

CONSTRUCTION PLANS FOR WINDERMERE DOWNTOWN PROPERTY

PARCEL ID #'s: 17-23-28-9336-02-430, 17-23-28-9336-02-470,
17-23-28-9336-02-490, 17-23-28-9336-02-500, 17-23-28-9336-02-510,
17-29-28-9336-02-520



AERIAL PHOTOGRAPH
N.T.S.

SITE



PROJECT LOCATION

TOWN OF WINDERMERE, FL February 10, 2023

LEGAL DESCRIPTION

That part of Section 33, Township 24 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of said Section 33, Township 24 South, Range 27 East, Orange County, Florida; thence run S8956°28'W along the South line of said Section 33, also being the centerline of State Road 530 (U.S. Highway No. 192), a distance of 994.86 feet to a point on the Southerly projection of the East line of Shoppes of West 192, according to the plat thereof as recorded in Plat Book 93, Pages 127 and 128, Public Records of Orange County, Florida; thence run N00°14'00"E along said Southerly projection, a distance of 100.00 feet to a point on the North right of way line of said State Road 530 (U.S. Highway No. 192); thence continue N00°14'00"E along the East line of said Shoppes of West 192 and along the East line of the lands described in Official Records Book 5526, Page 1669, Public Records of Orange County, Florida, a distance of 1037.89 feet for the Point of Beginning; thence run S8946°00"E, a distance of 43.60 feet to a point on a non-tangent curve, concave to the East, having a radius of 91.00 feet; thence from a radial bearing of S8327°27'E run northeasterly along the arc of said curve through a central angle of 2347°55", an arc distance of 37.80 feet, having a chord bearing of N1826°30"E and a chord distance of 37.53 feet; thence run S3020°28'W, a distance of 1.48 feet to the beginning of a curve concave to the West, having a radius of 133.00 feet; thence run Northeasterly along the arc of said curve through a central angle of 26°32'02", an arc distance of 61.59 feet, having a chord bearing of N1704°27'E and a chord distance of 61.04 feet; thence run S8946°00"E, a distance of 80.65 feet; thence run N5830°45'E, a distance of 18.93 feet; thence run N2647°29'E, a distance of 17.99 feet; thence run S8939°32'E, a distance of 227.45 feet; thence run S0057°03'W, a distance of 47.73 feet; thence run S44°18'50"E, a distance of 44.13 feet; thence run S8944°58'E, a distance of 177.16 feet; thence run N3754°25'E, a distance of 53.22 feet; thence run S6656°12'E, a distance of 65.35 feet; thence run N1826°28'E, a distance of 59.31 feet; thence run S8936°22'E, a distance of 269.13 feet; thence run N00°11'30"E along the East line of said Southeast 1/4 of Section 33, a distance of 414.43 feet; thence run N8939°32'W along the South line of lands described in Official Records Book 5526, Page 1669, a distance of 993.64 feet; thence run S0014°00'W along the aforesaid East line of the lands described in Official Records Book 5526, Page 1669, a distance of 530.38 feet to the Point of Beginning.

Contains 2.17 acres, more or less



SITE

SECTION 17, TOWNSHIP 23S, RANGE 28E
LOCATION MAP
N.T.S.

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Wade Trim Comments
4/13/2023

Plans Received from KHA on
4/11/2023

PROJECT TEAM

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MARCUS I. GEIGER, P.E.
FL. P.E. NO. 89199

WINDERMERE DOWNTOWN PROPERTY
KH PROJECT# 149973004
02/09/2023

NO.	REVISIONS:	DATE	BY

SHEET NUMBER
C0.0

Plotted By: Geier, Marcus - Sheet Set: Windermere Downtown Property - Layout: C1.1 - GENERAL NOTES - April 10, 2023 04:33:01pm - K:\ORL\Civil\49973004-Windermere Downtown Property\CADD\CONST\PlanSheets\C1.0 - GENERAL NOTES.dwg
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WINDERMERE
 DOWNTOWN
 PROPERTY
 TOWN OF WINDERMERE FL

GENERAL NOTES

KHA PROJECT
 149973004
 DATE
 02/09/2023
 SCALE AS SHOWN
 DESIGNED BY M/G
 DRAWN BY CML
 CHECKED BY M/G DATE: _____

LICENSED PROFESSIONAL
 MARCUS I. GEIER, P.E.
 FL LICENSE NUMBER
 89199
 DATE: _____

No.	REVISIONS	DATE	BY

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CONTRACTOR'S AS-BUILT

- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION, CERTIFIED BY A LICENSED LAND SURVEYOR CURRENTLY REGISTERED IN THE STATE OF FLORIDA. AT A MINIMUM, THIS "AS-BUILT" INFORMATION SHALL INCLUDE: TOP OF PIPE/INVERT ELEVATIONS AND HORIZONTAL LOCATIONS OF ALL WATER, SANITARY SEWER, AND RECLAIM WATER UTILITIES INSTALLED (AS APPLICABLE); PAVEMENT GRADE BREAK LOCATIONS AND SUFFICIENT ELEVATIONS OF FINISHED GRADE SURFACES WHICH ALLOW THE ENGINEER TO DETERMINE COMPLIANCE WITH THE PROPOSED DESIGN; TOP, GRATE, & INVERT ELEVATIONS OF THE STORMWATER COLLECTION SYSTEM, INCLUDING THE POND GRADES (TOP, BANK, BOTTOM), POND CONTROL STRUCTURE, & SWALES; ANY IMPROVEMENTS WITHIN FDOT OR COUNTY RIGHT-OF-WAYS.
- THE DIGITAL "AS-BUILT" FILE, PROVIDED IN AUTOCAD .DWG FORMAT, SHALL ALSO BE PROVIDED IN THE FLORIDA STATE PLANE COORDINATE SYSTEM. NO ENGINEER'S CERTIFICATIONS OF COMPLETION OR REQUESTS FOR FINAL ACCEPTANCE WILL BE SUBMITTED UNTIL THIS INFORMATION HAS BEEN RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.

STORMWATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

PROJECT NAME AND LOCATION
WINDERMERE DOWNTOWN PROPERTY
TAX PARCELS: 17-23-28-9336-02-430, 17-23-28-9336-02-470, 17-23-28-9336-02-490,
17-23-28-9336-02-500, 17-23-28-9336-02-510, 17-29-28-9336-520
TOWN OF WINDERMERE, FL

*SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME AND ADDRESS
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496 S. HUNT CLUB BOULEVARD
APOPKA, FL 32703
CONTACT: BRETT DARGIS
PHONE: (407)848-1663
EMAIL: brett@v3capgroup.com

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF PROPOSED COMMERCIAL BUILDING ON THE SITE.

THIS SITE IS LOCATED ON THE CORNER OF MAIN STREET AND 6TH AVENUE.

