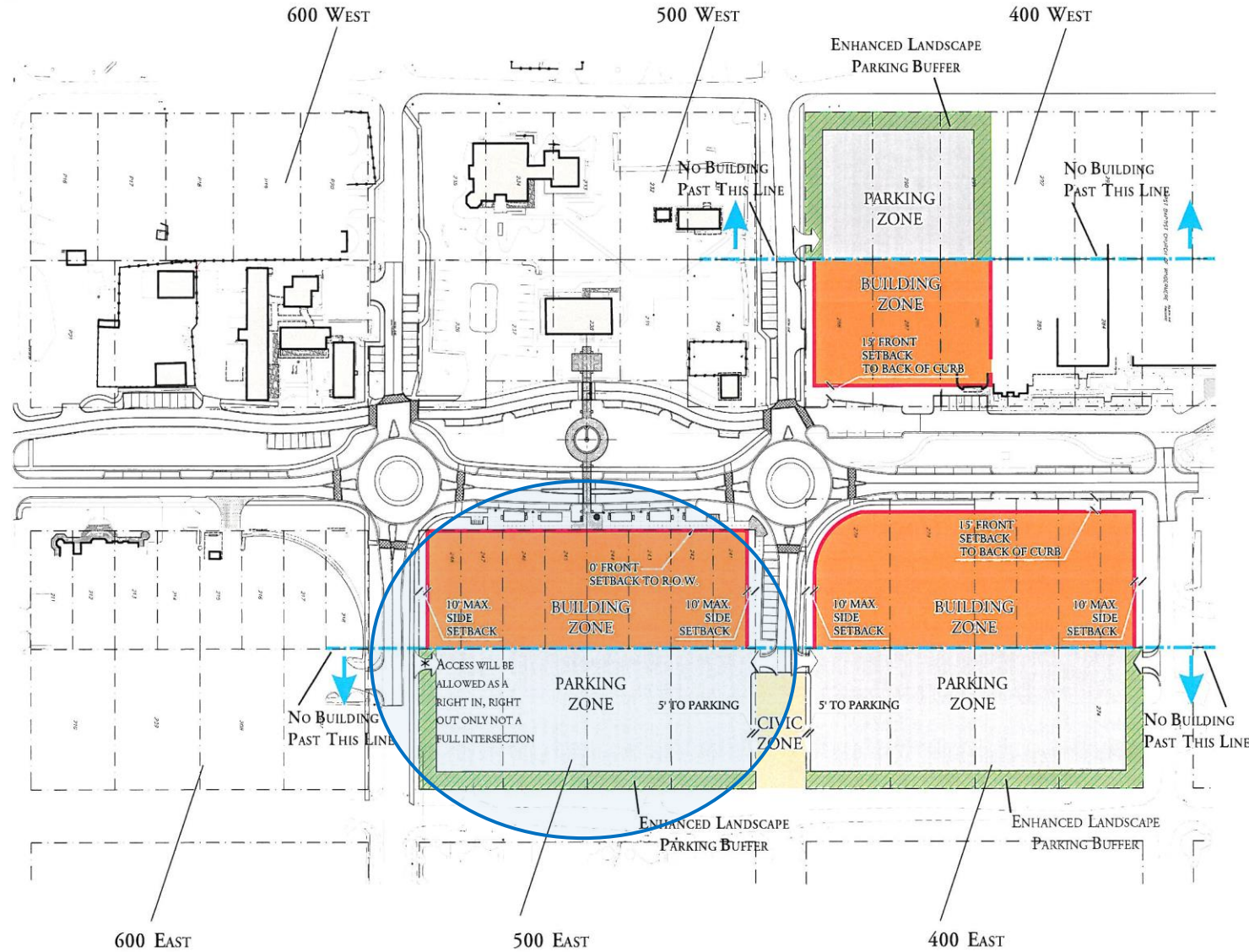
# Purpose of PUD

Property located within Town Center Overlay District as adopted in Town's Comprehensive Plan

Development within the District requires rezoning to Planned Unit Development (PUD) with a Preliminary Development Plan - Town Council Approved June 2021 (Ordinance 2021-01)

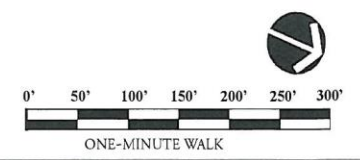
Development regulated with design standards of Town Center Design Guidelines (2004)

Building and parking configuration, buffering, number of parking spaces, building façade, etc.



- NOTES:**
1. PARKING MAY ENCRUCH INTO BUILDING ZONE.
  2. BUFFER ZONES MAY ENCRUCH INTO BUILDING ZONE.
  3. SEE LANDSCAPE SECTION FOR DETAILED PARKING LOT DESIGN, AND LANDSCAPE PARKING BUFFERS.

- Building:**
- Rear Setback: 120' Min. from Buffer Zone
  - Building Frontage: 80% Min. on Main Street
- Parking Spaces:**
- Required off-street Parking Spaces:
- A. Req. Off-Street: 4 parking spaces per 1,000 SF
  - B. Mitigation Measures: 3.5 parking spaces per 1,000 SF

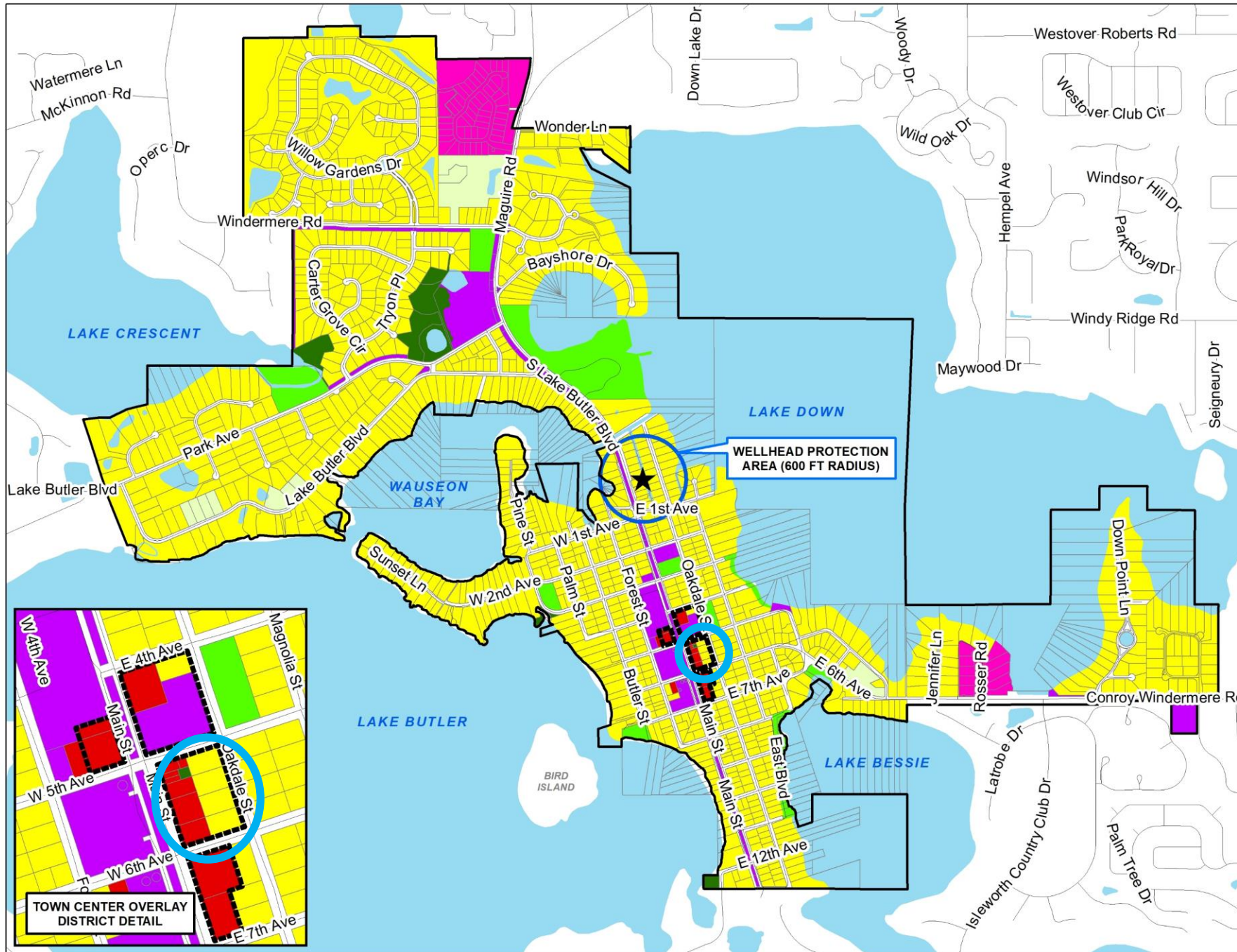




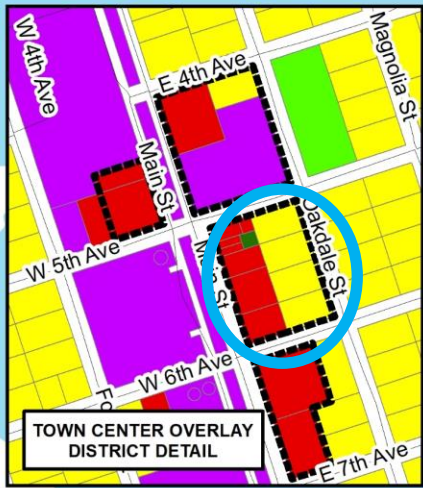
# TOWN OF WINDERMERE FUTURE LAND USE MAP 2035

## Legend

-  Town Limits
  -  Town Center Overlay District
  -  Potable Water Wellhead
  -  Wellhead Protection Area
  -  Roads
  -  Parcel Boundaries
- Future Land Use**
- Description**
-  Agricultural
  -  Commercial
  -  Conservation
  -  Public Use
  -  Planned Unit Development (PUD)
  -  Recreation
  -  Single Family Residential
  -  Lakes



WELLHEAD PROTECTION AREA (600 FT RADIUS)



TOWN CENTER OVERLAY DISTRICT DETAIL

Sources: Town of Windermere, Orange County.  
 Note: This map and digital data are for planning purposes only and should not be used to determine the precise location of a feature. Acreage is approximate and GIS derived.



