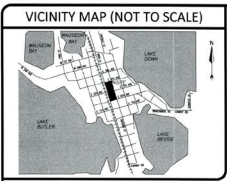


Downtown Windermere Properties  
First Reading  
Ordinance 2023-02  
Development Agreement  
Final Development Plan/  
Major Site Plan

Town Council  
July 11, 2023



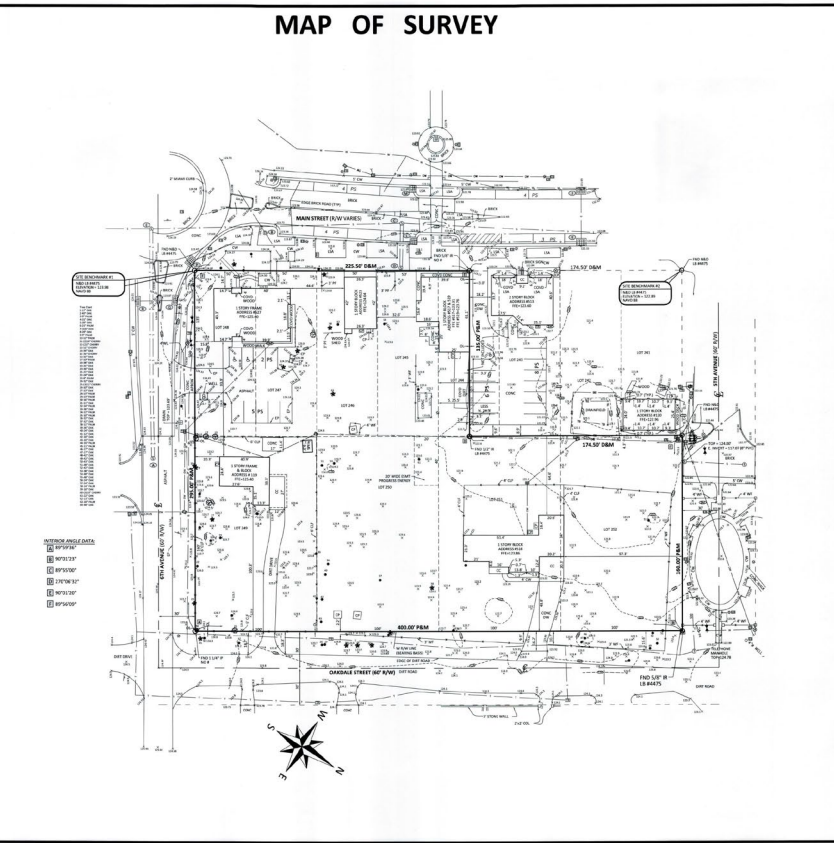
**DESCRIPTION**

LOT 248 LESS THE NORTH 34.8 FEET THEREOF, TOWN OF WINDERMERE AS RECORDED IN PLAT BOOK 6, PAGE 36 THROUGH 39, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**NOTES**

1. BEARING STRUCTURE IS ASSUMED AND BASED ON THE WEST RIGHT-OF-WAY LINE OF GARLAND STREET.
2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.
3. THE WINDERMERE NEARBY UTILITIES LOCATED THE UNDERGROUND UTILITIES, THE SURVEY AREA MADE ON THE GROUND. ANY UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVABLE SURFACE EVIDENCE AND/OR BY EXCAVATION PROCEDURES IN PLACE. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN LOCATION OR DEPTH. THE SURVEYOR CERTIFIES THAT HE HAS NOT MADE ANY SOIL BORINGS THAT THEY ARE KNOWN OR REASONABLY ASSESSED FROM INFORMATION AVAILABLE.
4. THIS SURVEY IS BASED ON THE 2006 FLOOD INSURANCE RATE MAP NO. 330600002E, COMMUNITY NO. 03002, TOWN OF WINDERMERE, ORANGE COUNTY, FLORIDA, EFFECTIVE SEPTEMBER 26, 2006.
5. THIS SURVEY WAS BASED ON THE RECORD OF TITLE.
6. THIS SURVEY IS VALID ONLY FOR THE PARTIES TO WHOM IT IS CERTIFIED.
7. THIS SURVEY EXCEEDS THE ACCURACY REQUIREMENTS SET FORTH IN FLORIDA STATUTES.
8. ELEVATIONS BASED ON ORANGE COUNTY BENCHMARK W4234803 HAVING AN ELEVATION OF 120.18 FEET (NAVD 88).

- TABLE OF POINT INVERTS**
- ① TOP +124.16 (400 WINDERMERE)
  - ② TOP +124.16
  - ③ SWP INVERT = 124.40 (22' HORN) (SDO)
  - ④ NW INVERT = 123.41 (21' HORN) (SDO)
  - ⑤ TOP +123.40
  - ⑥ W1 INVERT = 122.35 (8' PVC)
  - ⑦ W2 INVERT = 122.35 (8' PVC)
  - ⑧ W3 INVERT = 122.35 (8' PVC)
  - ⑨ TOP +124.87
  - ⑩ W1 INVERT = 121.88 (8' PVC)
  - ⑪ W2 INVERT = 121.88 (8' PVC)
  - ⑫ W3 INVERT = 121.88 (8' PVC)
  - ⑬ TOP +124.17
  - ⑭ W1 INVERT = 123.09 (8' PVC) (SDO)
  - ⑮ W2 INVERT = 123.09 (8' PVC) (SDO)
  - ⑯ W3 INVERT = 123.09 (8' PVC) (SDO)
  - ⑰ S1 INVERT = 124.12 (8' PVC)
  - ⑱ S2 INVERT = 124.12 (8' PVC)
  - ⑲ S3 INVERT = 124.12 (8' PVC)
  - ⑳ TOP +122.69
  - ㉑ W1 INVERT = 122.21 (8' PVC)
  - ㉒ W2 INVERT = 122.21 (8' PVC)
  - ㉓ W3 INVERT = 122.21 (8' PVC)
  - ㉔ TOP +123.84
  - ㉕ W1 INVERT = 123.84 (8' PVC)
  - ㉖ W2 INVERT = 123.84 (8' PVC)
  - ㉗ W3 INVERT = 123.84 (8' PVC)
  - ㉘ TOP +122.72
  - ㉙ W1 INVERT = 123.91 (8' PVC)
  - ㉚ TOP +122.27
  - ㉛ W1 INVERT = 122.07 (8' PVC) (SDO)
  - ㉜ W2 INVERT = 122.07 (8' PVC) (SDO)
  - ㉝ W3 INVERT = 122.07 (8' PVC) (SDO)
  - ㉞ TOP +123.46
  - ㉟ W1 INVERT = 123.46 (8' PVC)
  - ㊱ W2 INVERT = 123.46 (8' PVC)
  - ㊲ W3 INVERT = 123.46 (8' PVC)
  - ㊳ TOP +123.46
  - ㊴ W1 INVERT = 123.46 (8' PVC)
  - ㊵ W2 INVERT = 123.46 (8' PVC)
  - ㊶ W3 INVERT = 123.46 (8' PVC)
  - ㊷ TOP +123.46
  - ㊸ W1 INVERT = 123.46 (8' PVC)
  - ㊹ W2 INVERT = 123.46 (8' PVC)
  - ㊺ W3 INVERT = 123.46 (8' PVC)
  - ㊻ TOP +123.46
  - ㊼ W1 INVERT = 123.46 (8' PVC)
  - ㊽ W2 INVERT = 123.46 (8' PVC)
  - ㊾ W3 INVERT = 123.46 (8' PVC)
  - ㊿ TOP +123.46
  - ① W1 INVERT = 123.46 (8' PVC)
  - ② W2 INVERT = 123.46 (8' PVC)
  - ③ W3 INVERT = 123.46 (8' PVC)



**ACCURIGHT**

ACCURIGHT SURVEYS OF ORANGE, INC. - 18-4475  
2012 E. Robinson Street, Orlando, Florida 32803  
www.AccurightSurvey.net  
ACCURIGHTSURVEYS.NET  
PHONE: (407) 994-8318

DATE: 3/27/23 JOB NO: SHEET 1 OF 1  
SCALE: AS SHOWN  
PROJECT NO:  
WINDERMERE DOWNTOWN PROPERTY  
SUBDIVISION NAME: PLAT OF WINDERMERE  
LOCAL BOOK:  
LOCAL PAGE:  
WINDERMERE, FL 32786