STORMWATER RUNOFF FROM THE PROPOSED SITE WILL BE MANAGED BY MULTIPLE BMP'S, INCLUDING A PROPOSED WET DETENTION POND, PERVIOUS PAVERS, AND DRY RETENTION POND TO PROVIDE THE REQUIRED TREATMENT (QUALITY) AND ATTENUATION (QUANTITY) VOLUMES. THE STORMWATER MANAGEMENT SYSTEM WAS DESIGNED TO MEET OR EXCEED ALL THE REQUIREMENTS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), RCID, AND ORANGE COUNTY.

PROJECT AREA: ±2.17 ACRES
CONTRIBUTING DRAINAGE AREA: ±2.17 ACRES

CONTROL STRUCTURES : CS-A
LONGITUDE : W 81° 32' 01.47" LATITUDE: N 28° 29' 41.33"

CONTROL STRUCTURES : CS-B
LONGITUDE : W 81° 32' 03.73" LATITUDE: N 28° 29' 44.99"

ULTIMATE RECEIVING WATERS: LAKE BUTLER

ACTIVITIES THAT REQUIRE EROSION CONTROL

SITE CLEARING AND GRUBBING; PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; EXCAVATION FOR THE RETENTION POND; SITE GRADING; INSTALLATION OF STORM WATER, SANITARY SEWER, AND WATER STRUCTURES; CURB, ROADWAYS, AND PARKING FACILITIES.

*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SOIL PARAMETERS

SOIL TYPES:

SERIES NAME	HYDROLOGIC GROUP
POMELLO FINE SAND	A
SANIBEL MUCK	D
IMMOKALEE FINE SAND	B/D
BASINGER FINE SAND	A/D
TAVARES FINE SAND	A

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF CONSTRUCTION IS AS FOLLOWS:

1. PROVIDE STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCES AND OTHER EROSION CONTROL METHODS
3. CLEAR AND GRUB FOR SEDIMENT BASIN AND EARTH DIKE
4. CONSTRUCT EARTH DIKE AND SEDIMENT BASIN
5. FINISH CLEARING AND GRUBBING
6. REMOVE AND STORE TOPSOIL
7. PROVIDE INITIAL GRADING AS REQUIRED
8. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
9. INSTALL UTILITIES, STORM SEWER, CURB AND GUTTER
10. INSTALL BASE TO ROAD AND PARKING AREA
11. FINISH GRADING ENTIRE SITE
12. CONSTRUCT FINAL PAVING
13. REMOVE ACCUMULATED SEDIMENT
14. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

TIMING OF CONTROL MEASURES

THE INSTALLATION OF SILT FENCE (AND OTHER EROSION CONTROL MEASURES), A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTIVITY. AFTER CONSTRUCTION IS COMPLETE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE AREAS SHALL BE REGRADED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

EROSION AND SEDIMENT CONTROLS

BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN-OFF. THE LOCATION AND DETAILS OF EROSION CONTROL METHODS ARE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING THESE CONTROL METHODS AS SHOWN ON THE PLANS OR AS REQUIRED. HE/SHE SHALL ALSO PROVIDE THE REQUIRED EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW.

STORM WATER MANAGEMENT

STORMWATER RUNOFF FROM THE PROPOSED SITE WILL BE MANAGED BY AN EXFILTRATION/PAVE DRAIN SYSTEM TO PROVIDE THE REQUIRED TREATMENT (QUALITY) AND ATTENUATION (QUANTITY) VOLUMES. THE STORMWATER MANAGEMENT SYSTEM WAS DESIGNED TO MEET OR EXCEED ALL THE REQUIREMENTS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), TOWN OF WINDERMERE, AND ORANGE COUNTY.

STABILIZATION PRACTICES:

TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL. AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.66A, 1.66B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY. ALL RETENTION/DETENTION BASINS SHALL BE SODDED AT LEAST TO THE NORMAL WATER LINE. ALL EXPOSED AREAS WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE SOLID SODDED, OTHER AREAS WITH SLOPES STEEPER THAN 4:1 SHALL BE SODDED.

STRUCTURAL PRACTICES:

EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

WASTE DISPOSAL

WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.

HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.

OFF-SITE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPULIN.

DUST & DEBRIS CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL WITHIN THE CONSTRUCTION LIMITS AS WELL AS ALONG HAUL ROUTES AND ROADWAYS USED BY THE EQUIPMENT AND VEHICLES. THE CONTRACTOR SHALL ENSURE THAT EXCESSIVE DUST IS NOT TRANSPORTED BEYOND THE LIMITS OF CONSTRUCTION IN POPULATED AREAS. THE CONTRACTOR MAY CONTROL DUST FOR EMBANKMENTS OR OTHER CLEARED OR UNSURFACED AREAS BY APPLYING WATER. INSTALL MULCH, SEED, SOD, OR TEMPORARY PAVING AS EARLY AS PRACTICAL. CONTROL DUST DURING STORAGE AND HANDLING OF DUSTY MATERIALS BY WETTING, COVERING, OR OTHER MEANS AS APPROVED BY THE ENGINEER. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON THE PROJECT SITE.

ITEMS REQUIRING POLLUTION PREVENTION

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE:

-ASPHALT	-CLEANING SUPPLIES
-CONCRETE	-DETERGENTS
-FERTILIZERS	-MASONRY BLOCK/BRICKS
-METAL PIECES	-PAINT
-PETROLEUM BASED PRODUCTS	-WOOD
-TAR	

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOUNTERED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE:

- UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION
- WATER FROM WATER LINE FLUSHING
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

- SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.

- STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.

- ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.

- ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

- PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

- ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

HAZARDOUS PRODUCTS

- MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.

- PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

PRODUCT SPECIFIC PRACTICES

- PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

- THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

- PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.

- CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.

- THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.

- ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.

- WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.

- TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.

- AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.

- THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

MAINTENANCE AND INSPECTION PRACTICES

THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR:

- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE CHECKED DAILY AND AFTER EACH 0.5 INCH OR GREATER RAINFALL BY THE SUPERINTENDENT OR SOMEONE UNDER HIS/HER DIRECT SUPERVISION.

- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD CONDITION. REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.

- THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE.

- THE SILT FENCE SHALL BE CLEARED OF SEDIMENT WHEN SEDIMENT MEASURES ONE-THIRD THE HEIGHT OF THE FENCE.

- THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. THEY SHALL BE CLEANED WHEN SEDIMENT REACHES 10% OF TOTAL CAPACITY AND AFTER CONSTRUCTION IS COMPLETE.

- DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

- ALL SEEDING SHALL BE CHECKED FOR PROPER GROWTH AND UNIFORMITY. UNSTABILIZED AREAS SHALL BE RE-SODDED.