TOWN OF WINDERMERE  
 614 MAIN STREET  
 WINDERMERE, FL 34786  
 407.876.2563  
 WWW.TOWN.WINDERMERE.FL.US

# Town Council Public Workshops

Required Town Council Public Workshops Prior to Final Development Plan Submission:

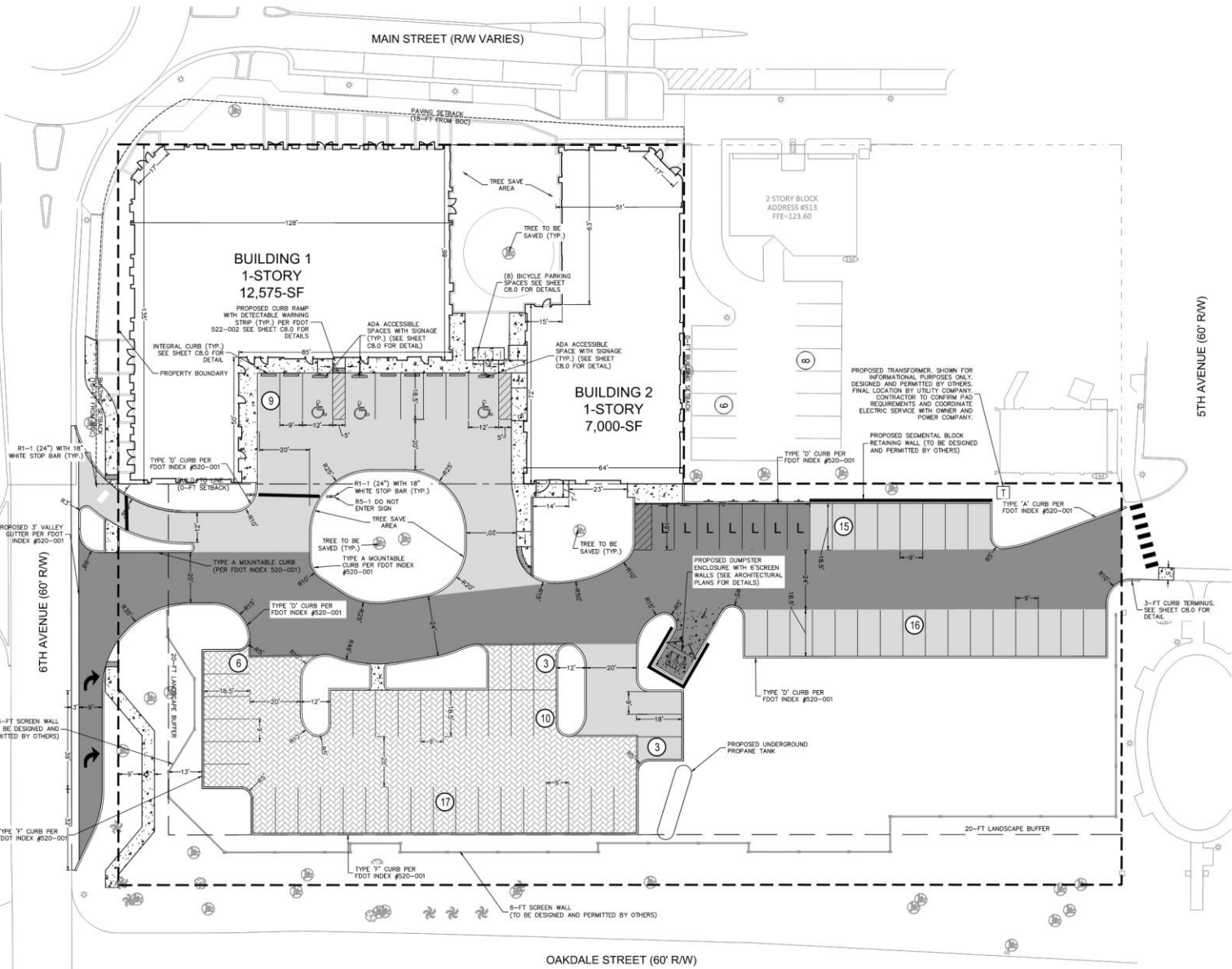
1. March 3, 2022
2. September 7, 2022
3. January 24, 2023
4. February 28, 2023

Review of proposed plans and discussion of significant issues:

- Parking
- Trees
- Building Design
- Buffering



Project: Windermere, Downtown, Property: 149273004, Date: July 31, 2023, 04:51:25pm, User: C:\Users\jason\OneDrive - Kimley-Horn and Associates, Inc. OneDrive\Projects\149273004\Drawings\DWG\149273004-01-Site-Plan.dwg  
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**OVERALL SITE DATA:**

PROJECT AREA: 2.17 ACRES (94,401 SF)  
 ZONING: PD - PLANNED DEVELOPMENT  
 FUTURE LAND USE: TOWN CENTER OVERLAY  
 PROPOSED USE: COMMERCIAL  
 MAXIMUM BUILDING HEIGHT: 35 FEET

**BUILDING COVERAGE:**

BUILDING AREA: 19,575 SF (0.45 AC)  
 MAXIMUM ALLOWABLE F.A.R.: 0.30  
 F.A.R. (21,750 SF/94,401 SF): 0.21

SETBACKS:	BUILDING	PAVING
ORNDORF STREET (EAST)	15 FT	20 FT
6TH AVENUE (SOUTH)	10 FT MAX	20 FT
5TH AVENUE (NORTH)	0 FT	5 FT TO PARKING
MAIN STREET (WEST)	0 FT	15 FT (TO B.O.C.)

**IMPERVIOUS CALCULATIONS**

MAXIMUM ALLOWABLE IMPERVIOUS AREA (80%): 1.74 AC  
 BUILDING AREA: 0.45 AC  
 ASPHALT/CONCRETE AREA: 0.29 AC  
 TOTAL IMPERVIOUS AREA: 1.04 AC (47.0%)

**REQUIRED PARKING:**

4 SPACES / 1000 GSF: 79 SPACES  
 19,575 GSF / (4 SPACES / 1000 GSF): 79 SPACES  
 TOTAL PARKING SPACES REQUIRED: 79 SPACES

**PROVIDED PARKING:**

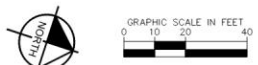
REGULAR SPACES (9'x18.5'): 76 SPACES  
 HANDICAP SPACES: 3 SPACES  
 TOTAL SPACES PROVIDED: 79 SPACES

**COMMERCIAL REQUIRED BICYCLE PARKING:**

REQUIRED: 0.10 PER REQUIRED PARKING SPACE: 8 SPACES  
 0.10 x 79: 8 SPACES  
 TOTAL SPACES PROVIDED: 8 SPACES

**LEGEND**

- PROPERTY BOUNDARY
- PROPOSED PARKWAY/RETENTION TRENCH AREA (SEE SHEET C8.0 FOR DETAILS)
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE SHEET C8.0 FOR DETAILS)
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE SHEET C8.0 FOR DETAILS)
- DUAL USE PARKING SPACE WITH SIGNAGE (SEE SHEET C8.0 FOR DETAILS)
- PROPOSED CONCRETE PAVEMENT (SEE SHEET C8.0 FOR DETAILS)

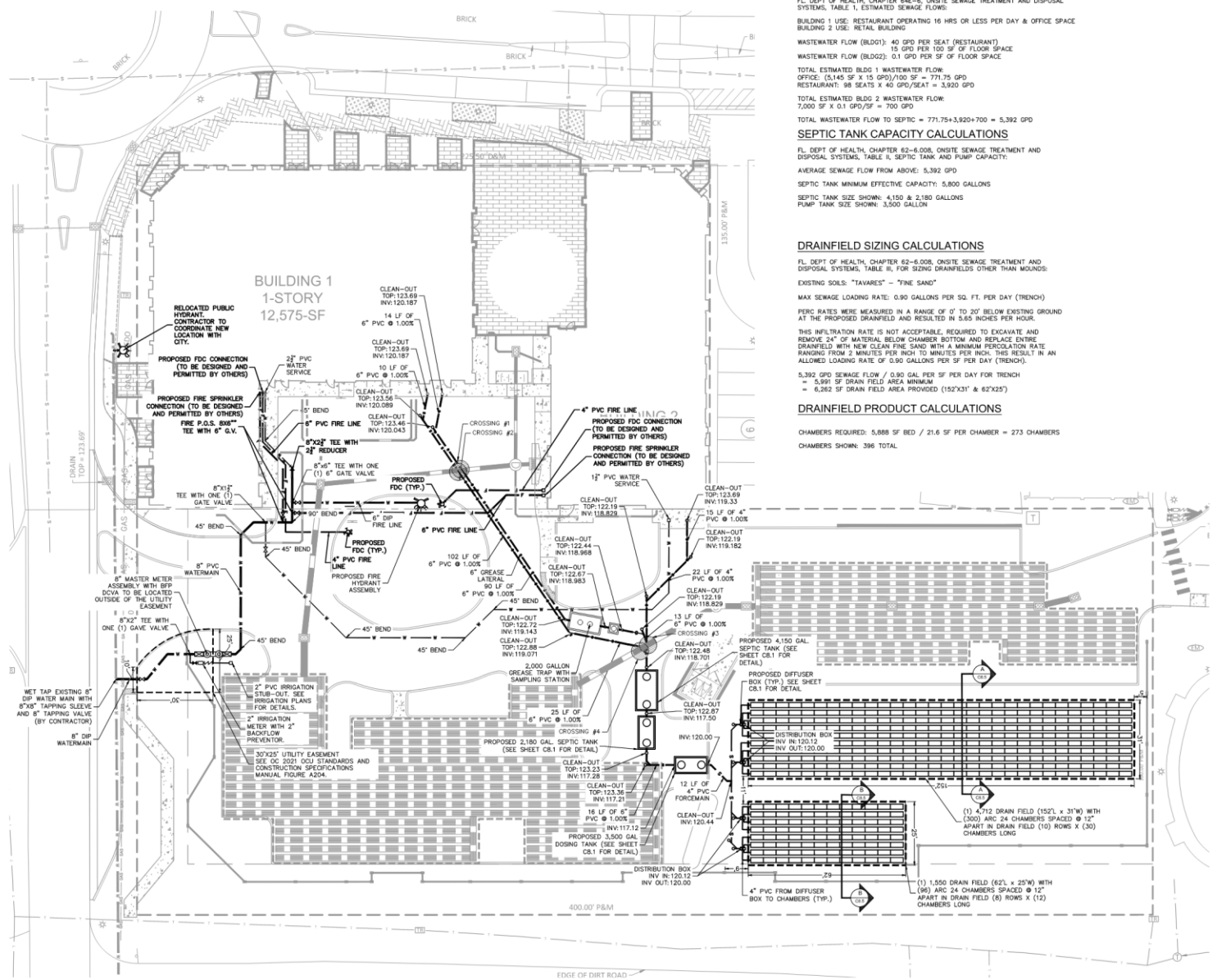


<p><b>Kimley-Horn</b></p> <p>© 2023, KIMLEY-HORN AND ASSOCIATES, INC.        188 SOUTH ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801        PHONE: 407-898-1811        WWW.KIMLEY-HORN.COM CA 00000896</p>		<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY			
NO.	DATE	BY						
<p>PROJECT: 149273004        DATE: 07/11/2023        SCALE: AS SHOWN        DESIGNED BY: MIG        DRAWN BY: CAL        CHECKED BY: MIC</p>	<p>LICENSED PROFESSIONAL        MARCUS L. GERBER, P.E.        FL LICENSE NUMBER: 89193</p>	<p>DATE:  </p>						
<p><b>SITE PLAN</b></p>		<p>FL</p>						
<p><b>WINDERMERE DOWNTOWN PROPERTY</b></p>		<p>TOWN OF WINDERMERE</p>						
<p>SHEET NUMBER <b>C4.0</b></p>		<p>DATE:  </p>						