**LEGEND**

1. Easement	2. Easement	3. Easement	4. Easement
5. Easement	6. Easement	7. Easement	8. Easement
9. Easement	10. Easement	11. Easement	12. Easement
13. Easement	14. Easement	15. Easement	16. Easement
17. Easement	18. Easement	19. Easement	20. Easement
21. Easement	22. Easement	23. Easement	24. Easement
25. Easement	26. Easement	27. Easement	28. Easement
29. Easement	30. Easement	31. Easement	32. Easement
33. Easement	34. Easement	35. Easement	36. Easement
37. Easement	38. Easement	39. Easement	40. Easement
41. Easement	42. Easement	43. Easement	44. Easement
45. Easement	46. Easement	47. Easement	48. Easement
49. Easement	50. Easement	51. Easement	52. Easement
53. Easement	54. Easement	55. Easement	56. Easement
57. Easement	58. Easement	59. Easement	60. Easement
61. Easement	62. Easement	63. Easement	64. Easement
65. Easement	66. Easement	67. Easement	68. Easement
69. Easement	70. Easement	71. Easement	72. Easement
73. Easement	74. Easement	75. Easement	76. Easement
77. Easement	78. Easement	79. Easement	80. Easement
81. Easement	82. Easement	83. Easement	84. Easement
85. Easement	86. Easement	87. Easement	88. Easement
89. Easement	90. Easement	91. Easement	92. Easement
93. Easement	94. Easement	95. Easement	96. Easement
97. Easement	98. Easement	99. Easement	100. Easement

**BOUNDARY, TOPOGRAPHIC AND TREE SURVEY**

RONALD K. SMITH, FSM 5792

DATE OF SURVEY: 3/27/23

THIS SURVEY MEETS THE "STANDARD OF PRACTICE" AS REQUIRED BY CHAPTER 227, FLORIDA STATUTES, AND IS SUBJECT TO THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 227.05(2), FLORIDA STATUTES.

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF THIS SURVEYOR AS REQUIRED BY SECTION 227.05(2), FLORIDA STATUTES.

THE ORIGINAL SIGNATURE AND SEAL OF THIS SURVEYOR IS ON FILE AT THE OFFICE OF THE SURVEYOR, 1000 N. GORRISON STREET, ORLANDO, FLORIDA 32803.

DATE OF SURVEY: 3/27/23

# Project Location

Northeast Corner of Main Street and E. 6<sup>th</sup> Avenue

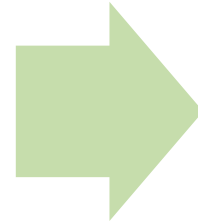
2.17 acres +/-

Property Owner is Downtown Windermere Properties, LLC

Applicant is V3 Capital Group, LLC

# Planned Unit Development (PUD) Process

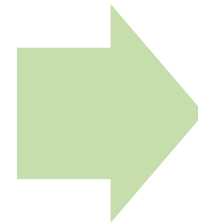
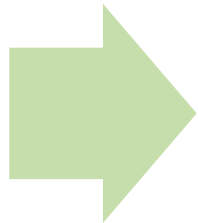
Pre-Application  
2019



Conceptual Plan Review  
DRB Individual Comments October  
2020



PUD Zoning and Preliminary  
Development Plan (PDP)  
Town Council Approved, June 8, 2021,  
by Ordinance 2021-01



Final Development Plan (FDP)/  
Major Site Plan  
DRB, June 20, 2023  
Town Council, July 11, 2023,  
and August 8, 2023



# Purpose of PUD

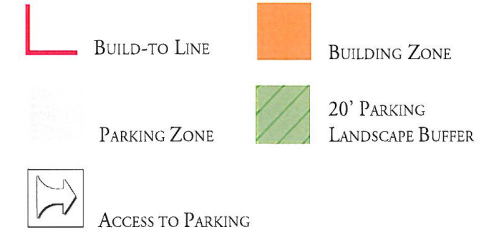
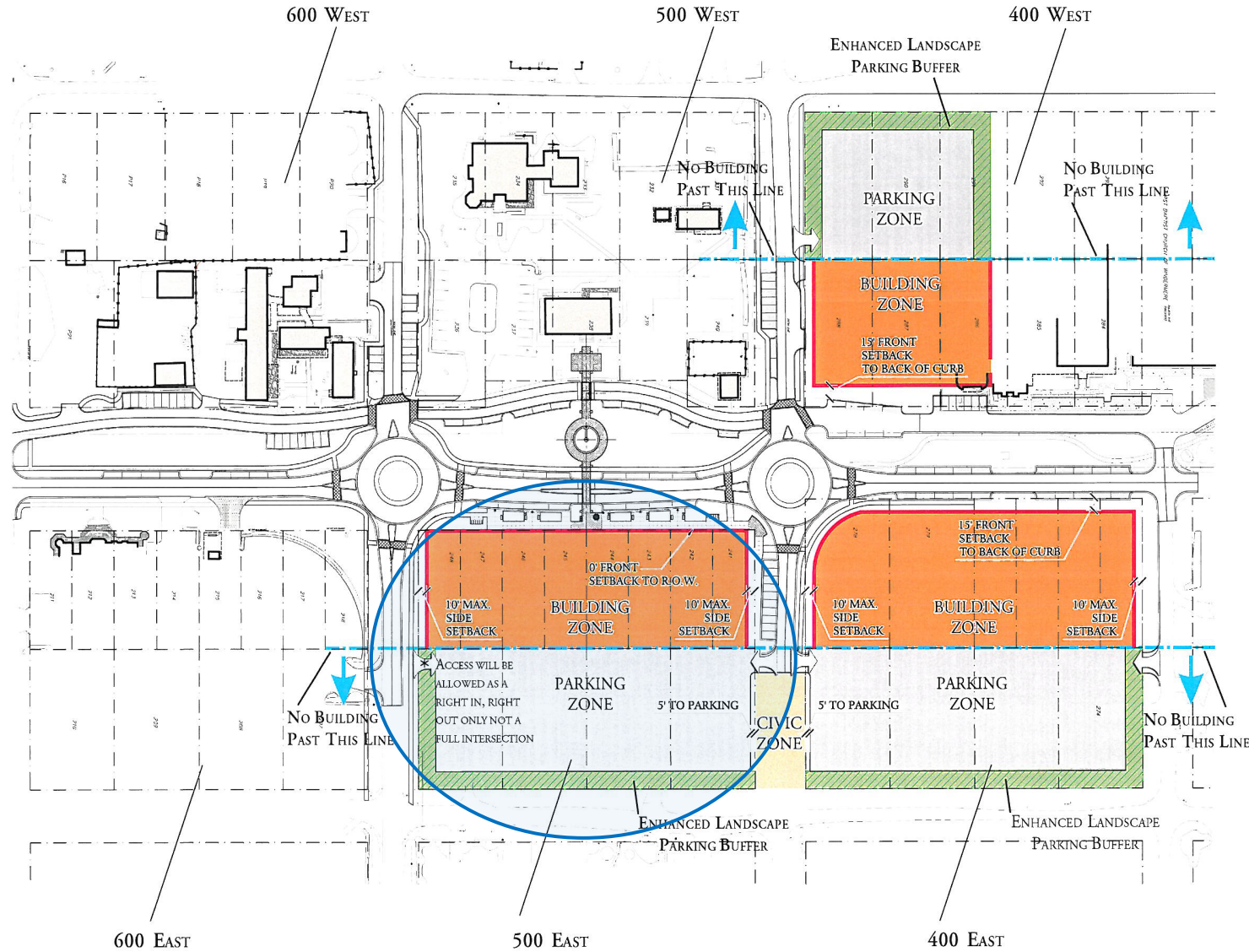
Property located within Town Center Overlay District as adopted in Town's Comprehensive Plan

Development within the District requires rezoning to Planned Unit Development (PUD) with a Preliminary Development Plan - Town Council Approved June 2021 (Ordinance 2021-01)

Development regulated with design standards of Town Center Design Guidelines (2004)

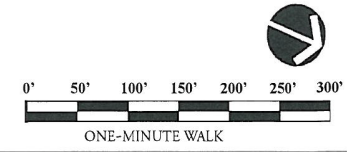
Building and parking configuration, buffering, number of parking spaces, building façade, etc.





- NOTES:**
1. PARKING MAY ENCRUCH INTO BUILDING ZONE.
  2. BUFFER ZONES MAY ENCRUCH INTO BUILDING ZONE.
  3. SEE LANDSCAPE SECTION FOR DETAILED PARKING LOT DESIGN, AND LANDSCAPE PARKING BUFFERS.