- A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

- THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FORM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

SIGNATURE AND DATE	NAME AND TITLE, COMPANY / ADDRESS AND TELEPHONE NUMBER	RESPONSIBILITY

Kimley»Horn

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189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511
WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL
MARCUS I. DEIGER, P.E.
FL LICENSE NUMBER
89199

KHA PROJECT
149973004
DATE
02/09/2023
SCALE
AS SHOWN
DESIGNED BY
M/G
DRAWN BY
CML
CHECKED BY
M/G
DATE: _____

SWPP NOTES

WINDERMERE
DOWNTOWN
PROPERTY

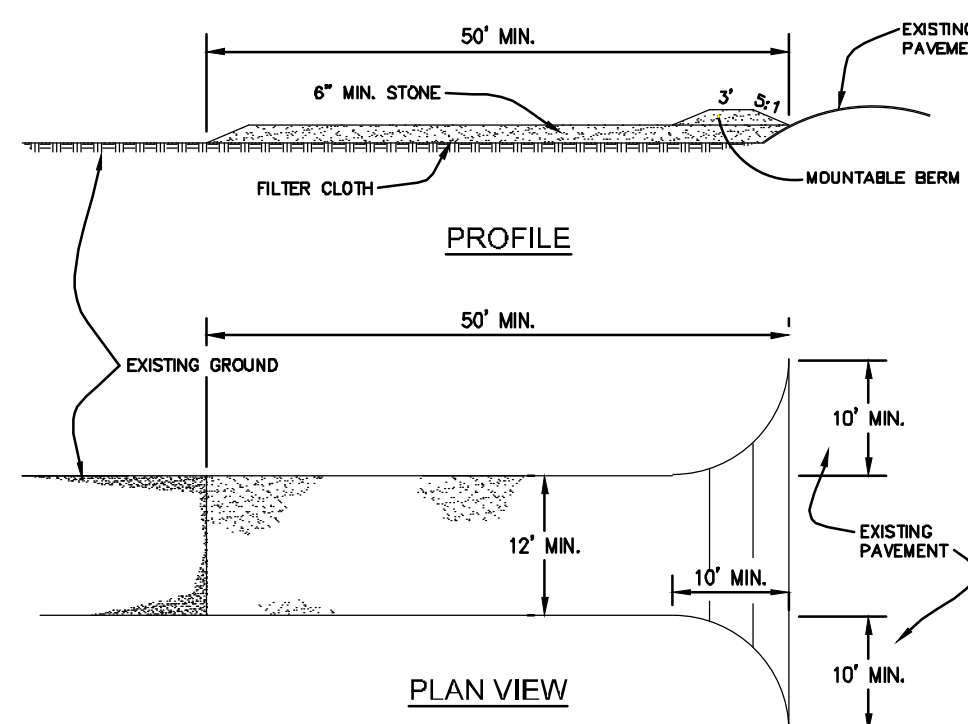
TOWN OF WINDERMERE FL

SHEET NUMBER
C2.0

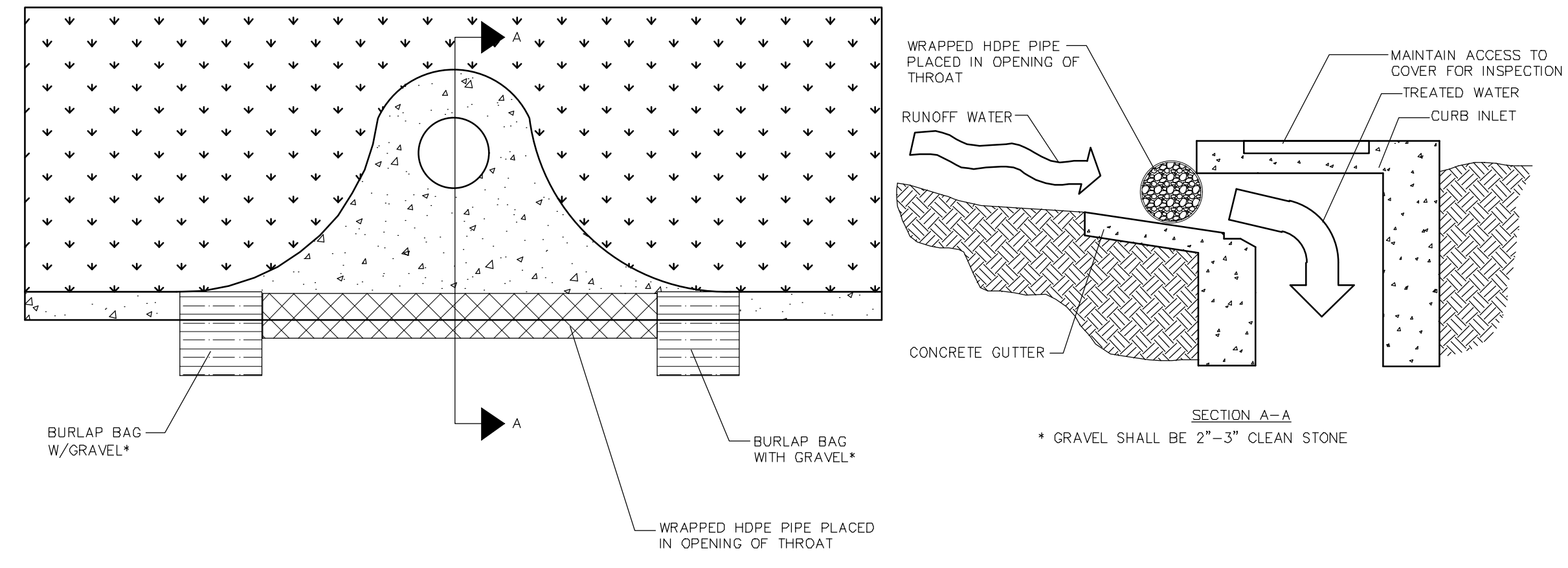
Plotted By: Gabe, Marcus - Sheet Set: Windermere Downtown Property - EROSION CONTROL DETAIL - April 10, 2023 - 04:33:21pm - K:\ORL-Civil\149973004-Windermere Downtown Property\CADD\CONST\PlanSheets\C2.1 - ERO.dwg
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STABILIZED CONSTRUCTION ENTRANCE NOTES:

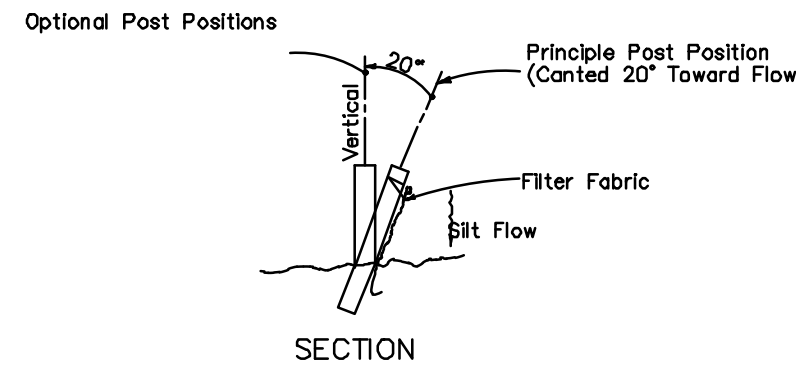
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA, PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVED SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