# Final Site Plan-July 31, 2023



PLANNING/DESIGN/CONSTRUCTION SERVICES - SHEET C6.0 UTILITY PLAN - JULY 31, 2023 - 04:52:34pm - K:\V\1\2023\WINDERMERE DOWNTOWN PROPERTY - UTILITY PLAN.dwg - UTILITY PLAN.dwg  
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Please do not disseminate, reproduce, or use this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

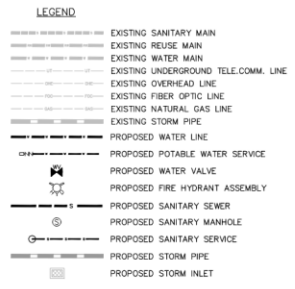
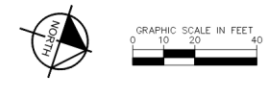


**SEWAGE FLOW CALCULATIONS**  
 FL DEPT OF HEALTH, CHAPTER 64E-6, ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE 1, ESTIMATED SEWAGE FLOWS:  
 BUILDING 1 USE: RESTAURANT OPERATING 16 HRS OR LESS PER DAY & OFFICE SPACE  
 BUILDING 2 USE: RETAIL BUILDING  
 WASTEWATER FLOW (BLDG1): 40 GPD PER SEAT (RESTAURANT)  
 15 GPD PER 100 SF OF FLOOR SPACE  
 WASTEWATER FLOW (BLDG2): 0.1 GPD PER SF OF FLOOR SPACE  
 TOTAL ESTIMATED BLDG 1 WASTEWATER FLOW  
 OFFICE: (5,145 SF X 15 GPD)/100 SF = 771.75 GPD  
 RESTAURANT: 98 SEATS X 40 GPD/SEAT = 3,920 GPD  
 TOTAL ESTIMATED BLDG 2 WASTEWATER FLOW:  
 7,000 SF X 0.1 GPD/SF = 700 GPD  
 TOTAL WASTEWATER FLOW TO SEPTIC = 771.75+3,920+700 = 5,392 GPD

**SEPTIC TANK CAPACITY CALCULATIONS**  
 FL DEPT OF HEALTH, CHAPTER 62-6.008, ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE II, SEPTIC TANK AND PUMP CAPACITY:  
 AVERAGE SEWAGE FLOW FROM ABOVE: 5,392 GPD  
 SEPTIC TANK MINIMUM EFFECTIVE CAPACITY: 5,800 GALLONS  
 SEPTIC TANK SIZE SHOWN: 4,150 & 2,180 GALLONS  
 PUMP TANK SIZE SHOWN: 3,500 GALLON

**DRAINFIELD SIZING CALCULATIONS**  
 FL DEPT OF HEALTH, CHAPTER 62-6.008, ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE II, FOR SIZING DRAINFIELDS OTHER THAN MOUNDS:  
 EXISTING SOILS: "TAVARES" - "FINE SAND"  
 MAX SEWAGE LOADING RATE: 0.90 GALLONS PER SQ. FT. PER DAY (TRENCH)  
 PERC RATES WERE MEASURED IN A RANGE OF 0' TO 20' BELOW EXISTING GROUND AT THE PROPOSED DRAINFIELD AND RESULTED IN 5.65 INCHES PER HOUR.  
 THIS INFILTRATION RATE IS NOT ACCEPTABLE, REQUIRED TO EXCAVATE AND REMOVE 24" OF MATERIAL BELOW CHAMBER BOTTOM AND REPLACE ENTIRE DRAINFIELD WITH NEW CLEAN FINE SAND WITH A MINIMUM PERCOLATION RATE RANGING FROM 2 MINUTES PER INCH TO MINUTES PER INCH. THIS RESULT IN AN ALLOWED LOADING RATE OF 0.90 GALLONS PER SF PER DAY (TRENCH).  
 5,392 GPD SEWAGE FLOW / 0.90 GAL. PER SF PER DAY FOR TRENCH  
 = 5,991 SF DRAIN FIELD AREA MINIMUM  
 = 6,282 SF DRAIN FIELD AREA PROVIDED (152'X31' & 62'X25')

**DRAINFIELD PRODUCT CALCULATIONS**  
 CHAMBERS REQUIRED: 5,988 SF BED / 21.6 SF PER CHAMBER = 273 CHAMBERS  
 CHAMBERS SHOWN: 366 TOTAL



**GENERAL UTILITY NOTES:**

- PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING FIBER OPTIC CABLES, UNDERGROUND ELECTRIC LINES, AND UNDERGROUND TELECOMMUNICATIONS LINES. CONTRACTOR TO COORDINATE SERVICE LINE ADJUSTMENTS WITH RESPECTIVE SERVICE PROVIDER AND OWNER. BOX ADJUSTMENTS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
- PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING NATURAL GAS LINES. CONTRACTOR TO COORDINATE SERVICE LINE, VALVE, AND BOX ADJUSTMENTS WITH SERVICE PROVIDER AND OWNER. SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
- CONTRACTOR TO COORDINATE PROPOSED TRANSFORMER LOCATIONS AND ELECTRIC SERVICE WITH POWER COMPANY AND OWNER. TRANSFORMERS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
- PRIOR TO CONSTRUCTION START, THE CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY UTILITIES (OCU) AND TOWN OF WINDERMERE. CIVIL ENGINEER OF RECORD TO BE PRESENT AT PRE-CON MEETING.
- ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.

**POTABLE WATER & SANITARY WASTEWATER UTILITY NOTES:**

- ALL POTABLE WATER AND SANITARY WASTEWATER UTILITIES SHALL BE IN ACCORDANCE WITH ORANGE COUNTY UTILITIES (OCU) STANDARD SPECIFICATIONS, AND DETAILS, 2021 ED. CONTRACTOR SHALL BE RESPONSIBLE TO BE FAMILIAR WITH THESE STANDARDS.
- ALL CLEAN-OUTS WITHIN ASPHALT AND/OR CONCRETE AREAS SHALL BE H-20 TRAFFIC BEARING.

**GENERAL FIRE SERVICE NOTES:**

- ALL UNDERGROUND MAINS SERVING FIRE HYDRANTS OR FIRE PROTECTION SPRINKLER SYSTEMS ON PRIVATE PROPERTY MUST BE PERMITTED PRIOR TO INSTALLATION. THE DRAWING SHALL INDICATE THAT ALL UNDERGROUND FIRE MAINS WILL BE INSTALLED IN ACCORDANCE WITH NFPA 24 (2013 EDITION), "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES" [F.A.C. 69-60-05(2)].
- ALL FIRE SERVICE MAIN LOCATED DOWNSTREAM OF THE FIRE POINT OF SERVICE (POS) SHALL BE INSTALLED BY A QUALIFIED AND LICENSED CONTRACTOR. CONSTRUCTION AND MATERIALS SHALL COMPLY WITH APPLICABLE FIRE CODE. CONTRACTOR TO VERIFY REQUIREMENTS WITH ORANGE COUNTY UTILITIES DEPARTMENT PRIOR TO SHOP DRAWING REVIEW.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT FROM THE NEAREST FIRE HYDRANT. (NFPA 14: 6.3.5.4)
- PROVIDE SIGNAGE, INDICATING ITS LOCATION AND THE BUILDING IT SERVES, FOR ALL PROPOSED FIRE DEPARTMENT CONNECTIONS (F.D.C.).
- PRIOR TO FIRE INSTALLATION, THE FLORIDA LICENSED CONTRACTOR SHALL SUBMIT LAYOUT DESIGN DRAWINGS TO THE OFFICE OF THE FIRE MARSHAL. IF REQUIRED BY FLORIDA STATUTE 603.79, DRAWINGS MUST BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER. THE DRAWINGS MUST SHOW ALL UNDERGROUND FIRE LINES AND COMPONENTS STARTING FROM THE POINT OF SERVICE AS DEFINED UNDER FLORIDA STATUTE 603.102. THE DESIGN SHALL BE IN ACCORDANCE TO THE CURRENT FLORIDA FIRE PREVENTION CODE AND ALL ADOPTED NFPA CODES AND STANDARDS.

**DATUM NOTE:**  
 ELEVATIONS BASED ON NAVD 88 DATUM

Always call 811 two full business days before you dig to have underground utilities located and marked.



WINDERMERE DOWNTOWN PROPERTY							
CROSSING (#)	TOP PIPE			BOTTOM PIPE			CLEARANCE (FT)
	TYPE	SIZE (IN)	INVERT	TYPE	SIZE (IN)	CROWN	
1	SSWR PVC	6	119.86	STRMHP	18	117.92	1.91
2	SSWR PVC	6	119.84	STRMHP	18	117.92	1.90
3	SSWR PVC	6	118.79	STRM CMP	24	118.28	2.48
4	SSWR PVC	6	118.78	STRM CMP	24	118.51	2.24

**Kimley & Horn**  
 189 SOUTH ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801  
 PHONE: 407-898-1511  
 WWW.KIMLEY-HORN.COM CA 0000896