- Building:**
- Rear Setback: 120' Min. from Buffer Zone
  - Building Frontage: 80% Min. on Main Street
- Parking Spaces:**
- Required off-street Parking Spaces:
- A. Req. Off-Street: 4 parking spaces per 1,000 SF
  - B. Mitigation Measures: 3.5 parking spaces per 1,000 SF





# TOWN OF WINDERMERE FUTURE LAND USE MAP 2035

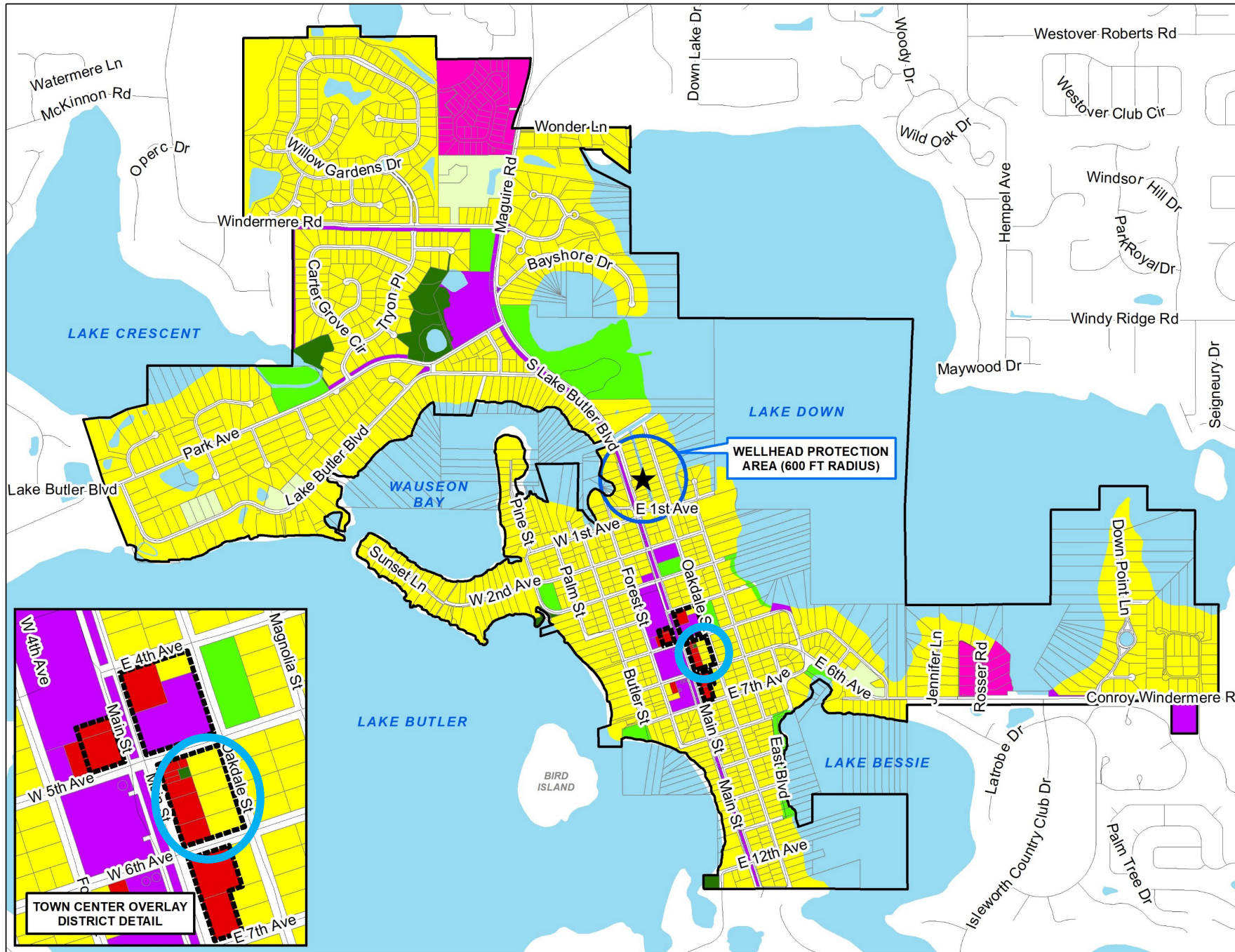
## Legend

- Town Limits
- Town Center Overlay District
- Potable Water Wellhead
- Wellhead Protection Area
- Roads
- Parcel Boundaries

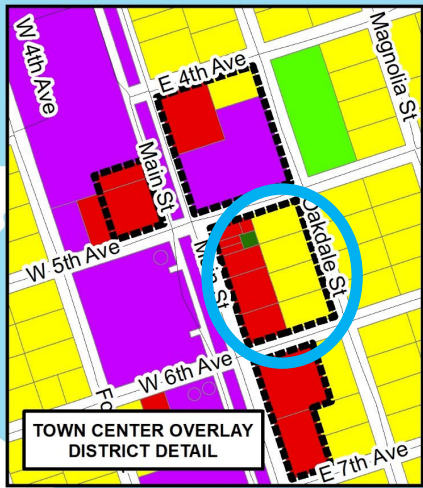
## Future Land Use

### Description

- Agricultural
- Commercial
- Conservation
- Public Use
- Planned Unit Development (PUD)
- Recreation
- Single Family Residential
- Lakes



WELLHEAD PROTECTION  
AREA (600 FT RADIUS)



TOWN CENTER OVERLAY  
DISTRICT DETAIL

Sources: Town of Windermere, Orange County.  
Note: This map and digital data are for planning purposes only and should not be used to determine the precise location of a feature. Acreage is approximate and GIS derived.

0 1,000 2,000  
Feet



TOWN OF WINDERMERE  
614 MAIN STREET  
WINDERMERE, FL 34786  
407.876.2563  
WWW.TOWN.WINDERMERE.FL.US

# Town Council Public Workshops

Required Town Council Public Workshops Prior to Final Development Plan Submission:

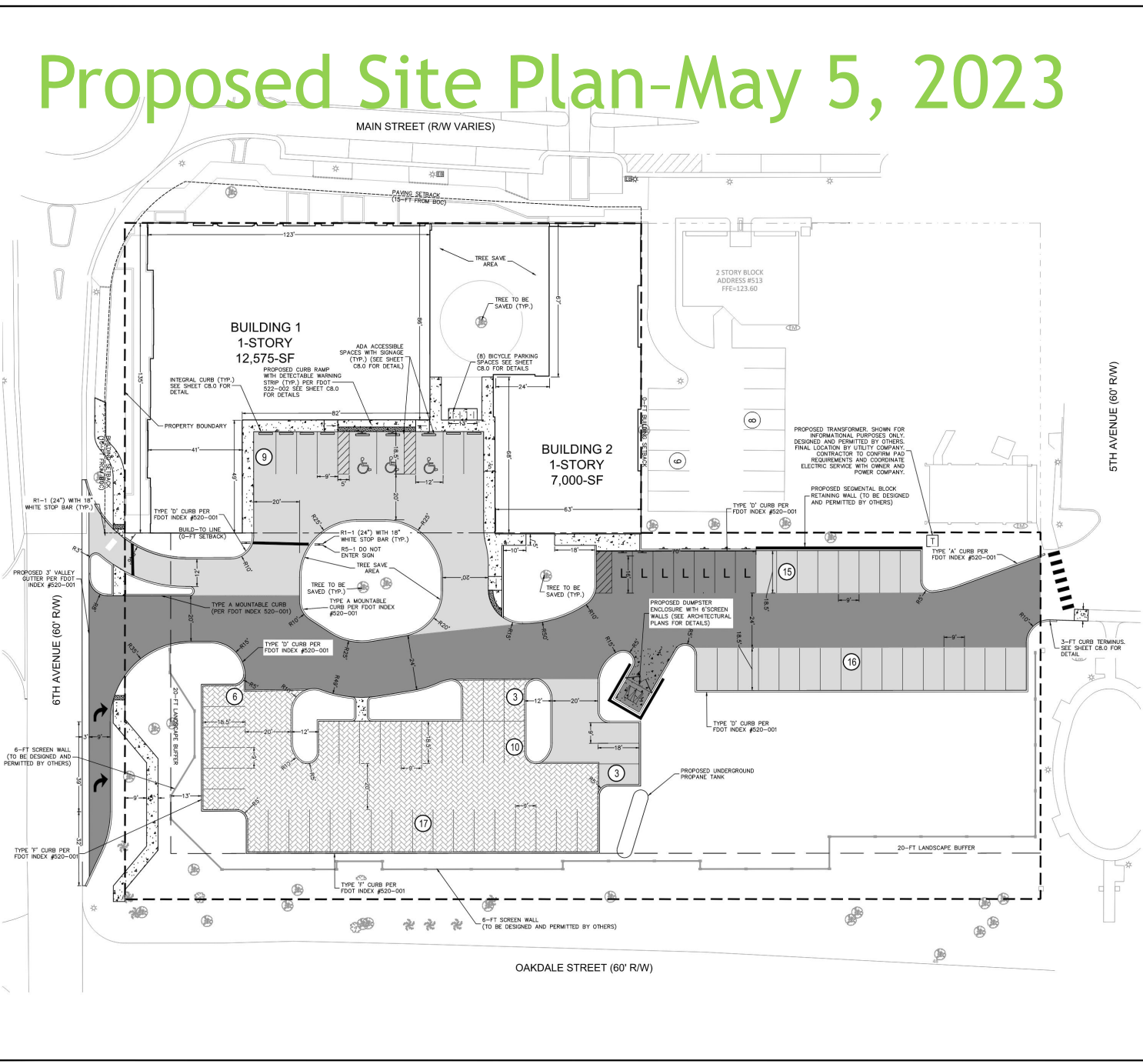
1. March 3, 2022
2. September 7, 2022
3. January 24, 2023
4. February 28, 2023