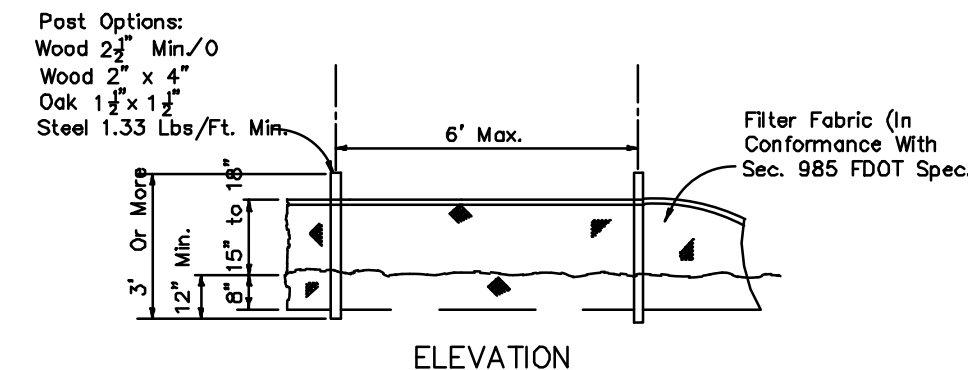
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NTS



SOCK DRAIN INLET SEDIMENT FILTER
NTS

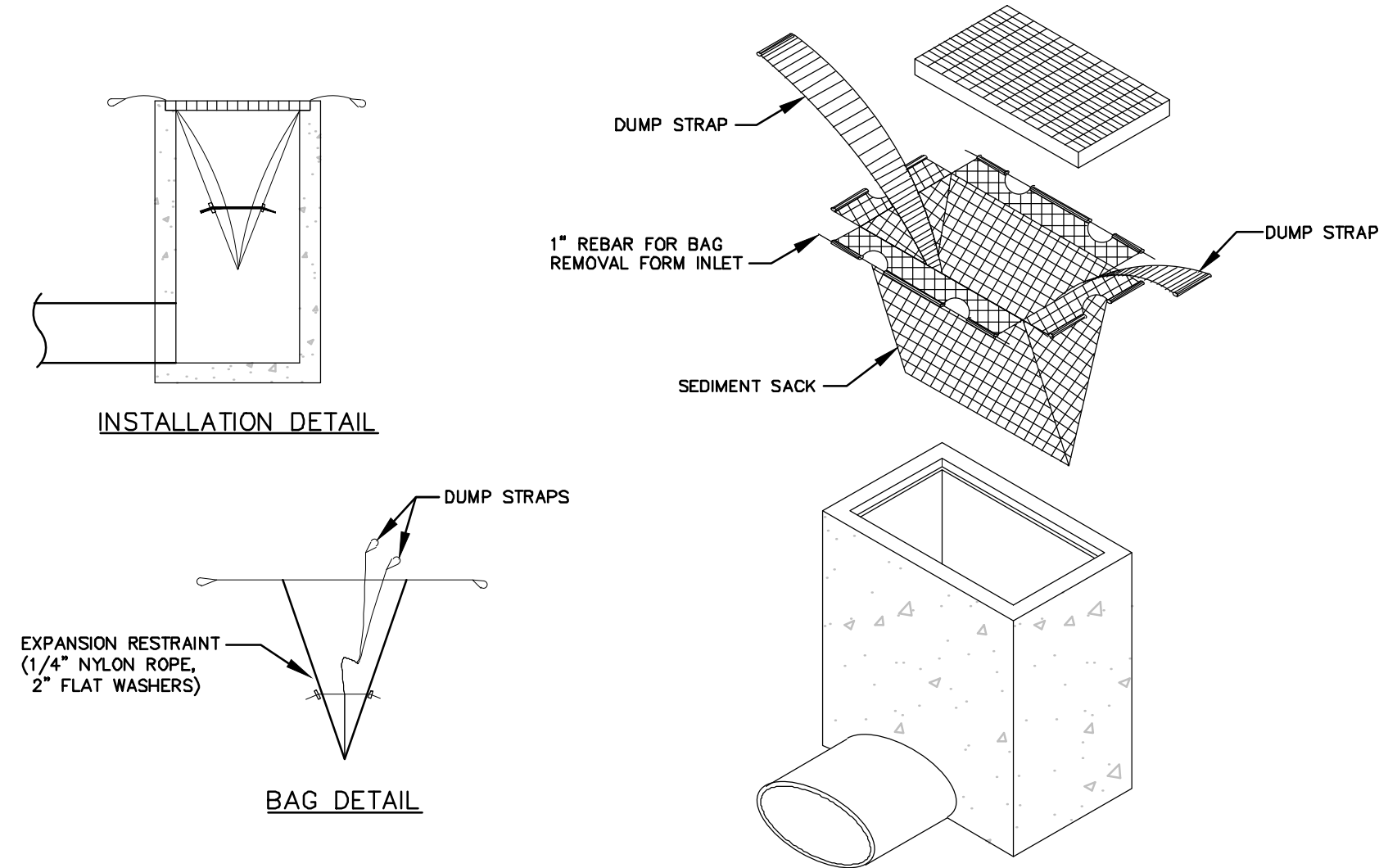


SECTION



ELEVATION

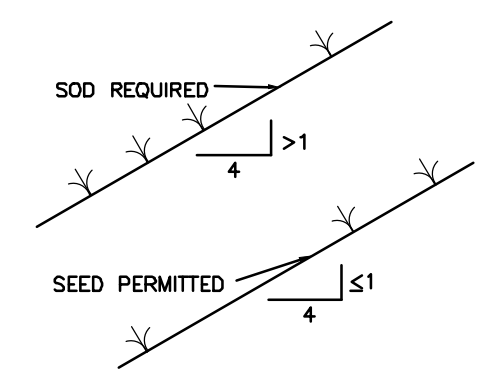
TYPE III SILT FENCE
NTS



INSTALLATION DETAIL

BAG DETAIL

STANDARD INLET SEDIMENT CONTROL DEVICE
NTS

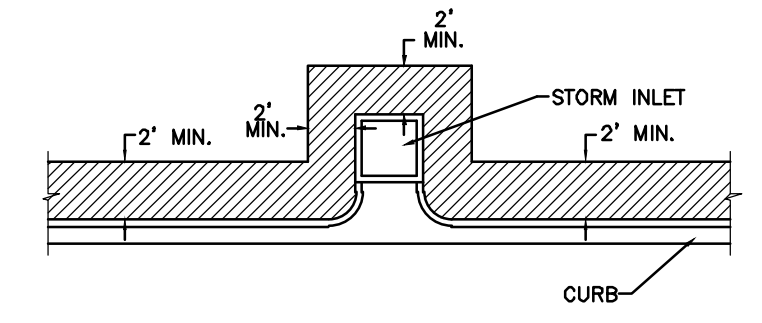


GRASS SLOPES
NTS

FIGURE 8

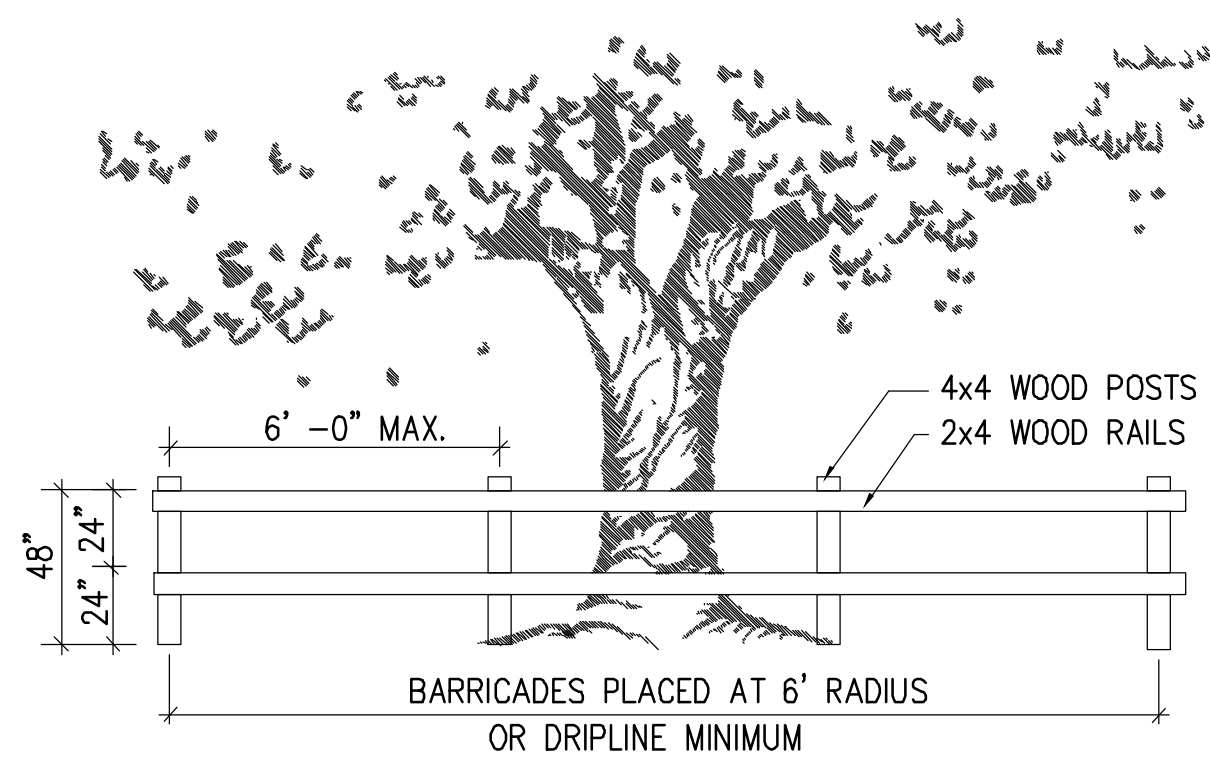
NOTES:

- 1) CONTRACTOR TO MAINTAIN DEBRIS ON-SITE, VEHICLES SHALL BE FREE OF EXCESS DEBRIS PRIOR TO ENTERING COUNTY RIGHT-OF-WAYS.
- 2) DURING ALL TIME OF CONSTRUCTION, THE CONTRACTOR MUST PROVIDE FILTER FABRIC AT ALL EXIST. OR PROP. CATCH BASIN TO PREVENT SYSTEM POLLUTION.
- 3) CONTRACTOR SHALL PROVIDE TRUCK WASH RACKS TO REMOVE CONSTRUCTION DEBRIS FROM VEHICLES PRIOR TO EGRESS.
- 4) DURING ALL TIME OF CONSTRUCTION, THE CONTRACTOR MUST PROVIDE SILT SCREENS AT CONSTRUCTION PERIMETER