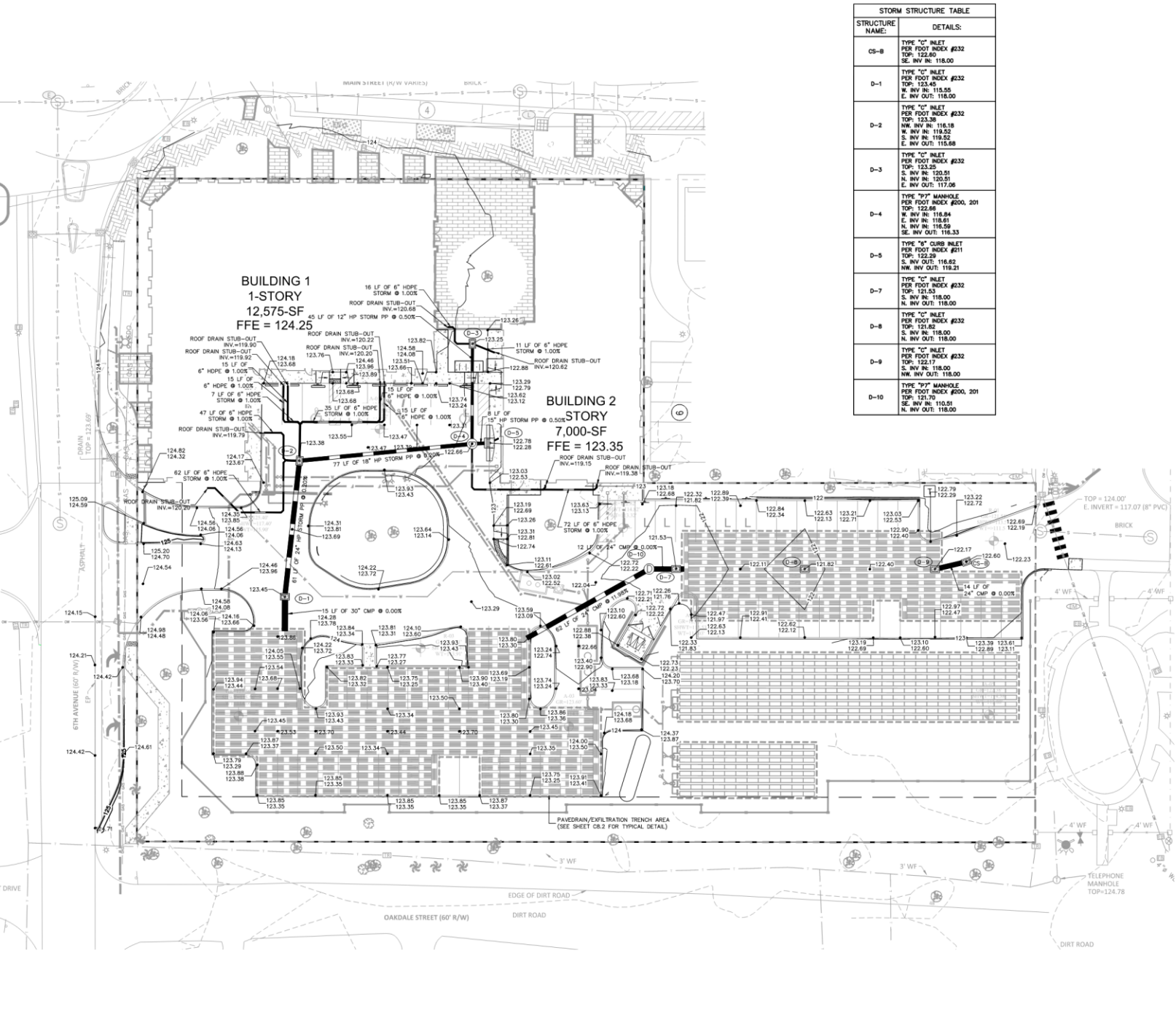
PROJECT: WINDERMERE DOWNTOWN PROPERTY  
 SHEET: UTILITY PLAN  
 DATE: 07/11/2023  
 DESIGNED BY: MJC  
 DRAWN BY: CAM  
 CHECKED BY: MJC

**UTILITY PLAN**  
 WINDERMERE DOWNTOWN PROPERTY  
 TOWN OF WINDERMERE

SHEET NUMBER: C6.0

# Utility Plan-July 31, 2023

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**STORM STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
CS-8	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 SE, INV IN: 118.00
D-1	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 W, INV IN: 115.55 E, INV OUT: 115.00
D-2	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 W, INV IN: 116.18 W, INV IN: 118.52 S, INV IN: 119.52 E, INV OUT: 115.68
D-3	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 S, INV IN: 120.51 N, INV IN: 120.51 E, INV OUT: 117.06
D-4	TYPE "P" MANHOLE PER FOOT INDEX #200, 201 TOP: 122.80 W, INV IN: 118.84 E, INV IN: 118.61 N, INV IN: 118.59 SE, INV OUT: 116.33
D-5	TYPE "C" CURB INLET PER FOOT INDEX #211 TOP: 122.80 S, INV IN: 116.82 W, INV OUT: 116.21
D-7	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 S, INV IN: 118.00 N, INV OUT: 118.00
D-8	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 S, INV IN: 118.00 N, INV OUT: 118.00
D-9	TYPE "C" INLET PER FOOT INDEX #232 TOP: 122.80 S, INV IN: 118.00 W, INV OUT: 118.00
D-10	TYPE "P" MANHOLE PER FOOT INDEX #200, 201 TOP: 122.80 SE, INV IN: 110.51 N, INV OUT: 118.00

**NOTES:**

- ALL STORM DRAIN INLETS CONSTRUCTED AS PART OF NEW DEVELOPMENT PROJECTS IN ORANGE COUNTY SHALL HAVE METAL MEDALLION INLET MARKERS INSTALLED. TEXT ON THE MARKER SHALL BE EVENLY SPACED AND READ "NO DUMPING, ONLY RAIN IN THE DRAIN". MARKERS MUST BE COMMERCIAL GRADE STAINLESS STEEL, ALUMINUM, BRASS OR BRONZE AND EITHER STAMPED FROM SHEET METAL OR CAST. METAL MARKER COLOR MUST BE NON-REFLECTIVE OR GREEN. ALTERNATE PHREASE OR SYMBOL SHOWN ON MARKER SHALL BE CONSISTENT THROUGHOUT THE SUBDIVISION. MARKERS MUST BE AFFIXED TO A CLEAN, PREPARED SURFACE WITH ADHESIVES, FASTENERS, OR HEAT AS RECOMMENDED BY THE MANUFACTURER. MARKERS SHALL BE LOCATED AT THE CENTER OF DRAINAGE INLETS AT THE TOP OF THE CURB. LETTERING MUST BE BETWEEN 0.4 - 0.5 INCHES AND THE TOTAL DIAMETER OF THE MARKER BETWEEN 3.75 - 4.25 INCHES.
- PRIOR TO THE START OF LAND DISTURBING ACTIVITIES, WHICH INCLUDES DEMOLITION, EARTHWORK AND/OR CONSTRUCTION, THE DEVELOPER/CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A NOTICE OF INTENT (NOI) TO OBTAIN COVERAGE UNDER THE NPDES GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CSP) PURSUANT TO THE REQUIREMENTS OF 62-621.300(4)(A) F.A.C. A COPY OF THE NOI SHALL BE SUBMITTED TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (OC EPD). COPIES OF THE SWPPP AND FDEP ACKNOWLEDGMENT LETTER ARE TO BE KEPT ON THE PROJECT SITE AND MADE AVAILABLE UPON REQUEST. UPON COMPLETION OF ALL LAND DISTURBING ACTIVITIES AND AFTER FINAL STABILIZATION OF THE SITE IS COMPLETE, THE DEVELOPER/CONTRACTOR SHALL SUBMIT TO FDEP A NOTICE OF TERMINATION (NOT) TO END THEIR COVERAGE UNDER THE CSP AND PROVIDE A COPY OF THE NOT TO OC EPD.
- THE SITE SHALL BE STABILIZED FOLLOWING CLEARING, GRUBBING, EARTHWORK OR MASS GRADING TO ESTABLISH A GENUE STAND OF GRASS, OR SHALL INCORPORATE OTHER APPROVED BEST MANAGEMENT PRACTICES. ALL DISTURBED AREAS OF DEVELOPMENT SHALL BE RESTORED WITHIN 90 DAYS. FINAL STABILIZATION SHALL ACHIEVE 100% COVERAGE AND A MINIMUM OF 70% DENSITY OF THE RESTORED LAND AND SHALL INCLUDE A MAINTENANCE PROGRAM TO ENSURE MINIMUM COVERAGE, SURVIVAL AND OVERALL SITE DEVELOPMENT.
- DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS REQUIRES APPROVAL FROM FDEP AND THE APPLICABLE WATER MANAGEMENT DISTRICT. THE DEVELOPER/CONTRACTOR SHALL OBTAIN AND FDEP GENERIC PERMIT FOR THE DISCHARGE OF GROUND WATER FROM DEWATERING OPERATIONS PURSUANT TO THE REQUIREMENTS OF 62-621.300(2)(A) AND 62-620 F.A.C. AND FLORIDA STATUTES CHAPTER 403. DISCHARGES DIRECTED TO THE COUNTY'S WSA REQUIRE AN ORANGE COUNTY RIGHT-OF-WAY UTILIZATION PERMIT FOR DEWATERING PRIOR TO THE START OF ANY DISCHARGES. TO OBTAIN RIGHT-OF-WAY APPROVAL, COPIES OF THE FDEP PERMIT, NOI, DOCUMENTATION SHOWING DEWATERING AT THE SITE IS NOT WITHIN 500 FT OF KNOWN CONTAMINATION, AND DEWATERING PLAN SHALL BE SUBMITTED TO ALEXIS CLARK, ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (407-536-1433) AND ORANGE COUNTY PUBLIC WORKS DEVELOPMENT ENGINEERING PERMITTING SECTION. ANALYTICAL SAMPLING OF GROUNDWATER MAY BE REQUESTED BY ORANGE COUNTY ON A CASE-BY-CASE BASIS TO CONFIRM SITE CONTAMINATION STATUS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 62-621.300(2) AND 62-620, AND FLORIDA STATUTES CHAPTER 403.
- THE RIGHT-OF-WAY AND ADJACENT PROPERTIES SHALL BE RESTORED TO EQUAL OR BETTER CONDITIONS.
- PROVIDE A 4 FOOT HIGH GREEN PINE FENCE FOR DUST ABATEMENT ON ALL PROPERTY LINES ADJACENT TO ROADS.
- REFER TO TREE MITIGATION PLANS FOR TREE REMOVAL DETAILS.

**GEOTECHNICAL NOTE:**

1. CONTRACTOR TO FOLLOW THE GUIDANCE AND RECOMMENDATIONS AS SPECIFIED WITHIN THE SUBSURFACE SOIL EXPLORATION (GEOTECHNICAL ENGINEERING REPORTS) PERFORMED BY UNIVERSAL ENGINEERING SERVICES (DATED APR. 28, 2010)

**PAVEDRAIN GENERAL NOTES:**

- REFER TO PAVEDRAIN SPECIFICATIONS AND DETAILS, SHEETS C&D.
- ALL PAVEDRAIN PAVER SYSTEMS SHALL BE CONSTRUCTED NOT TO EXCEED MAX. 1.0% SLOPE (ANY DIRECTION).
- SEE SHEET C&S FOR EXFILTRATION JUNCTION DETAILS.

**IMPORT FILL NOTES:**

- IMPORT FILL PLACED ON SITE SHALL BE A SOIL WITH LESS THAN 5% FINES WITH A HORIZONTAL PERMEABILITY OF NO LESS THAN 20 FT/DAY.
- PRIOR TO IMPORT FILL PROCUREMENT, CONTRACTOR SHALL PROVIDE SOIL REPORT AND SPECIFICATIONS OF THE PROPOSED FILL FOR REVIEW BY E.C.S. FLORIDA, LLC (GEOTECHNICAL ENGINEER) AND ENGINEER OF RECORD. PROVIDED FILL SHALL MEET OR EXCEED THE HYDRAULIC CONDUCTIVITY OF THE EXISTING IN SITU SOIL.