Review of proposed plans and discussion of significant issues:

- Parking
- Trees
- Building Design
- Buffering

# Proposed Site Plan-May 5, 2023

Project: 60/Center, Mound, Sheet: S41, Windermere, Downtown, Project: Local C.O. SITE PLAN, May 03, 2023, 08:14:27am, K:\LOCAL\_COURT\48922024\Windermere, Downtown, Project\LOCAL\_COURT\60/Center\A\LOCAL\_C.O. SITE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and shall for which it was prepared. Review of any preparatory material on this document without authorization will constitute an violation by the preparer and Associates, Inc. which is without liability to the preparer and Associates, Inc.



**OVERALL SITE DATA:**

PROJECT AREA:	2.17 ACRES (94,401 SF)
ZONING:	RD - PLANNED DEVELOPMENT
FUTURE LAND USE:	TOWN CENTER OVERLAY
PROPOSED USE:	COMMERCIAL
MAXIMUM BUILDING HEIGHT:	30 FEET

**BUILDING COVERAGE:**

BUILDING AREA:	19,575 SF (0.45 AC)
MAXIMUM ALLOWABLE F.A.R.:	0.30
F.A.R. (21,700 SF/94,401 SF):	0.23

<b>SETBACKS</b>	<b>BUILDING</b>	<b>PAVING</b>
OAKDALE STREET (EAST)	N/A	20 FT
6TH AVENUE (SOUTH)	10 FT MAX	20 FT
5TH AVENUE (NORTH)	0 FT	5 FT TO PARKING
MAIN STREET (WEST)	0 FT	15 FT (TO B.O.C.)

**IMPERVIOUS CALCULATIONS**

MAXIMUM ALLOWABLE IMPERVIOUS AREA (80%):	1.74 AC
BUILDING AREA:	0.45 AC
ASPHALT/CONCRETE AREA:	0.59 AC
TOTAL IMPERVIOUS AREA:	1.04 AC (47.9%)

**REQUIRED PARKING:**

4 SPACES / 1000 GSF:	79 SPACES
19,575 GSF / (4 SPACES / 1000 GSF):	79 SPACES
TOTAL PARKING SPACES REQUIRED:	79 SPACES

**PROVIDED PARKING:**

REGULAR SPACES (9'x18.5'):	76 SPACES
HANDICAP SPACES:	3 SPACES
TOTAL SPACES PROVIDED:	79 SPACES

**COMMERCIAL REQUIRED BICYCLE PARKING:**

REQUIRED: 0.10 PER REQUIRED PARKING SPACE:	8 SPACES
5.0' X 7.0'	8 SPACES
TOTAL SPACES PROVIDED:	8 SPACES

**LEGEND**

- - - PROPERTY BOUNDARY
- ▨ PROPOSED PAVEDRAIN/RETENTION TRENCH AREA (SEE SHEET C8.0 FOR DETAILS)
- ▨ PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE SHEET C8.0 FOR DETAILS)
- ▨ PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE SHEET C8.0 FOR DETAILS)
- L DUAL USE PARKING SPACE WITH SIGNAGE (SEE SHEET C8.0 FOR DETAILS)
- ▨ PROPOSED CONCRETE PAVEMENT (SEE SHEET C8.0 FOR DETAILS)

**UNLICENSED PROFESSIONAL**

NAME PROJECT:	149973004
DATE:	02/24/2023
SCALE:	AS SHOWN
DESIGNED BY:	MJC
DRAWN BY:	CML
CHECKED BY:	AMD
DATE:	

**WINDERMERE DOWNTOWN PROPERTY**

**FL**

**Kimley»Horn**

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 189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 33106