- 5) UPON COMPLETION OF CONSTRUCTION, SYSTEM IS TO BE CLEANED BY "CAMELVAC" OR OTHER APPROVED SYSTEM TO THE SATISFACTION OF THE PROJECT ENGINEER AND COUNTY ENGINEER WHEN OR AFTER THE OVERALL SYSTEM IS CLEANED.
- 6) THE CONTRACTOR SHALL MAINTAIN THE FULL SET OF PLANS INCLUDING THESE POLLUTION PREVENTION REQUIREMENTS ON-SITE AT ALL TIMES.



SOD ALONG CURB AND AROUND INLET
NTS

FIGURE 7



TREE PROTECTION DETAIL
NTS

1. ORANGE CONSTRUCTION FENCING CAN BE USED IN LIEU OF WOOD FENCE PER ENGINEER'S REVIEW AND APPROVAL.
2. NO STOCKPILING OF MATERIAL, TRASH OR DEBRIS SHALL BE PERMITTED WITHIN THE BARRIER. CONTRACTOR SHALL ADJUST AND MAINTAIN BARRIER LIMITS AS NECESSARY TO ACCOMMODATE ADJACENT CONSTRUCTION AS DIRECTED BY OWNER. REMOVE PROTECTION AFTER OWNER'S FINAL ACCEPTANCE OF THE PROJECT.

No.	REVISIONS	DATE	BY

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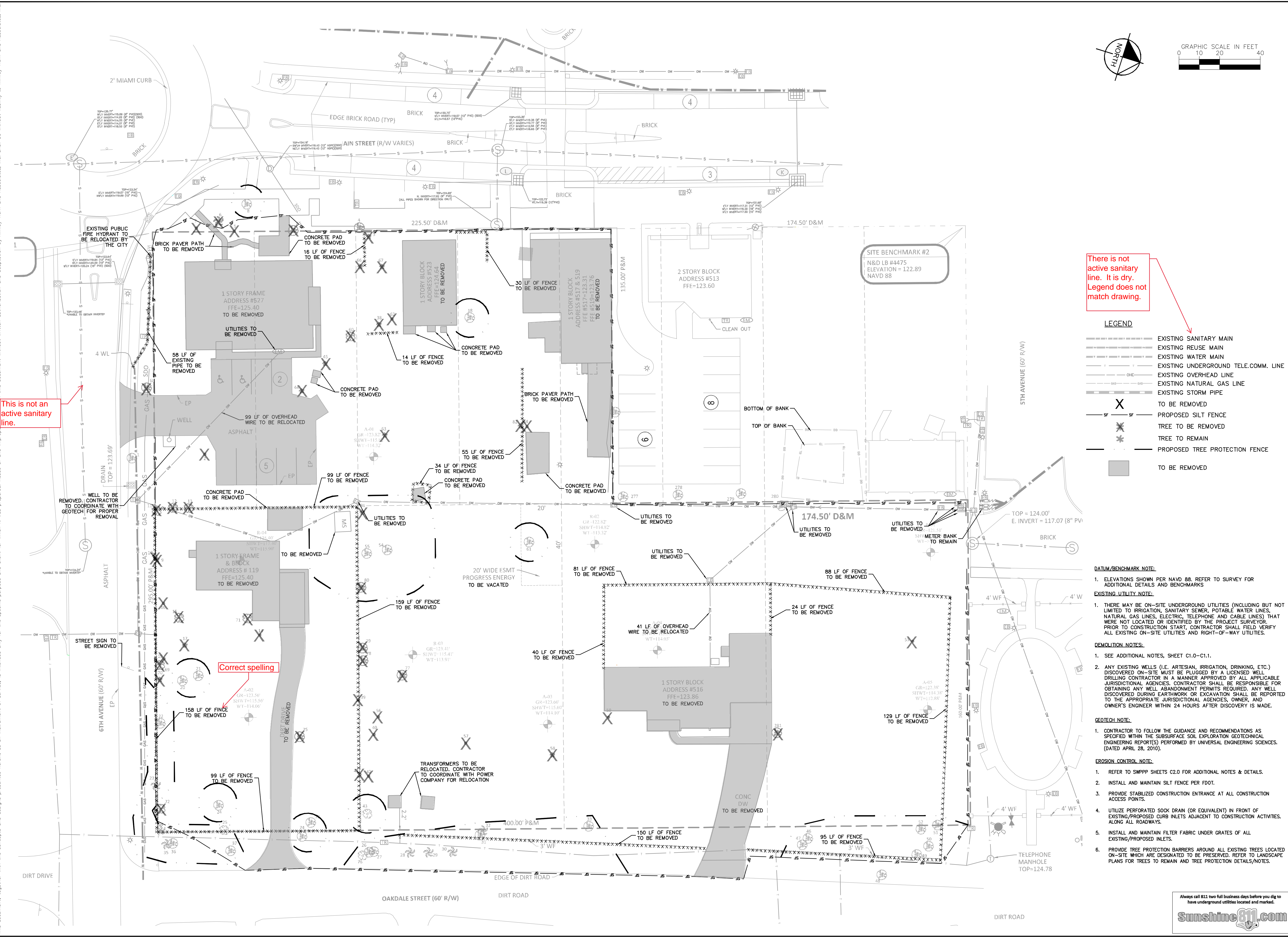
KHA PROJECT	149973004
DATE	02/09/2023
SCALE	AS SHOWN
DESIGNED BY	M/G
DRAWN BY	CML
CHECKED BY	M/G
LICENSED PROFESSIONAL	MARCUS I. GEIBER, P.E.
FL LICENSE NUMBER	89199