**LEGEND:**

- EXISTING SPOT ELEVATION
- HIGH POINT
- LOW POINT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM PIPE
- PROPOSED MANHOLE
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM MANHOLE
- PROPOSED DIRECTION OF FLOW
- PROPOSED VARD DRAIN
- EXISTING STORM MANHOLE
- PROPOSED SIDEWALK

**DATUM/BENCHMARKS:**

- ELEVATIONS SHOWN PER NAVD 83. REFER TO SURVEY FOR ADDITIONAL DETAILS AND BENCHMARKS.

Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
189 SOUTH KIMLEY-ADAMS, SUITE 1000, ORLANDO, FL 32801  
WWW.KIMLEY-HORN.COM CA 00000896

LICENSED PROFESSIONAL  
149973004

DATE: 07/17/2023  
SCALE: AS SHOWN  
DESIGNED BY: MICO  
DRAWN BY: CHL  
CHECKED BY: MICO

GRADING AND DRAINAGE PLAN  
DRAINAGE PLAN

WINDERMERE DOWNTOWN PROPERTY  
TOWN OF WINDERMERE, FL

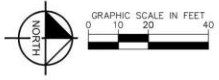
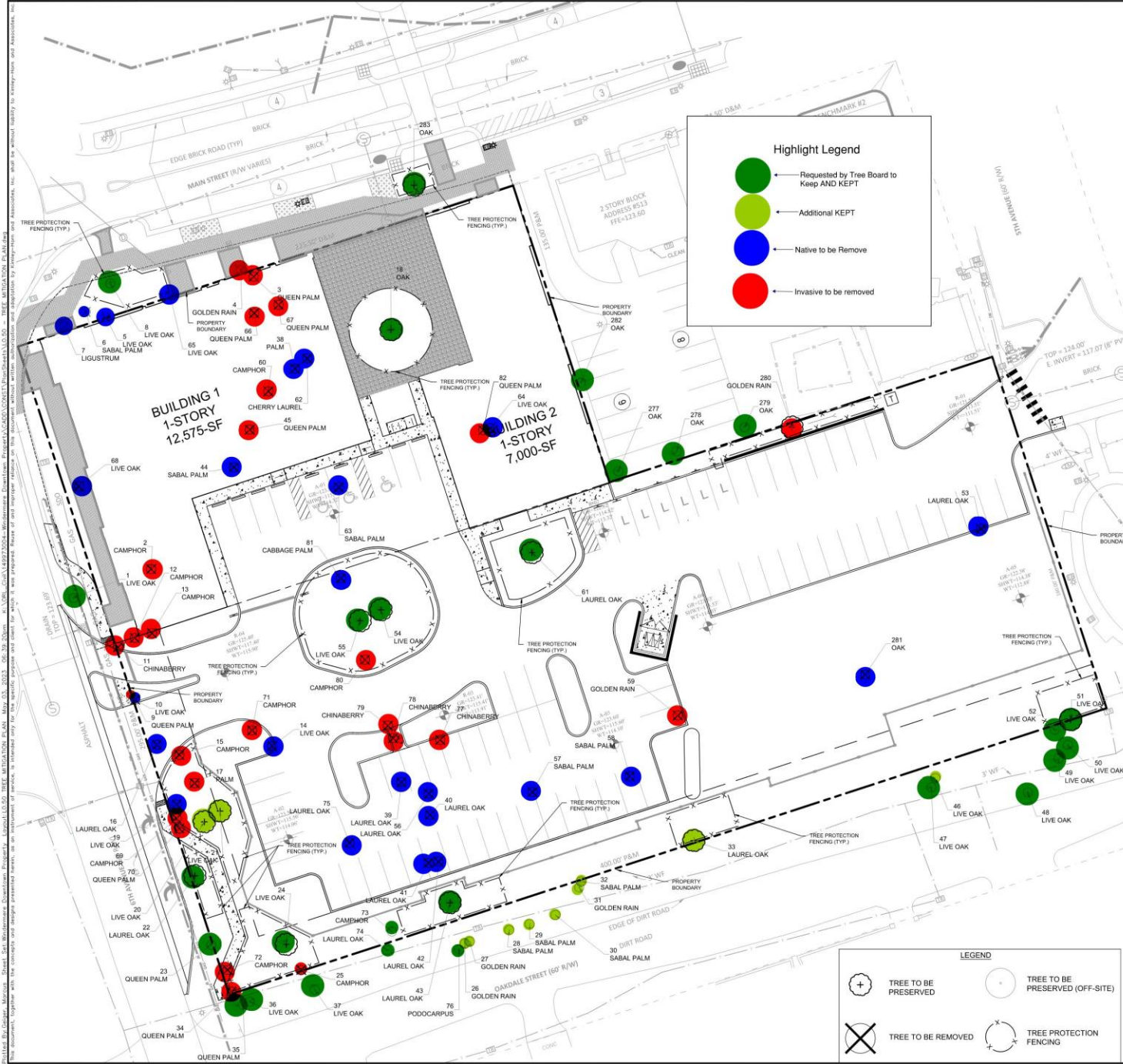
SHEET NUMBER  
C5.0

NO. REVISIONS

DATE: BY:

# Grading & Drainage Plan - July 31, 2023





CALL 2 WORKING DAYS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.  
FLORIDA  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**Highlight Legend**

- Requested by Tree Board to Keep AND KEPT
- Additional KEPT
- Native to be Remove
- Invasive to be removed

Tree Number	Species	DBH	Status	Reason	Location
1	LIVE OAK	15	PRESERVE		OFF-SITE
2	CAMPHOR	30	REMOVE	PROP. BUILDING	ONSITE
3	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
4	GOLDEN RAIN	23	REMOVE		OFF-SITE
5	LIVE OAK	29	REMOVE	PROP. BUILDING	OFF-SITE
6	SABAL PALM	19	REMOVE		OFF-SITE
7	LIGUSTRUM	11	REMOVE	PROP. BUILDING	OFF-SITE
8	LIVE OAK	25	PRESERVE		OFF-SITE
9	QUEEN PALM	8	REMOVE	INGRESS/EGRESS	ONSITE
10	QUEEN PALM	9	REMOVE	INGRESS/EGRESS	OFF-SITE
11	CHINABERRY	20	REMOVE	INVASIVE	ONSITE
12	CAMPHOR	16	REMOVE	INVASIVE	ONSITE
13	CAMPHOR	10	REMOVE	INVASIVE	ONSITE
14	LIVE OAK	37	REMOVE	PROPOSED PARKING	ONSITE
15	CAMPHOR	36	REMOVE	INVASIVE	ONSITE
16	LAUREL OAK	31	REMOVE	INGRESS/EGRESS	ONSITE
17	PALM	10	REMOVE	PROPOSED WALK	ONSITE
18	OAK	38	PRESERVE		ONSITE
19	LIVE OAK	28	REMOVE	PROP. SIDEWALK	ONSITE
20	LIVE OAK	29	PRESERVE	PROPOSED WALL	ONSITE
21	LIVE OAK	21	PRESERVE	PROPOSED WALL	ONSITE
22	LAUREL OAK	23	PRESERVE		ONSITE
23	QUEEN PALM	8	PRESERVE		OFF-SITE
24	LIVE OAK	34	PRESERVE		ONSITE
25	CAMPHOR	28	REMOVE	INVASIVE	ONSITE
26	GOLDEN RAIN	10	PRESERVE	INVASIVE	OFF-SITE
27	GOLDEN RAIN	12	PRESERVE	INVASIVE	OFF-SITE
28	SABAL PALM	15	PRESERVE		OFF-SITE
29	SABAL PALM	17	PRESERVE		OFF-SITE
30	SABAL PALM	18	PRESERVE		OFF-SITE
31	GOLDEN RAIN	11	PRESERVE	INVASIVE	OFF-SITE
32	SABAL PALM	17	PRESERVE		OFF-SITE
33	OAK	36	PRESERVE		ONSITE
34	QUEEN PALM	10	REMOVE	PROP. SIDEWALK	ONSITE
35	QUEEN PALM	9	PRESERVE		OFF-SITE
36	LIVE OAK	25	PRESERVE		OFF-SITE
37	LIVE OAK	29	PRESERVE		OFF-SITE
38	PALM	10	REMOVE	PROP. BUILDING, DEAD.	ONSITE
39	LAUREL OAK	39	REMOVE	PROPOSED PARKING	ONSITE
40	LAUREL OAK	26	REMOVE	PROPOSED PARKING	ONSITE
41	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE
42	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE
43	LAUREL OAK	14	PRESERVE	PROPOSED WALL	ONSITE
44	SABAL PALM	21	REMOVE	PROP. BUILDING	ONSITE
45	QUEEN PALM	10	REMOVE	PROP. BUILDING	ONSITE
46	OAK	27	PRESERVE		OFF-SITE
47	OAK	17	PRESERVE		OFF-SITE
48	OAK	42	PRESERVE		OFF-SITE
49	OAK	42	PRESERVE		OFF-SITE
50	OAK	43	PRESERVE		OFF-SITE
51	OAK	48	PRESERVE		ONSITE
52	OAK	43	PRESERVE		OFF-SITE
53	OAK	38	REMOVE	PROPOSED PARKING	ONSITE
54	OAK	48	PRESERVE		ONSITE
55	LAUREL OAK	24	REMOVE	PROPOSED PARKING	ONSITE
56	SABAL PALM	11	REMOVE	PROPOSED PARKING	ONSITE
57	SABAL PALM	15	REMOVE	PROPOSED TANK	ONSITE
58	GOLDEN RAIN	10	REMOVE	INVASIVE	ONSITE
59	CAMPHOR	12	REMOVE	INVASIVE	ONSITE
60	LAUREL OAK	22	PRESERVE		ONSITE
61	CHERRY LAUREL	14	REMOVE	PROP. BUILDING	ONSITE
62	SABAL PALM	18	REMOVE	PROPOSED PARKING	ONSITE
63	OAK	48	REMOVE	PROP. BUILDING	OFF-SITE
64	OAK	48	REMOVE	PROP. BUILDING	OFF-SITE
65	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
66	QUEEN PALM	4	REMOVE	PROP. BUILDING	ONSITE
67	CAMPHOR	10	REMOVE	INVASIVE	ONSITE
68	QUEEN PALM	7	REMOVE	PROP. SIDEWALK	ONSITE
69	CAMPHOR	32	REMOVE	PROP. CURB	ONSITE
70	CAMPHOR	12	REMOVE	PROP. SIDEWALK	ONSITE
71	CAMPHOR	14	PRESERVE	INVASIVE	OFF-SITE
72	LAUREL OAK	17	PRESERVE		OFF-SITE
73	LAUREL OAK	18	PRESERVE	PROPOSED PARKING	ONSITE
74	PODOCARPUS	13	PRESERVE		OFF-SITE
75	CHINABERRY	6	REMOVE	PROPOSED PARKING	ONSITE
76	CHINABERRY	23	REMOVE	PROPOSED PARKING	ONSITE
77	CHINABERRY	6	REMOVE	PROP. SIDEWALK	ONSITE
78	CAMPHOR	6	REMOVE	PROP. CURB	ONSITE
79	SABAL PALM	13	REMOVE	PROP. BUILDING	ONSITE
80	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
81	OAK	35	PRESERVE		OFF-SITE
82	OAK	29	PRESERVE		OFF-SITE
83	OAK	36	PRESERVE		OFF-SITE
84	GOLDEN RAIN	38	REMOVE	PROP. WALL/PARKING	ONSITE
85	OAK	29	REMOVE	PROP. SEPTIC	ONSITE
86	OAK	36	PRESERVE		OFF-SITE
87	OAK	18	PRESERVE		OFF-SITE