**MARDUS I. GEDER, P.E.**  
 FL LICENSE NUMBER 831519

**REVISIONS**

No.	REVISIONS	DATE

**WINDERMERE DOWNTOWN PROPERTY**

**SITE PLAN**

**TOWN OF WINDERMERE**

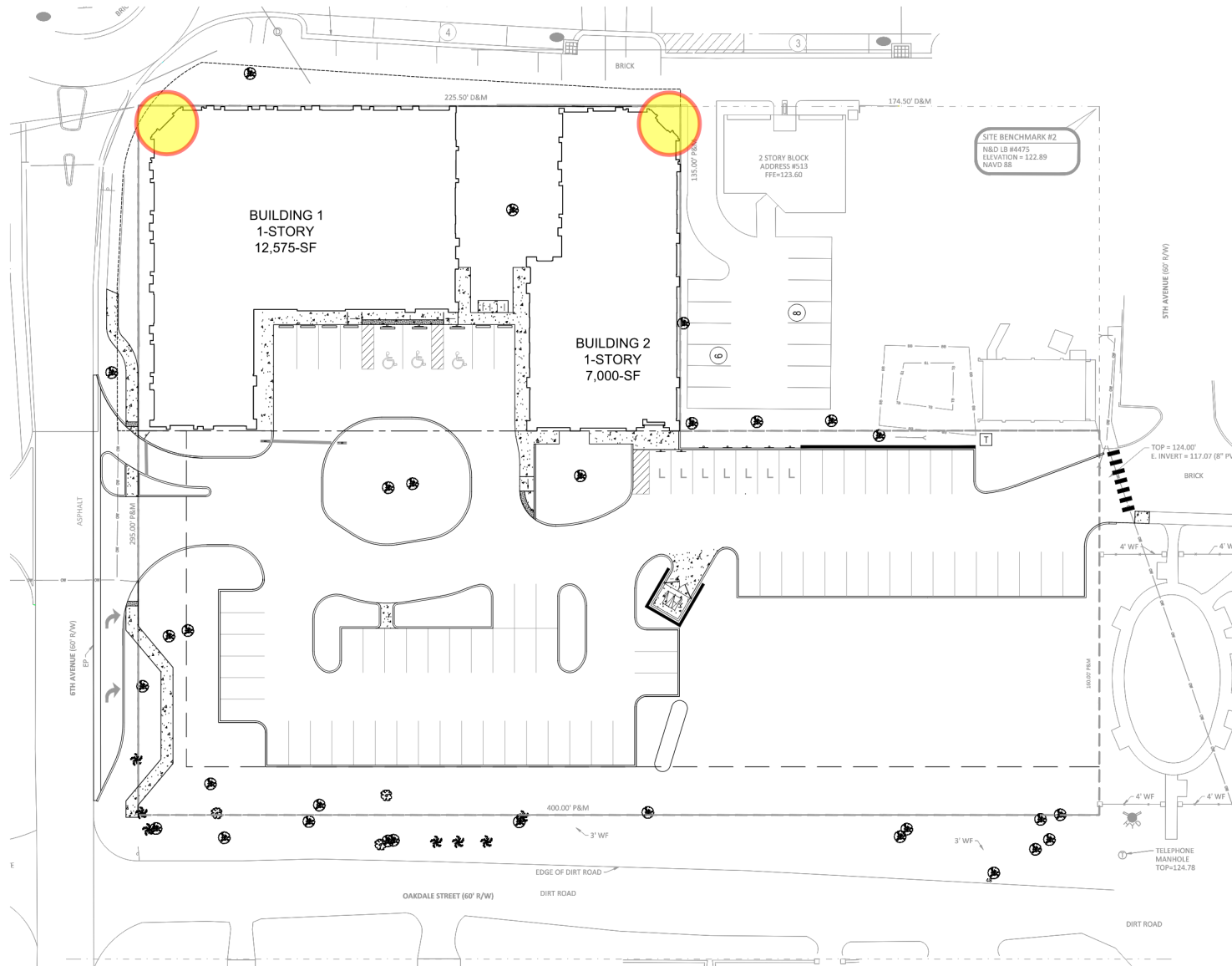
**FL**

**SHEET NUMBER**

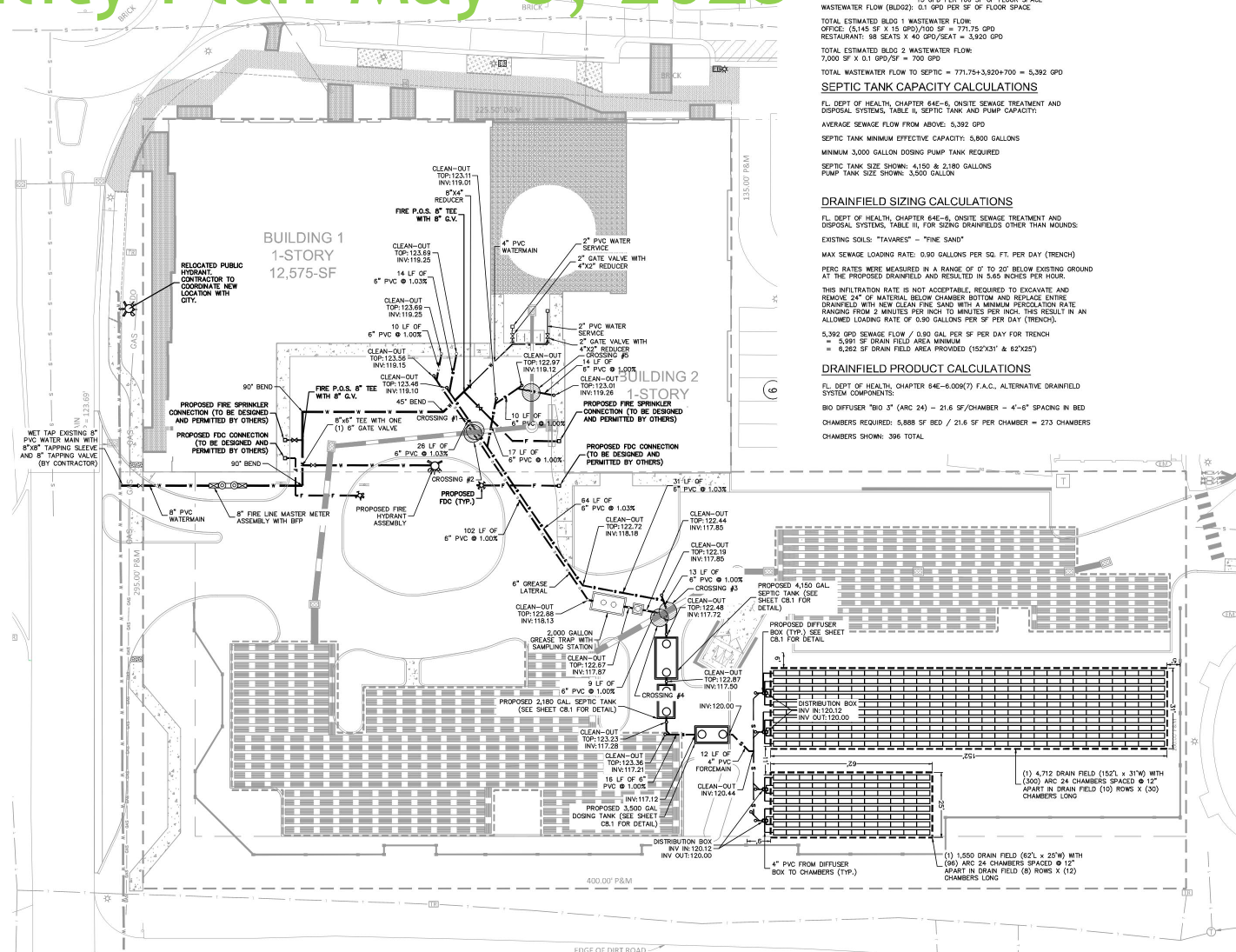
**C4.0**



# Revised Footprint-June 20, 2023



# Utility Plan-May 5, 2023



### SEWAGE FLOW CALCULATIONS

FL DEPT OF HEALTH, CHAPTER 64E-6, ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE I, ESTIMATED SEWAGE FLOWS.  
 BUILDING 1 USE: RESTAURANT OPERATING 16 HRS OR LESS PER DAY & OFFICE SPACE  
 BUILDING 2 USE: RETAIL BUILDING  
 WASTEWATER FLOW (BLDG1): 40 GPD PER SEAT (RESTAURANT)  
 WASTEWATER FLOW (BLDG2): 0.1 GPD PER SF OF FLOOR SPACE  
 TOTAL ESTIMATED BLDG 1 WASTEWATER FLOW:  
 OFFICE: (5,145 SF x 15 GPD)/100 SF = 771.75 GPD  
 RESTAURANT: 98 SEATS X 40 GPD/SEAT = 3,920 GPD  
 TOTAL ESTIMATED BLDG 2 WASTEWATER FLOW:  
 7,000 SF X 0.1 GPD/SF = 700 GPD  
 TOTAL WASTEWATER FLOW TO SEPTIC = 771.75+3,920+700 = 5,392 GPD

### SEPTIC TANK CAPACITY CALCULATIONS

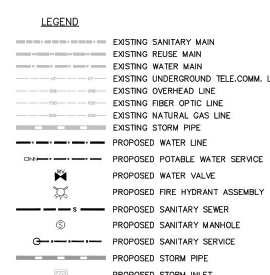
FL DEPT OF HEALTH, CHAPTER 64E-6, ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE II, SEPTIC TANK AND PUMP CAPACITY.  
 AVERAGE SEWAGE FLOW FROM ABOVE: 5,392 GPD  
 SEPTIC TANK MINIMUM EFFECTIVE CAPACITY: 5,800 GALLONS  
 MINIMUM 3,000 GALLON DOSING PUMP TANK REQUIRED  
 SEPTIC TANK SIZE SHOWN: 4,150 & 2,180 GALLONS  
 PUMP TANK SIZE SHOWN: 3,500 GALLON

### DRAINFIELD SIZING CALCULATIONS

FL DEPT OF HEALTH, CHAPTER 64E-6, ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE III, FOR SIZING DRAINFIELDS OTHER THAN MOUNDS.  
 EXISTING SOILS: "TAVARES" - "FINE SAND"  
 MAX RATE LOADING RATE: 0.90 GALLONS PER SQ. FT. PER DAY (TRENCH)  
 PERC RATES WERE MEASURED IN A RANGE OF 0' TO 20' BELOW EXISTING GROUND AT THE PROPOSED DRAINFIELD AND RESULTED IN 5.65 INCHES PER HOUR.  
 THIS INFILTRATION RATE IS NOT ACCEPTABLE, REQUIRED TO EXCAVATE AND REMOVE 24" OF MATERIAL BELOW CHAMBER BOTTOM AND REPLACE ENTIRE DRAINFIELD WITH NEW CLEAN FINE SAND WITH A MINIMUM PERCOLATION RATE RANGING FROM 2 MINUTES PER INCH TO MINUTES PER INCH. THIS RESULT IN AN ALLOWED LOADING RATE OF 0.90 GALLONS PER SF PER DAY (TRENCH).  
 5,392 GPD SEWAGE FLOW / 0.90 GAL PER SF PER DAY FOR TRENCH = 5,991 SF DRAIN FIELD AREA MINIMUM = 5,262 SF DRAIN FIELD AREA PROVIDED (152'X31' & 62'X25')

### DRAINFIELD PRODUCT CALCULATIONS

FL DEPT OF HEALTH, CHAPTER 64E-6.006(7) F.A.C., ALTERNATIVE DRAINFIELD SYSTEM COMPONENTS:  
 BIO DIFFUSER "80 3" (ARC 24) - 216 SF/CHAMBER - 4" - 6" SPACING IN BED  
 CHAMBERS REQUIRED: 5,988 SF BED / 216 SF PER CHAMBER = 273 CHAMBERS  
 CHAMBERS SHOWN: 366 TOTAL



- #### GENERAL UTILITY NOTES:
- PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING FIBER OPTIC CABLES, UNDERGROUND ELECTRIC LINES, AND UNDERGROUND TELECOM LINES. CONTRACTOR TO COORDINATE SERVICE LINE ADJUSTMENTS WITH RESPECTIVE SERVICE PROVIDER AND OWNER. BOX ADJUSTMENTS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY, DESIGNED BY OTHERS.
  - PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER GAS LINE, VALVE, AND/OR BOX ADJUSTMENTS WITH SERVICE PROVIDER AND OWNER. SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY, DESIGNED BY OTHERS.
  - CONTRACTOR TO COORDINATE PROPOSED TRANSFORMER LOCATIONS AND ELECTRIC SERVICE WITH POWER COMPANY AND OWNER. TRANSFORMERS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY, DESIGNED BY OTHERS.
  - PRIOR TO CONSTRUCTION START, THE CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY UTILITIES (OCU) AND TOWN OF WINDERMERE. CIVIL ENGINEER OF RECORD TO BE PRESENT AT PRE-CON MEETING.