**EROSION CONTROL
DETAIL**

**WINDERMERE
DOWNTOWN
PROPERTY**

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Plotted By: Geiger, Marcus Sheet Set: Windermere Downtown Property Layout C3.0 EXISTING CONDITIONS April 10, 2023 04:33:40pm K:\URL\Civil\49973004-Windermere Downtown Property\CADD\CONSTR\PlanSheets\C3.0 - EXCON.dwg
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This is not an active sanitary line. It is dry. Legend does not match drawing.

This is not an active sanitary line.

Correct spelling

LEGEND

	EXISTING SANITARY MAIN
	EXISTING REUSE MAIN
	EXISTING WATER MAIN
	EXISTING UNDERGROUND TELE.COMM. LINE
	EXISTING OVERHEAD LINE
	EXISTING NATURAL GAS LINE
	EXISTING STORM PIPE
	TO BE REMOVED
	PROPOSED SILT FENCE
	TREE TO BE REMOVED
	TREE TO REMAIN
	PROPOSED TREE PROTECTION FENCE
	TO BE REMOVED

- DATUM/BENCHMARK NOTE:**
- ELEVATIONS SHOWN PER NAVD 88. REFER TO SURVEY FOR ADDITIONAL DETAILS AND BENCHMARKS
- EXISTING UTILITY NOTE:**
- THERE MAY BE ON-SITE UNDERGROUND UTILITIES (INCLUDING BUT NOT LIMITED TO IRRIGATION, SANITARY SEWER, POTABLE WATER LINES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CABLE LINES) THAT WERE NOT LOCATED OR IDENTIFIED BY THE PROJECT SURVEYOR. PRIOR TO CONSTRUCTION START, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ON-SITE UTILITIES AND RIGHT-OF-WAY UTILITIES.
- DEMOLITION NOTES:**
- SEE ADDITIONAL NOTES, SHEET C1.0-C1.1.
 - ANY EXISTING WELLS (I.E. ARTESIAN, IRRIGATION, DRINKING, ETC.) DISCOVERED ON-SITE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL APPLICABLE JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED. ANY WELL DISCOVERED DURING EARTHWORK OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES, OWNER, AND OWNER'S ENGINEER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- GEOTECH NOTE:**
- CONTRACTOR TO FOLLOW THE GUIDANCE AND RECOMMENDATIONS AS SPECIFIED WITHIN THE SUBSURFACE SOIL EXPLORATION GEOTECHNICAL ENGINEERING REPORT(S) PERFORMED BY UNIVERSAL ENGINEERING SCIENCES. (DATED APRIL 28, 2010).
- EROSION CONTROL NOTE:**
- REFER TO SWPPP SHEETS C2.0 FOR ADDITIONAL NOTES & DETAILS.
 - INSTALL AND MAINTAIN SILT FENCE PER FDOT.
 - PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT ALL CONSTRUCTION ACCESS POINTS.
 - UTILIZE PERFORATED SOCK DRAIN (OR EQUIVALENT) IN FRONT OF EXISTING/PROPOSED CURB INLETS TO CONSTRUCTION ACTIVITIES. ALONG ALL ROADWAYS.
 - INSTALL AND MAINTAIN FILTER FABRIC UNDER GRATES OF ALL EXISTING/PROPOSED INLETS.
 - PROVIDE TREE PROTECTION BARRIERS AROUND ALL EXISTING TREES LOCATED ON-SITE WHICH ARE DESIGNATED TO BE PRESERVED. REFER TO LANDSCAPE PLANS FOR TREES TO REMAIN AND TREE PROTECTION DETAILS/NOTES.

NO.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL	MARCUS I. GEIGER, P.E.
KHA PROJECT	149973004
DATE	02/09/2023
SCALE	AS SHOWN
DESIGNED BY	MIG
DRAWN BY	CML
CHECKED BY	MIG
M/G DATE:	