**LEGEND**

- + TREE TO BE PRESERVED
- X TREE TO BE REMOVED
- TREE TO BE PRESERVED (OFF-SITE)
- X TREE PROTECTION FENCING

**Kimley»Horn**  
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1895 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

DATE: 02/09/2023  
SCALE: AS SHOWN  
DESIGNED BY: AJP  
DRAWN BY: AJP  
CHECKED BY: AJP  
LUNDED PROFESSIONAL  
KHA PROJECT: 149973004

**TREE MITIGATION PLAN**

**WINDERMERE DOWNTOWN PROPERTY**

TOWN OF WINDERMERE  
SHEET NUMBER: L0.50

**Tree Mitigation Plan**

DATE	
BY	
REVISIONS	
NO.	

# Tree Board Meeting and Recommendation

Tree Board reviewed project for tree impact and mitigation, landscape plan, and buffering

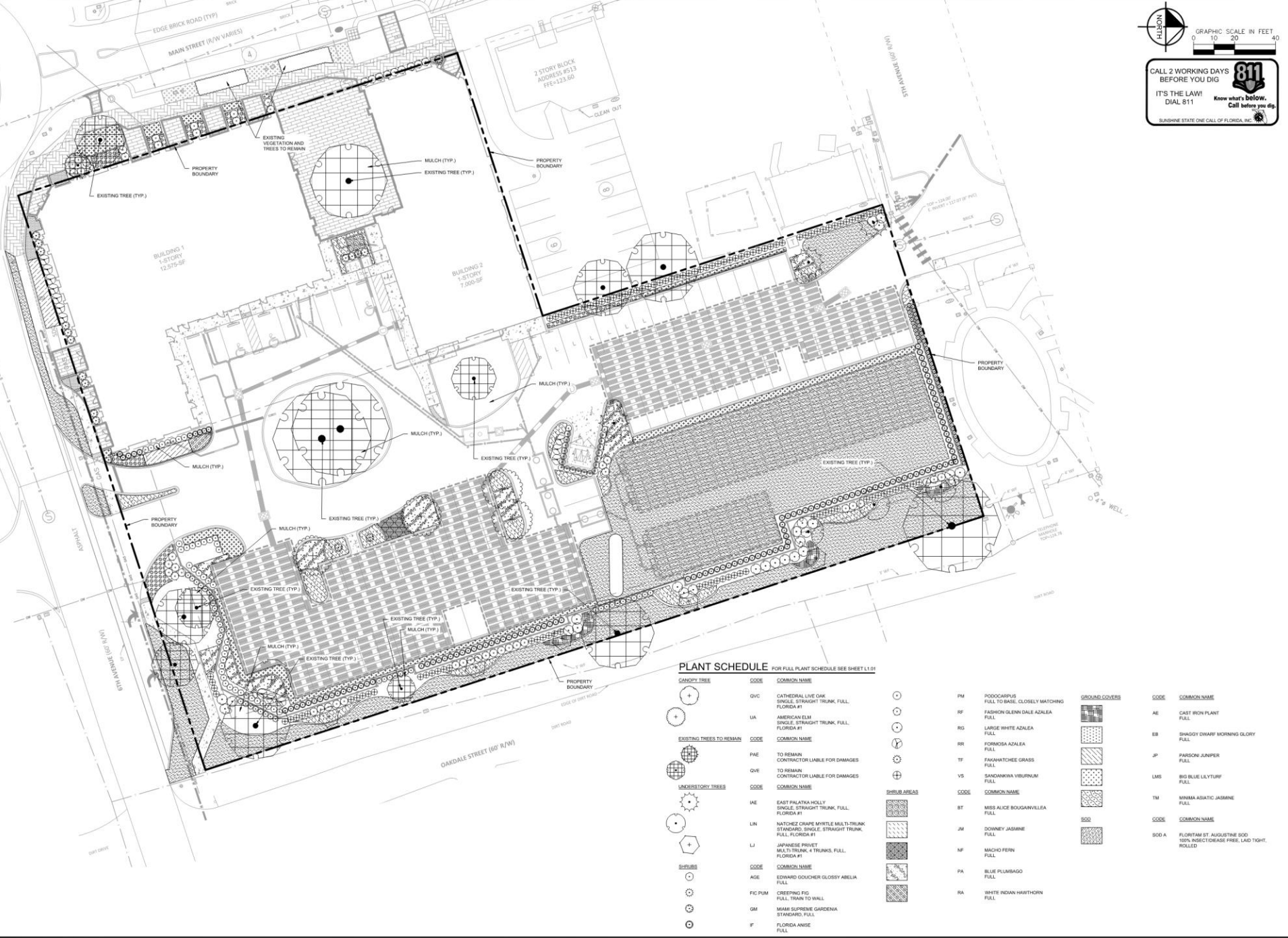
Tree Board held several meetings and site visits

Tree Board final review on May 18, 2023, and recommended approval:

- Proper protection of the trees to remain;
- Donate to the Town 151 inches of replacement trees for 151 inches of trees removed;
- Applicant must retain a certified arborist during construction; and
- Town may engage own certified arborist to also assure proper protection.



Project: 14973004 - WINDERMERE DOWNTOWN PROPERTY - LANDSCAPE PLAN  
 Date: 07/11/2023  
 Designer: KIMLEY-HORN AND ASSOCIATES, INC.  
 Scale: AS SHOWN  
 Project Location: 189 S. GARDALE STREET, WINDERMERE, FL 33091  
 Phone: 407-898-1511  
 Website: WWW.KIMLEY-HORN.COM



HILSON  
 GRAPHIC SCALE IN FEET  
 0 10 20 40  
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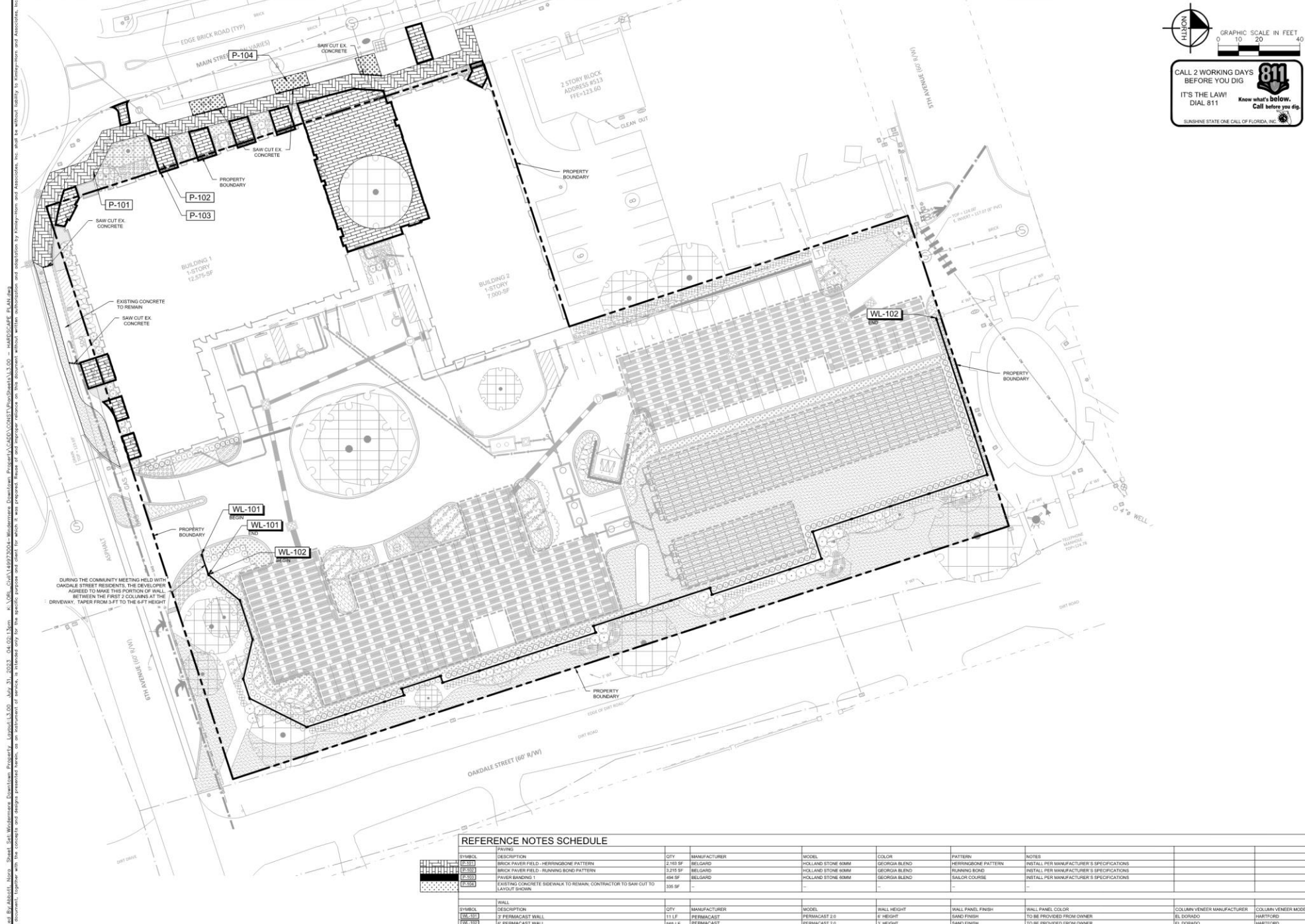
**PLANT SCHEDULE** FOR FULL PLANT SCHEDULE SEE SHEET L1.01