- #### POTABLE WATER & SANITARY WASTEWATER UTILITY NOTES:
- ALL POTABLE WATER AND SANITARY WASTEWATER UTILITIES SHALL BE IN ACCORDANCE WITH ORANGE COUNTY UTILITIES (OCU) STANDARDS, SPECIFICATIONS, AND DETAILS, 2017 ED. CONTRACTOR SHALL BE RESPONSIBLE TO BE FAMILIAR WITH THESE STANDARDS.
  - ALL CLEAN-OUTS WITHIN ASPHALT AND/OR CONCRETE AREAS SHALL BE IN-20 TRAFFIC BEARING.

- #### GENERAL FIRE SERVICE NOTES:
- ALL UNDERGROUND MAINS SERVING FIRE HYDRANTS OR FIRE PROTECTION SPRINKLER SYSTEMS ON PRIVATE PROPERTY MUST BE PERMITTED PRIOR TO INSTALLATION. THE DRAWING SHALL INDICATE THAT ALL UNDERGROUND FIRE MAINS WILL BE INSTALLED IN ACCORDANCE WITH NFPA 24 (2013 EDITION), "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES". (F.A.C. 69A-60.005(2)).
  - ALL FIRE SERVICE MAIN LOCATED DOWNSTREAM OF THE FIRE POINT OF SERVICE (FOS) SHALL BE INSTALLED BY A QUALIFIED AND LICENSED CONTRACTOR. CONSTRUCTION MATERIALS SHALL COMPLY WITH APPLICABLE FIRE CODE. CONTRACTOR TO VERIFY REQUIREMENTS WITH ORANGE COUNTY UTILITIES DEPARTMENT PRIOR TO SHOP DRAWING REVIEW.
  - FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT FROM THE NEAREST FIRE HYDRANT. (NFPA 14: 6.3.5-1)
  - PROVIDE SIGNAGE, INDICATING ITS LOCATION AND THE BUILDING IT SERVES, FOR ALL PROPOSED FIRE DEPARTMENT CONNECTIONS (F.D.C.).
  - PRIOR TO FIRE INSTALLATION, THE FLORIDA LICENSED CONTRACTOR SHALL SUBMIT LAYOUT DESIGN DRAWINGS TO THE OFFICE OF THE FIRE MARSHAL IN WRITING BY FLORIDA STATE 304.78. DRAWINGS MUST BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER. DRAWINGS MUST SHOW ALL EXISTING UNDERGROUND FIRE LINES AND COMPONENTS STARTING FROM THE POINT OF SERVICE AS DEFINED UNDER FLORIDA STATUTE 386.12. THE DESIGN SHALL BE IN ACCORDANCE TO THE CURRENT FLORIDA FIRE PREVENTION CODE AND ALL ADOPTED NFPA CODES AND STANDARDS.

DATUM NOTE:  
 ELEVATIONS BASED ON NAVD 88 DATUM

Always call 811 two full business days before you dig to have underground utilities located and marked.



WINDERMERE DOWNTOWN PROPERTY								
CROSSING (#)	TOP PIPE			BOTTOM PIPE			CLEARANCE (FT)	
	TYPE	SIZE (IN)	INVERT	BOTTOM	TYPE	SIZE (IN)		CROWN
1	SSWR PVC	6	119.20	118.89	STRMHP	18	117.92	0.97
2	SSWR PVC	6	119.20	118.89	STRMHP	18	117.92	0.97
3	SSWR PVC	6	117.82	117.78	STRM CMP	24	116.28	1.51
4	SSWR PVC	6	117.81	117.78	STRM CMP	24	116.51	1.27
5	STRM CMP	12	121.07	120.69	SSWR PVC	6	119.68	1.00

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 189 S. ORANGE AVENUE, SUITE 300, ORLANDO, FL 32801  
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

---

RMA PROJECT  
 149973004

DATE  
 02/07/2023

SCALE  
 AS SHOWN

DESIGNED BY  
 MJC

DRAWN BY  
 CAL

CHECKED BY  
 MJC

LICENSURE PROFESSIONAL  
 WARDEN T. GEDER, P.E.  
 FL LICENSE NUMBER  
 89199

DATE  
 \_\_\_\_\_

REVISIONS  
 \_\_\_\_\_

NO.  
 \_\_\_\_\_

---

## UTILITY PLAN

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WINDERMERE  
 DOWNTOWN  
 PROPERTY

FL

TOWN OF WINDERMERE

---

SHEET NUMBER  
**C6.0**





# Tree Board Meeting and Recommendation

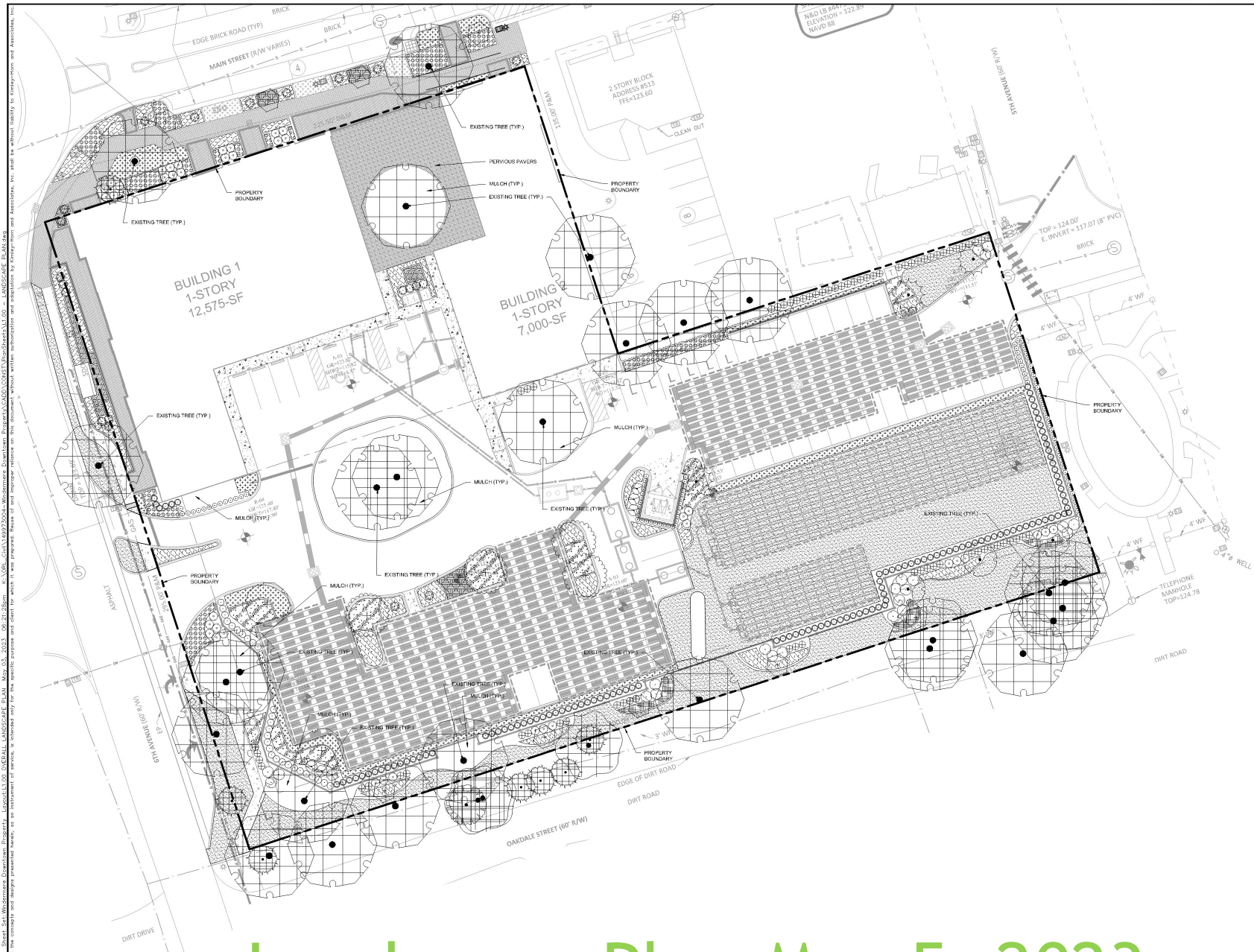
Tree Board reviewed project for tree impact and mitigation, landscape plan, and buffering