EXISTING CONDITIONS

WINDERMERE DOWNTOWN PROPERTY

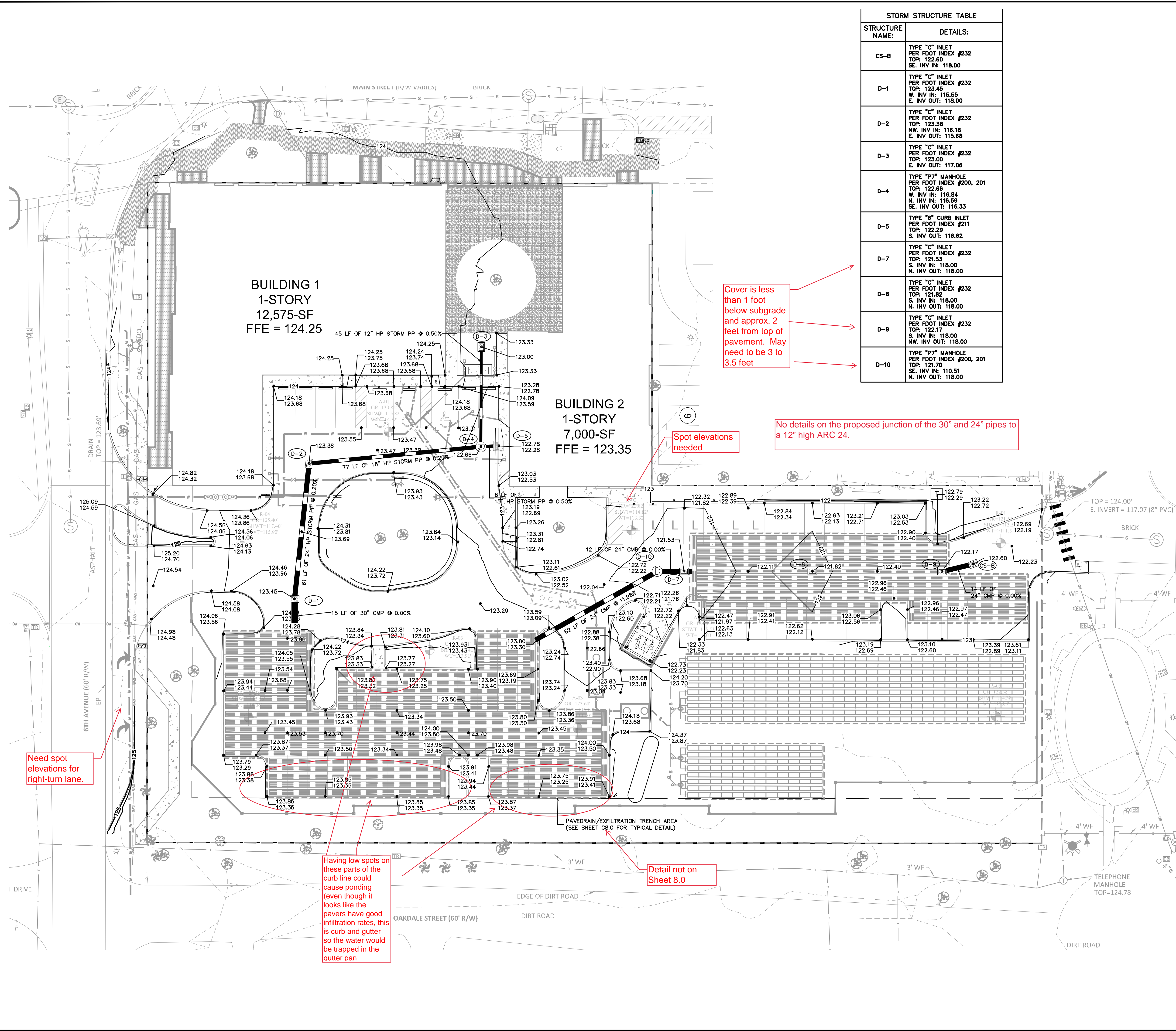
TOWN OF WINDERMERE FL

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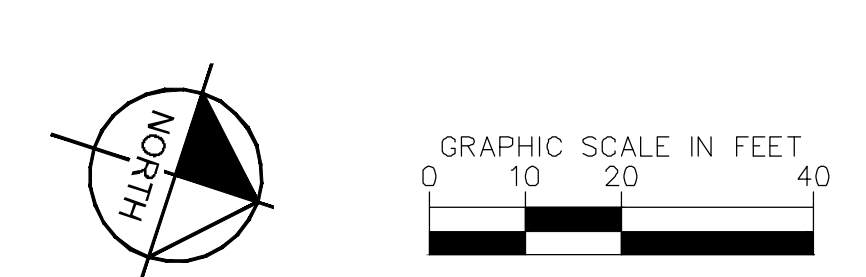
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SHEET NUMBER
C3.0

Plotted By: Marcia, Marcia - Sheet Set: Windermere Downtown Property - Layout: C5.0 GRADING AND DRAINAGE PLAN - April 10, 2023 04:34:35pm
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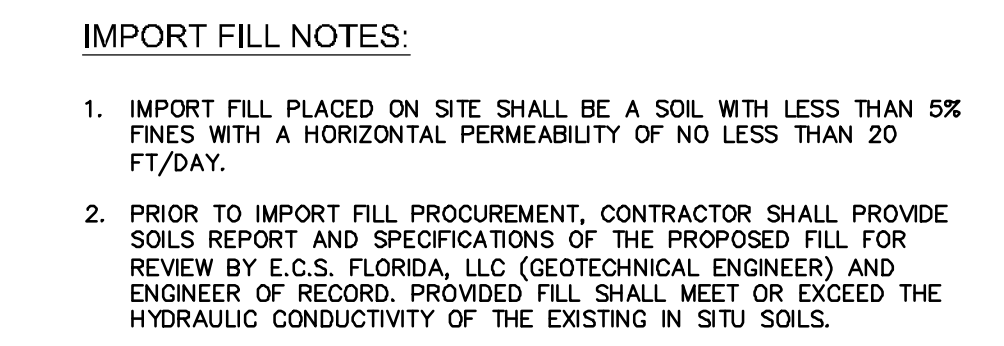
STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
CS-B	TYPE "C" INLET PER FDOT INDEX #232 TOP: 122.60 SE. INV IN: 118.00
D-1	TYPE "C" INLET PER FDOT INDEX #232 TOP: 123.45 W. INV IN: 115.55 E. INV OUT: 118.00
D-2	TYPE "C" INLET PER FDOT INDEX #232 TOP: 123.38 NW. INV IN: 116.18 E. INV OUT: 115.68
D-3	TYPE "C" INLET PER FDOT INDEX #232 TOP: 123.00 E. INV OUT: 117.08
D-4	TYPE "P7" MANHOLE PER FDOT INDEX #200, 201 TOP: 122.65 W. INV IN: 116.84 N. INV IN: 116.59 SE. INV OUT: 116.33
D-5	TYPE "6" CURB INLET PER FDOT INDEX #211 TOP: 122.29 S. INV OUT: 116.62
D-7	TYPE "C" INLET PER FDOT INDEX #232 TOP: 121.53 S. INV IN: 118.00 N. INV OUT: 118.00
D-8	TYPE "C" INLET PER FDOT INDEX #232 TOP: 121.82 S. INV IN: 118.00 N. INV OUT: 118.00
D-9	TYPE "C" INLET PER FDOT INDEX #232 TOP: 122.17 S. INV IN: 118.00 NW. INV OUT: 118.00
D-10	TYPE "P7" MANHOLE PER FDOT INDEX #200, 201 TOP: 121.70 SE. INV IN: 110.51 N. INV OUT: 118.00