CANOPY TREE		COMMON NAME	
QVC	CATHEDRAL LIVE OAK SINGLE STRAIGHT TRUNK, FULL, FLORIDA #1	PM	PODOCARPUS FULL TO BASE, CLOSELY MATCHING
UA	AMERICAN ELM SINGLE STRAIGHT TRUNK, FULL, FLORIDA #1	RF	FASHION GLENN DALE AZALEA FULL
PAE	TO REMAIN CONTRACTOR LIABLE FOR DAMAGES	RG	LARGE WHITE AZALEA FULL
QVE	TO REMAIN CONTRACTOR LIABLE FOR DAMAGES	RR	FORMOSA AZALEA FULL
<b>EXISTING TREES TO REMAIN</b>		TF	FAMAHATCHEE GRASS FULL
QVC	CATHEDRAL LIVE OAK SINGLE STRAIGHT TRUNK, FULL, FLORIDA #1	VS	SANDWIKWA VIBURNUM FULL
UA	AMERICAN ELM SINGLE STRAIGHT TRUNK, FULL, FLORIDA #1	<b>SHRUB AREAS</b>	
PAE	TO REMAIN CONTRACTOR LIABLE FOR DAMAGES	BT	MISS ALICE BOUGARVILLEA FULL
QVE	TO REMAIN CONTRACTOR LIABLE FOR DAMAGES	JM	DONNEY JASMINE FULL
<b>EMERGENCY TREES</b>		NF	MACHO FERN FULL
IAE	EAST PALATKA HOLLY SINGLE STRAIGHT TRUNK, FULL, FLORIDA #1	PA	BLUE PLEMBOGO FULL
LN	NATCHEZ CRAWP MYRTLE MULTI-TRUNK STANDARD, SINGLE STRAIGHT TRUNK, FULL, FLORIDA #1	RA	WHITE INDIAN HAWTHORN FULL
LI	JAPANESE PRIVET MULTI-TRUNK, 4 TRUNKS, FULL, FLORIDA #1	<b>GROUND COVERS</b>	
LA	EDWARD GOUCHER GLOSSY ABELIA FULL	AE	CAST IRON PLANT FULL
FIC-PUM	CREeping FIG FULL, TRAIN TO WALL	EB	SHAGGY DWARF MORNING GLORY FULL
GM	MIAMI SUPREME GARDENIA STANDARD, FULL	JP	PARSONS JUNIPER FULL
IF	FLORIDA ANISE FULL	LMS	BIG BLUE LILYTURF FULL
<b>SHRUBS</b>		TM	MINIMA ASATIC JASMINE FULL
AGE	EDWARD GOUCHER GLOSSY ABELIA FULL	<b>SOIL</b>	
FIC-PUM	CREeping FIG FULL, TRAIN TO WALL	SOD A	FLORITAM ST. AUGUSTINE BOD 100% INSECT/DEAD FREE, LAID TIGHT, ROLLED
GM	MIAMI SUPREME GARDENIA STANDARD, FULL		
IF	FLORIDA ANISE FULL		

<b>Kimley»Horn</b> © 2023, KIMLEY-HORN AND ASSOCIATES, INC. 189 S. GARDALE STREET, WINDERMERE, FL 33091 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106		LICENSED PROFESSIONAL KHA PROJECT 14973004 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY MAA CHECKED BY MIT DATE	DATE BY
<b>LANDSCAPE PLAN</b>		FL	
<b>WINDERMERE DOWNTOWN PROPERTY</b>		SHEET NUMBER <b>L1.00</b>	

# Landscape Plan





GRAPHIC SCALE IN FEET  
 0 10 20 40  
**CALL 2 WORKING DAYS BEFORE YOU DIG**  
**811**  
 IT'S THE LAW! DIAL 811 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

DURING THE COMMUNITY MEETING HELD WITH OKDALE STREET RESIDENTS, THE DEVELOPER AGREED TO MAKE THIS PORTION OF WALL BETWEEN THE FIRST 2 COLUMNS AT THE DRIVEWAY, TAVER FROM 3 FT TO THE 8 FT HEIGHT

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	MANUFACTURER	MODEL	COLOR	PATTERN	NOTES		
P-101	BRICK PAVER FIELD - HERRINGBONE PATTERN	2,183 SF	BELGARD	HOLLAND STONE 60MM	GEORGIA BLEND	HERRINGBONE PATTERN	INSTALL PER MANUFACTURER'S SPECIFICATIONS		
P-102	BRICK PAVER FIELD - RUNNING BOND PATTERN	3,275 SF	BELGARD	HOLLAND STONE 60MM	GEORGIA BLEND	RUNNING BOND	INSTALL PER MANUFACTURER'S SPECIFICATIONS		
P-103	PAPER BANDING 1	194 SF	BELGARD	HOLLAND STONE 60MM	GEORGIA BLEND	SALICOR COURSE	INSTALL PER MANUFACTURER'S SPECIFICATIONS		
P-104	EXISTING CONCRETE SIDEWALK TO REMAIN, CONTRACTOR TO SAW CUT TO LAYOUT BROWN.	335 SF	-	-	-	-	-		
SYMBOL	DESCRIPTION	QTY	MANUFACTURER	MODEL	WALL HEIGHT	WALL PANEL FINISH	WALL PANEL COLOR	COLUMN VENEER MANUFACTURER	COLUMN VENEER MODEL
WL-101	3' PERMACAST WALL	111 LF	PERMACAST	PERMACAST 2.0	6' HEIGHT	SAND FINISH	TO BE PROVIDED FROM OWNER	EL DORADO	HARTFORD
WL-102	6' PERMACAST WALL	565 LF	PERMACAST	PERMACAST 2.0	6' HEIGHT	SAND FINISH	TO BE PROVIDED FROM OWNER	EL DORADO	HARTFORD

**WINDERMERE DOWNTOWN PROPERTY**  
 FROM: WINDERMERE  
 SHEET NUMBER: **L3.00**

---

**HARDSCAPE PLAN**

---

LICENSED PROFESSIONAL  
 KHA PROJECT: WINDERMERE  
 DATE: 07/11/2023  
 SCALE: AS SHOWN  
 DESIGNED BY: KHA  
 DRAWN BY: KHA  
 CHECKED BY: MIT

---

**Kimley»Horn**  
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 189 S. ORANGE AVE., SUITE 100, GAITHERSBURG, MD, 20878  
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

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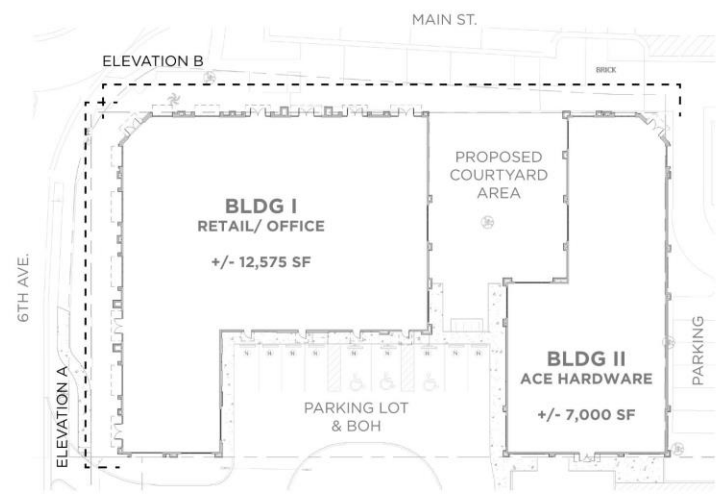
REVISIONS  
 NO. DATE BY

# Hardscape Plan

# Building Elevations Reviewed by DRB on June 20, 2023



WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED-USE RETAIL & OFFICE



SITE PLAN



ELEVATION B - BLDG I - FROM 6TH AVE.



ELEVATION A - BLDG I & II - FROM MAIN ST.

- 1 SW - 7005  
PURE WHITE  
MAIN PAINT COLOR
- 2 SW - 7672  
KNITTING NEEDLES  
ACCENT COLOR
- 3 EL DORADO  
HARTFORD  
BRICK VENEER
- 4 EL DORADO  
DOVETAIL  
STONE VENEER
- 5 SUNBRELLA  
BLACK  
AWNING FABRIC
- 6 GAF TIMBERLINE HDZ  
CHARCOAL  
ROOF SHINGLES

387-07 MAIN ST.  
WINDERMERE, FL 34786  
SCOTT + COIRMA  
Architecture and Interiors, LLC  
P.L.L.C. (A-2020-2890)  
429 South Keller Road Ste 200  
Orlando, Florida 32810  
407.660.2766  
scottcoirma.com  
Drawn By: PG, RB, SC  
Reviewed By: RB, LO  
DATE: 2023, MAY, 05



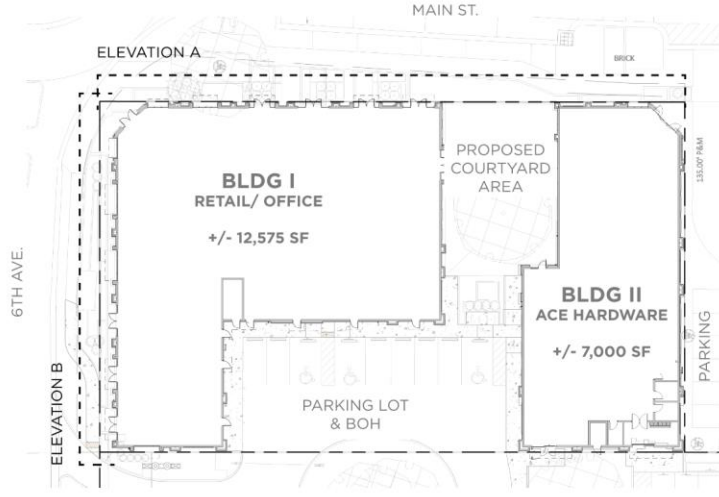
# Revised Building Elevations Town Council Hearings



WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED RETAIL & OFFICE



ELEVATION B - BLDG I - FROM 6TH AVE.



SITE PLAN



ELEVATION A - BLDG I & II - FROM MAIN ST.