Tree Board held several meetings and site visits

Tree Board final review on May 18, 2023, and recommended approval:

- Proper protection of the trees to remain;
- Donate to the Town 151 inches of replacement trees for 151 inches of trees removed;
- Applicant must retain a certified arborist during construction; and
- Town may engage own certified arborist to also assure proper protection.





CALL 2 WORKING DAYS BEFORE YOU DIG
   
**811**
  
 IT'S THE LAW! Dial 811
   
 Know what's below. Call before you dig.
   
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

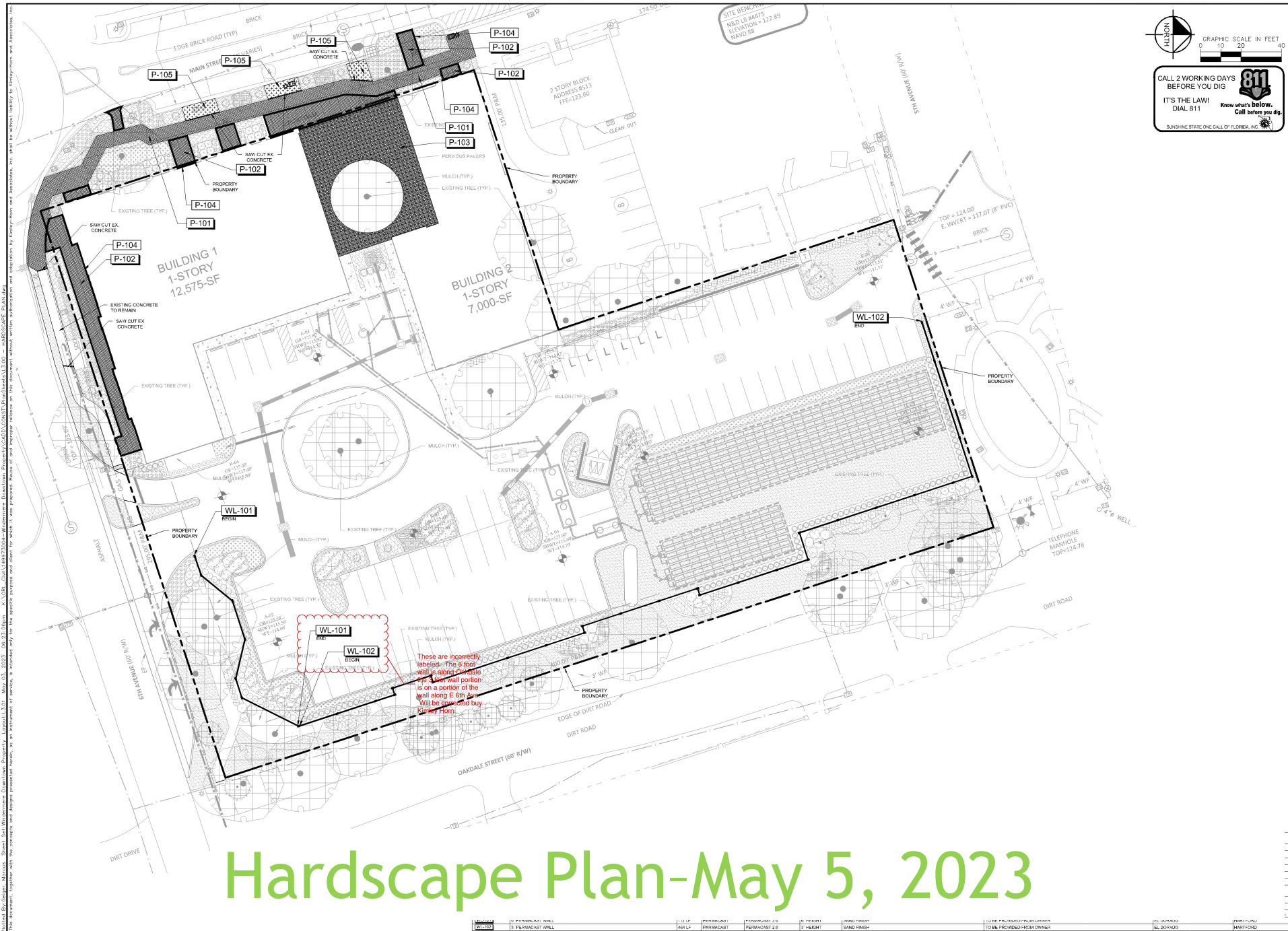
Project: Windermere Downtown Property - Overall Landscape Plan - May 05, 2023 - 06:31:26am - s:\v\c\c\windermere\down\overall\landscape\plan\05 - landscape\plan.dwg  
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A LANDSCAPE PLAN

# Landscape Plan-May 5, 2023

<b>WINDERMERE DOWNTOWN PROPERTY</b> TOWN OF WINDERMERE	<b>LANDSCAPE PLAN</b>	RMA PROJECT 149372004 SCALE AS SHOWN DESIGNED BY: ANP DRAWN BY: ANP CHECKED BY: ANP	LICENSED PROFESSIONAL	No. _____ REVISIONS _____ DATE _____
		KIMLEY-HORN & ASSOCIATES, INC. 188 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801 PHONE: 407-898-1011 WWW.KIMLEY-HORN.COM REGISTRY No. 30106	<b>Kimley-Horn</b>	No. _____ REVISIONS _____ DATE _____

SHEET NUMBER L1.00



GRAPHIC SCALE IN FEET  
0 10 20

CALL 2 WORKING DAYS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.  
811  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Project: Windermere Downtown Property - L3.01 - May 03, 2023  
 Drawn: J. L. ...  
 Checked: J. L. ...  
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. No other use or reproduction of this document without written authorization and permission by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

WINDERMERE DOWNTOWN PROPERTY		TOWN OF WINDERMERE		SHEET NUMBER <b>L3.01</b>	
HARDSCAPE PLAN		LICENSED PROFESSIONAL		NO.	
RHA PROJECT 149747004		DATE 02/09/2023		SCALE AS SHOWN	
DESIGNED BY ANP		CHECKED BY ANP		DATE	
KIMLEY-HORN		188 S. GORRISON AVENUE, SUITE 1000, ORLANDO, FL 32801		WWW.KIMLEY-HORN.COM REGENCY NO. 30106	
DATE		REVISIONS		BY	

# Hardscape Plan-May 5, 2023

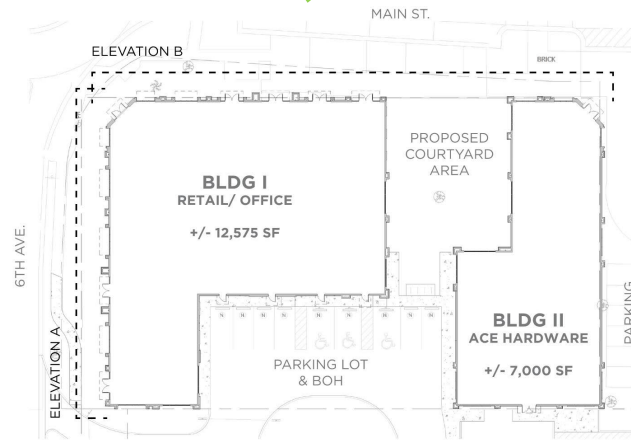
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# Elevations Reviewed by DRB-June 20, 2023



ELEVATION B - BLDG I - FROM 6TH AVE.



SITE PLAN

S+C

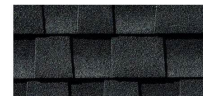
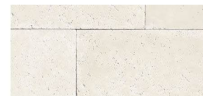
VB  
CAPITAL

WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED-USE RETAIL & OFFICE



ELEVATION A - BLDG I & II - FROM MAIN ST.

- 1 SW - 7005  
PURE WHITE  
MAIN PAINT COLOR
- 2 SW - 7672  
KNITTING NEEDLES  
ACCENT COLOR
- 3 EL DORADO  
HARTFORD  
BRICK VENEER
- 4 EL DORADO  
DOVETAIL  
STONE VENEER
- 5 SUNBRELLA  
BLACK  
AWNING FABRIC
- 6 GAF TIMBERLINE HDZ  
CHARCOAL  
ROOF SHINGLES



SEP 07 MAIN ST.  
WINDERMERE, FL 34786  
SCOTT + CORNIA  
ARCHITECTURE AND INTERIORS, LLC  
FL# A26002880  
429 South Miller Road Ste 200  
Clematis, Florida 34909  
scottcornia.com  
Drawn By: PG, RB, SC  
Reviewed By: RB, LO  
CRC-02 2023 - MAY, 03

# Elevations Reviewed by DRB-June 20, 2023



CONCEPT IMAGES



MATERIAL CHOICES AND ARCHITECTURAL ELEMENTS PER DESIGN GUIDELINES (ELEVATION 'B' SHOWN FOR REFERENCE)

S+C

VB  
CAPITAL

WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED-USE RETAIL & OFFICE

317 527 1944 N.E.  
WINDERMERE, FL 34786

SCOTT + CORNIA  
ARCHITECTS AND INTERIORS, LLC  
FL# A428022880  
429 South Walker Road Ste 200  
Orlando, Florida 32815  
407.822.2222  
scottcornia.com

Drawn By: PLS, RB, SC

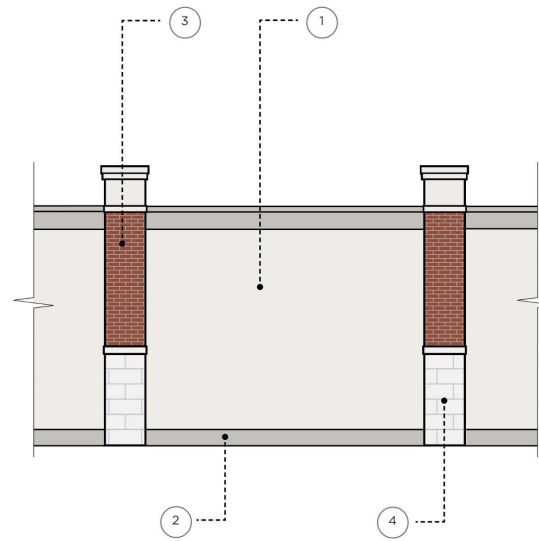
Reviewed By: RB, LO

ORC-07 2023 - MAY - 03

# Elevations Reviewed by DRB-June 20, 2023

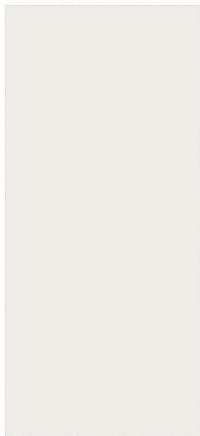


ENLARGED BUILDING ELEVATION - CORNER DESIGN AND MATERIALS



SITE WALL ELEVATION - FOR ILLUSTRATIVE PURPOSES

1 SW - 7005  
PURE WHITE  
MAIN PAINT COLOR



2 SW - 7672  
KNITTING NEEDLES  
ACCENT COLOR



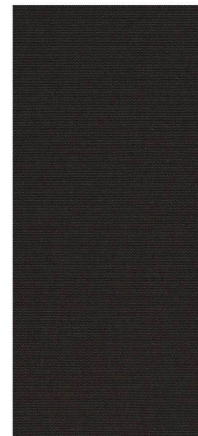
3 EL DORADO  
HARTFORD  
BRICK VENEER



4 EL DORADO  
DOVETAIL  
STONE VENEER



5 SUNBRELLA  
BLACK  
AWNING FABRIC



6 GAF TIMBERLINE HDZ  
CHARCOAL  
ROOF SHINGLES



PROJECT MATERIALS

S+C

VB  
CAPITAL

WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
6TH AND MAIN, TOWN OF WINDERMERE, FL  
MIXED-USE RETAIL & OFFICE

3027 MAIN ST.  
WINDERMERE, FL 34786

SCOTT + CORMIA  
ARCHITECTS AND INTERIORS, LLC  
FL# AA26052980  
439 South Fuller Road Ste 200  
Orlando, Florida 32818  
407.962.1111  
scott+cormia.com

Drawn By: PG, RB, SC  
Reviewed By: RB, LO

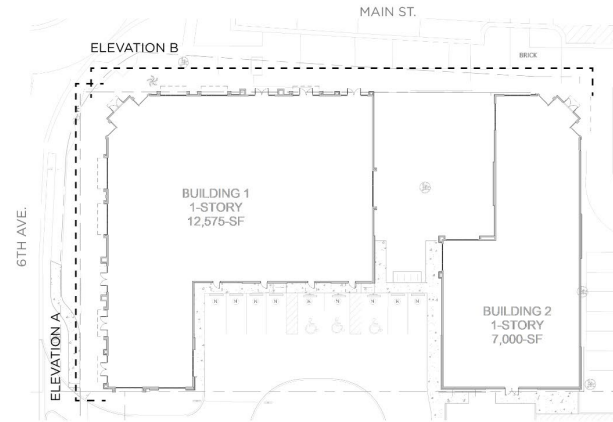
DATE: 2023, MAY, 01



# Revised Elevations-July 3, 2023



ELEVATION A - FROM 6TH AVE.



ELEVATION B - FROM MAIN ST.

- 1 SW - 7005  
PURE WHITE  
MAIN PAINT COLOR


- 2 SW - 7672  
KNITTING NEEDLES  
ACCENT COLOR


- 3 SW - 7036  
ACCESSIBLE BEIGE  
ACCENT COLOR


- 4 EL DORADO  
DOVETAIL  
STONE VENEER


- 5 EL DORADO  
RIVERBED  
BRICK VENEER


- 6 EL DORADO  
LATIGO  
BRICK VENEER


- 7 SUNBRELLA  
BLACK  
AWNING FABRIC


- 8 GAF TIMBERLINE HDZ  
CHARCOAL  
ROOF SHINGLES





WINDERMERE DOWNTOWN PROPERTY - CORNER OF  
 6TH AND MAIN, TOWN OF WINDERMERE, FL  
 MODIFIED ELEVATION CONCEPT

# Guidance Architectural Review

## Town Attorney Direction

The Town may not deny a development plan based on the architectural style of the buildings.

Section 12.02.11(d)(9) (Note), LDC, states: “Architectural elevations are required even though no authority is given for denying a development plan based on the architectural style. Requiring elevations allows the development review board to comment on the elevations and suggest changes. Once submitted, the elevations may be considered to be a part of the approved development plan and the developer may be required to build in conformity with the elevations.”

# Development Agreement Highlights

All development must be consistent with approved plans and with requirements of Development Agreement - “Runs with Land”

Transportation Mitigation Payment to Town = \$47,000 for future roundabout improvement and pedestrian crossing at E. 6<sup>th</sup> Avenue and Oakdale Street

Potable water provided by Orange County Utilities

Septic system must be permitted and approved by Orange County Health Department

Stormwater must meet SFWMD and Town Standards; must also provide a maintenance plan for pervious pavement



# Development Agreement Highlights

Allowed uses must be consistent with Town Center Overlay District and PUD permitted uses

No outdoor storage or display allowed (subject to same standards as other businesses in Town)

Hours of operation limited to between 7:00 a.m. and 10:00 p.m.

Buildings and Screen Wall must be compliant with approved plans

Dumpster must be screened with lid (i.e., covered)

Parking consistent with approved Site Plan

# Development Agreement Highlights

Tree mitigation and protection

Site lighting must be shielded

Construction management standards to limit impacts

Construction must begin within 18 months from the effective date of Ordinance 2023-02

# Development Review Board (DRB) Recommendation

DRB reviewed on June 20, 2023

DRB recommends Town Council approval with conditions that:

1. Building elevations be revised to be more compliant with Town Center Design Guidelines (2004)
2. Screen wall color/materials to be coordinated with Oakdale Street property owners\*

*\*Meeting with Oakdale Street property owners held on July 10, 2023, to review screen wall color/materials*