- ① SW - 7005  
PURE WHITE  
MAIN PAINT  
COLOR
- ② SW - 7036  
ACCESSIBLE  
BEIGE ACCENT  
COLOR
- ③ SW - 7672  
KNITTING  
NEEDLES ACCENT  
COLOR
- ④ EL DORADO  
RIVERBED  
BRICK VENEER
- ⑤ EL DORADO  
LATIGO  
BRICK VENEER
- ⑥ EL DORADO  
DOVETAIL  
STONE VENEER
- ⑦ SUNBRELLA  
BLACK  
AWNING FABRIC
- ⑧ GAF TIMBERLINE  
HDZ  
CHARCOAL  
ROOF SHINGLES

87-027 MAIN ST.  
WINDERMERE, FL 34786  
SCOTT + CORNIA  
ARCHITECTURAL AND INTERIOR, LLC  
FL# AA24002980  
429 South Keller Road Ste 200  
Orlando, Florida 32809  
407.660.2766  
scottcornia.com  
Drawn By: PG, SB, SC  
Reviewed By: RB, LD  
2023 - JUL 27



# Revised Building Elevations Town Council Hearings



CONCEPT IMAGES



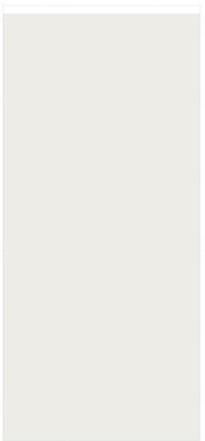
MATERIAL CHOICES AND ARCHITECTURAL ELEMENTS PER DESIGN GUIDELINES (ELEVATION 'B' SHOWN FOR REFERENCE)


# Revised Building Elevations Town Council Hearings

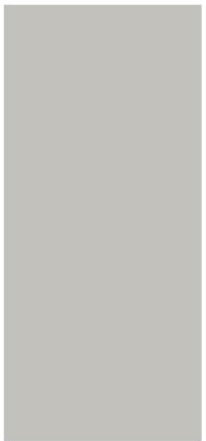


ENLARGED BUILDING ELEVATION - CORNER DESIGN AND MATERIALS


- ① SW - 7005  
PURE WHITE  
MAIN PAINT  
COLOR



- ② SW - 7036  
ACCESSIBLE  
BEIGE  
ACCENT COLOR



- ③ SW - 7672  
KNITTING  
NEEDLES  
ACCENT COLOR



- ④ EL DORADO  
RIVERBED  
BRICK VENEER


- ⑤ EL DORADO  
LATIGO  
BRICK VENEER


- ⑥ EL DORADO  
DOVETAIL  
STONE VENEER


- ⑦ SUNBRELLA  
BLACK  
AWNING FABRIC


- ⑧ GAF TIMBERLINE  
HDZ  
CHARCOAL  
ROOF SHINGLES



PROJECT MATERIALS

WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED RETAIL & OFFICE



# Revised Building Elevations Town Council Hearings



WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED RETAIL & OFFICE

505-527 MAIN ST.  
WINDERMERE, FL 34786  
SCOTT + CORMIA  
Architecture and Interiors, LLC  
FL#: AA26002380  
429 South Walker Road Ste 200  
Orlando, Florida 32837  
407.862.2766  
scottcormia.com  
Drawn By: PG, RB, SC  
Reviewed By: RB, LO  
2/16/24  
2023, JUL, 27



SOUTH CORNER 3D PERSPECTIVE VIEW - FROM CORNER OF MAIN ST. AND 6TH AVE.



WEST CORNER 3D PERSPECTIVE VIEW - FROM MAIN ST.

# Revised Building Elevations Town Council Hearings



WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED RETAIL & OFFICE



EAST CORNER 3D PERSPECTIVE VIEW - FROM 6TH AVE.

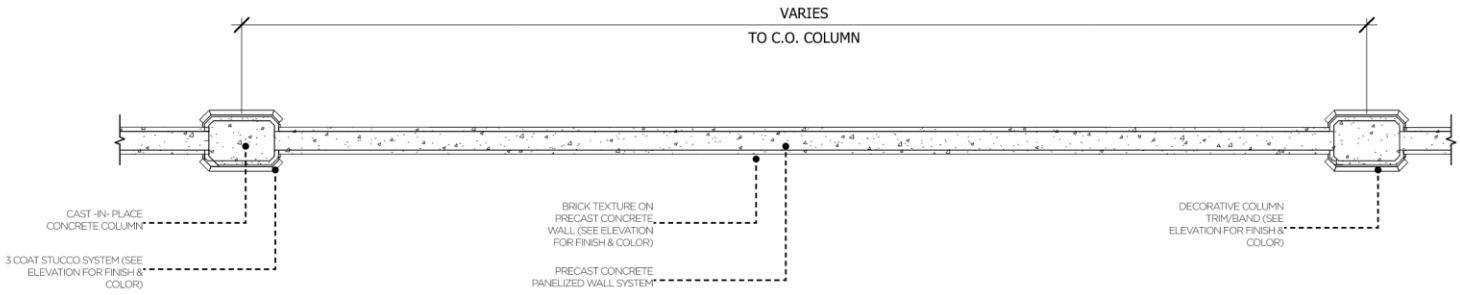
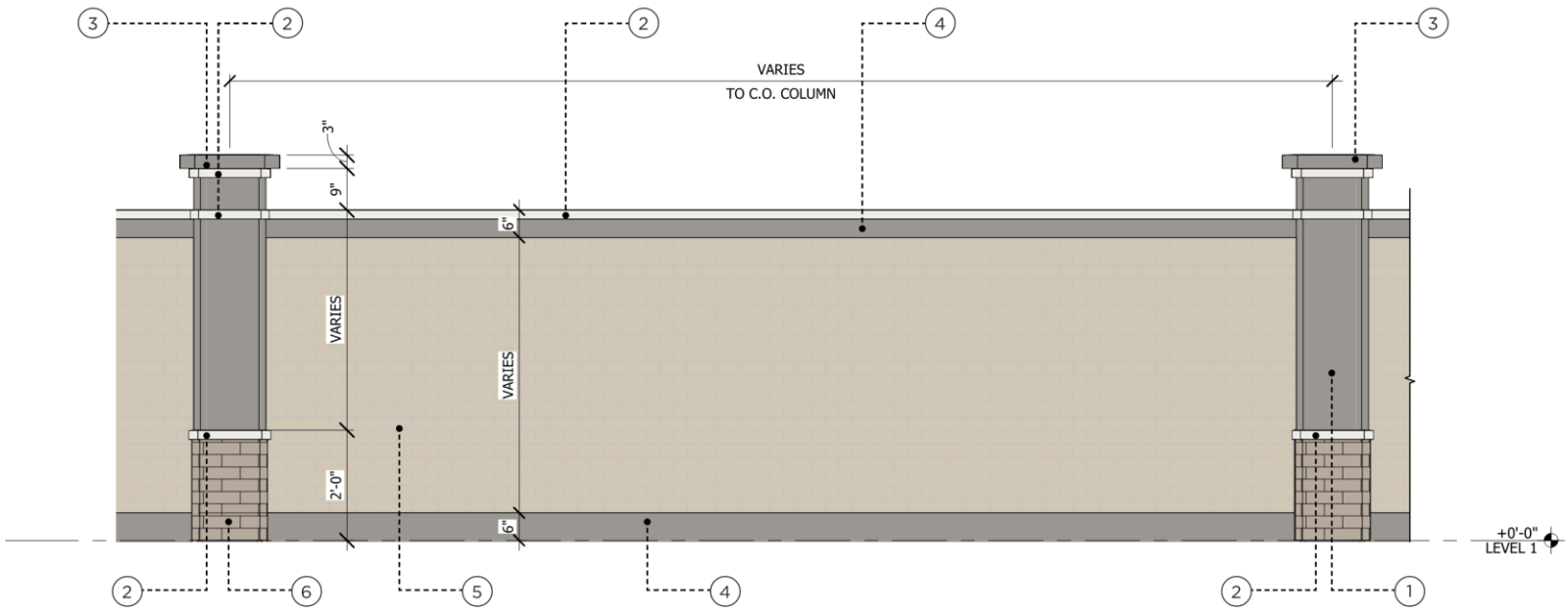



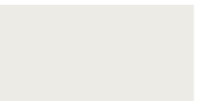




NORTH CORNER 3D PERSPECTIVE VIEW - FROM PARKING LOT



# Revised Screen Wall

## Town Council Hearings



- ① **SW - 7673 PEWTER CAST**  
ACCENT COLOR  

- ② **DECORATIVE COLUMN TRIM/BAND TO MATCH**  
SW - 7005 PURE WHITE  

- ③ **DECORATIVE COLUMN TRIM/BAND TO MATCH**  
SW - 7673 PEWTER CAST  

- ④ **COSMETIC BAND ON PERMACAST CONCRETE WALL PAINTED TO MATCH**  
SW - 7673 PEWTER CAST  

- ⑤ **BRICK TEXTURE ON CONCRETE PERMACAST SITE WALL SW-7036 ACCESSIBLE BEIGE**  

- ⑥ **EL DORADO LATIGO**  
BRICK VENEER  


**PROJECT MATERIALS**

# Guidance Architectural Review

## Town Attorney Direction

The Town may not deny a development plan based on the architectural style of the buildings.

Section 12.02.11(d)(9) (Note), LDC, states: “Architectural elevations are required even though no authority is given for denying a development plan based on the architectural style. Requiring elevations allows the development review board to comment on the elevations and suggest changes. Once submitted, the elevations may be considered to be a part of the approved development plan and the developer may be required to build in conformity with the elevations.”

# Development Agreement Highlights

All development must be consistent with approved plans and with requirements of Development Agreement - “Runs with Land”

Transportation Mitigation Payment to Town = \$47,000 for future roundabout improvement and pedestrian crossing at E. 6<sup>th</sup> Avenue and Oakdale Street

Potable water provided by Orange County Utilities

Septic system must be permitted and approved by Orange County Health Department

Stormwater must meet SFWMD and Town Standards; must also provide a maintenance plan for pervious pavement

# Development Agreement Highlights

Allowed uses must be consistent with Town Center Overlay District and PUD permitted uses

No outdoor storage or display allowed (subject to same standards as other businesses in Town)

Hours of operation limited to between 7:00 a.m. and 10:00 p.m.

Buildings and Screen Wall must be compliant with approved plans

Dumpster must be screened with lid (i.e., covered)

Parking consistent with approved Site Plan



# Development Agreement Highlights

Tree mitigation and protection - Consistent with Approved Plans and Town Tree Protection Ordinances

Site lighting must be shielded

Construction management standards to limit impacts

Construction & delivery hours - Monday to Saturday between 7:00 a.m. and 7:00 p.m. - unless approved by Town Manager

No staging or storage of equipment or materials off-site

Site screened from view - No signage except safety

Maintain proper sediment, erosion, and dust control

Provide proper security

Construction must begin within 18 months from the effective date of Ordinance 2023-02

# Development Review Board (DRB) Recommendation

DRB reviewed on June 20, 2023

DRB recommends Town Council approval with conditions that:

1. Building elevations be revised to be more compliant with Town Center Design Guidelines - Differential between 20 ft building segments

***Applicant submitted revised building elevations in response to DRB's recommendation.***

2. Screen wall color/materials to be coordinated with Oakdale Street property owners\*

***Applicant submitted revised screen wall plan based on DRB recommendation and meeting with Oakdale Street property owners.***

*\*Meeting with Oakdale Street property owners held on July 10, 2023, to review screen wall color/materials*