- NOTES:**
- ALL STORM DRAIN INLETS CONSTRUCTED AS PART OF NEW DEVELOPMENT PROJECTS IN ORANGE COUNTY SHALL HAVE METAL MEDALLION INLET MARKERS INSTALLED. TEXT ON THE MARKER SHALL BE EVENLY SPACED AND READ "NO DUMPING, ONLY RAIN IN THE DRAIN". MARKERS MUST BE COMMERCIAL GRADE STAINLESS STEEL, ALUMINUM, BRASS OR BRONZE AND EITHER STAMPED FROM SHEET METAL OR CAST. METAL MARKER COLOR MUST BE NON-REFLECTIVE BLUE OR GREEN. AQUATIC CREATURE OR SYMBOL SHOWN ON MARKER SHALL BE CONSISTENT THROUGHOUT THE SUBDIVISION. MARKERS MUST BE AFFIXED TO A CLEAN, PREPARED SURFACE WITH ADHESIVES, FASTENERS, OR HEAT AS RECOMMENDED BY THE MANUFACTURER. MARKERS SHALL BE ALIGNED WITH THE CENTER OF DRAINAGE INLETS AT THE TOP OF THE CURB. LETTERING MUST BE BETWEEN 0.4 - 0.5 INCHES AND THE TOTAL DIAMETER OF THE MARKER BETWEEN 3.75 - 4.25 INCHES.
 - PRIOR TO THE START OF LAND DISTURBING ACTIVITIES, WHICH INCLUDES DEMOLITION, EARTHWORK AND/OR CONSTRUCTION, THE DEVELOPER/CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A NOTICE OF INTENT (NOI) TO OBTAIN COVERAGE UNDER THE NPDES GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) PURSUANT TO THE REQUIREMENTS OF 62-621.300(4)(A) F.A.C. A COPY OF THE NOI SHALL BE SUBMITTED TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (OC EPD). COPIES OF THE SWPPP, NOI, AND FDEP ACKNOWLEDGEMENT LETTER ARE TO BE KEPT ON THE PROJECT SITE AND MADE AVAILABLE UPON REQUEST. UPON COMPLETION OF ALL LAND DISTURBING ACTIVITIES AND AFTER FINAL STABILIZATION OF THE SITE IS COMPLETE, THE DEVELOPER/CONTRACTOR SHALL SUBMIT TO FDEP A NOTICE OF TERMINATION (NOT) TO END THEIR COVERAGE UNDER THE CGP AND PROVIDE A COPY OF THE NOT TO OC EPD.
 - THE SITE SHALL BE STABILIZED FOLLOWING CLEARING, GRUBBING, EARTH WORK OR MASS GRADING TO ESTABLISH A DENSE STAND OF GRASS, OR SHALL INCORPORATE OTHER APPROVED BEST MANAGEMENT PRACTICES, ON ALL DISTURBED AREAS IF DEVELOPMENT DOES NOT BEGIN WITHIN 7 DAYS. FINAL STABILIZATION SHALL ACHIEVE 100% COVERAGE AND A MINIMUM OF 70% DENSITY OF THE DISTURBED LAND AREA AND SHALL INCLUDE A MAINTENANCE PROGRAM TO ENSURE MINIMUM COVERAGE SURVIVAL AND OVERALL SITE STABILIZATION UNTIL SITE DEVELOPMENT.
 - DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS REQUIRES APPROVAL FROM FDEP AND THE APPLICABLE WATER MANAGEMENT DISTRICT. THE DEVELOPER/CONTRACTOR SHALL OBTAIN AND FDEP GENERIC PERMIT FOR THE DISCHARGE OF GROUND WATER FROM DEWATERING OPERATIONS PURSUANT TO THE REQUIREMENTS OF 62-621.300(2)(A) AND 62-620 F.A.C. AND FLORIDA STATUTES CHAPTER 403. DISCHARGES DIRECTED TO THE COUNTY'S MS4 REQUIRE AN ORANGE COUNTY RIGHT-OF-WAY UTILIZATION PERMIT FOR DEWATERING PRIOR TO THE START OF ANY DISCHARGES. TO OBTAIN RIGHT-OF-WAY APPROVAL, COPIES OF THE FDEP PERMIT, NOI, DOCUMENTATION SHOWING DEWATERING AT THE SITE IS NOT WITHIN KNOWN CONTAMINATION, AND A DEWATERING PLAN SHALL BE SUBMITTED TO ALEXIS CLARK, ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (407-836-1433) AND ORANGE COUNTY PUBLIC WORKS DEVELOPMENT ENGINEERING PERMITTING SECTION. ANALYTICAL SAMPLING OF GROUNDWATER MAY BE REQUESTED BY ORANGE COUNTY ON A CASE-BY-CASE BASIS TO CONFIRM SITE CONTAMINATION STATUS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 62-621.300(2) AND 62-620, AND FLORIDA STATUTES CHAPTER 403.
 - THE RIGHT-OF-WAY AND ADJACENT PROPERTIES SHALL BE RESTORED TO EQUAL OR BETTER CONDITIONS.
 - PROVIDE A 6 FOOT HIGH SCREEN FENCE FOR DUST ABATEMENT ON ALL PROPERTY LINES ADJACENT TO ROADS.
 - REFER TO TREE MITIGATION PLANS FOR TREE REMOVAL DETAILS.

- VERTICAL INFORMATION SHOWN HEREON BASED ON NAVD88.**
- GEOTECHNICAL NOTE:**
- CONTRACTOR TO FOLLOW THE GUIDANCE AND RECOMMENDATIONS AS SPECIFIED WITHIN THE SUBSURFACE SOIL EXPLORATION GEOTECHNICAL ENGINEERING REPORT(S) PERFORMED BY UNIVERSAL ENGINEERING SCIENCES (DATED APR. 28, 2010)
- PAVEDRAIN GENERAL NOTES:**
- REFER TO PAVEDRAIN SPECIFICATIONS AND DETAILS, SHEETS C8.0.
 - ALL PAVEDRAIN PAVEMENT SYSTEMS SHALL BE CONSTRUCTED NOT TO EXCEED MAX. 1.0% SLOPE (ANY DIRECTION).
- IMPORT FILL NOTES:**
- IMPORT FILL PLACED ON SITE SHALL BE A SOIL WITH LESS THAN 5% FINES WITH A HORIZONTAL PERMEABILITY OF NO LESS THAN 20 FT/DAY.
 - PRIOR TO IMPORT FILL PROCUREMENT, CONTRACTOR SHALL PROVIDE SOILS REPORT AND SPECIFICATIONS OF THE PROPOSED FILL FOR REVIEW BY E.C.S. FLORIDA, LLC (GEOTECHNICAL ENGINEER) AND ENGINEER OF RECORD. PROVIDED FILL SHALL MEET OR EXCEED THE HYDRAULIC CONDUCTIVITY OF THE EXISTING IN SITU SOILS.

- DATUM/BENCHMARKS:**
- ELEVATIONS SHOWN PER NAVD 88. REFER TO SURVEY FOR ADDITIONAL DETAILS AND BENCHMARKS.



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WINDERMERE DOWNTOWN PROPERTY

TOWN OF WINDERMERE

KHA PROJECT 148973004

DATE 02/09/2023

SCALE AS SHOWN

DESIGNED BY M/G

DRAWN BY CML

CHECKED BY M/G

M/G DATE:

LICENSED PROFESSIONAL

MARCUS I. GEBER, P.E.

FL LICENSE NUMBER 89199

SHEET NUMBER

C5.0

REVISIONS

NO.

DATE

WINDERMERE DOWNTOWN PROPERTY

TOWN OF WINDERMERE

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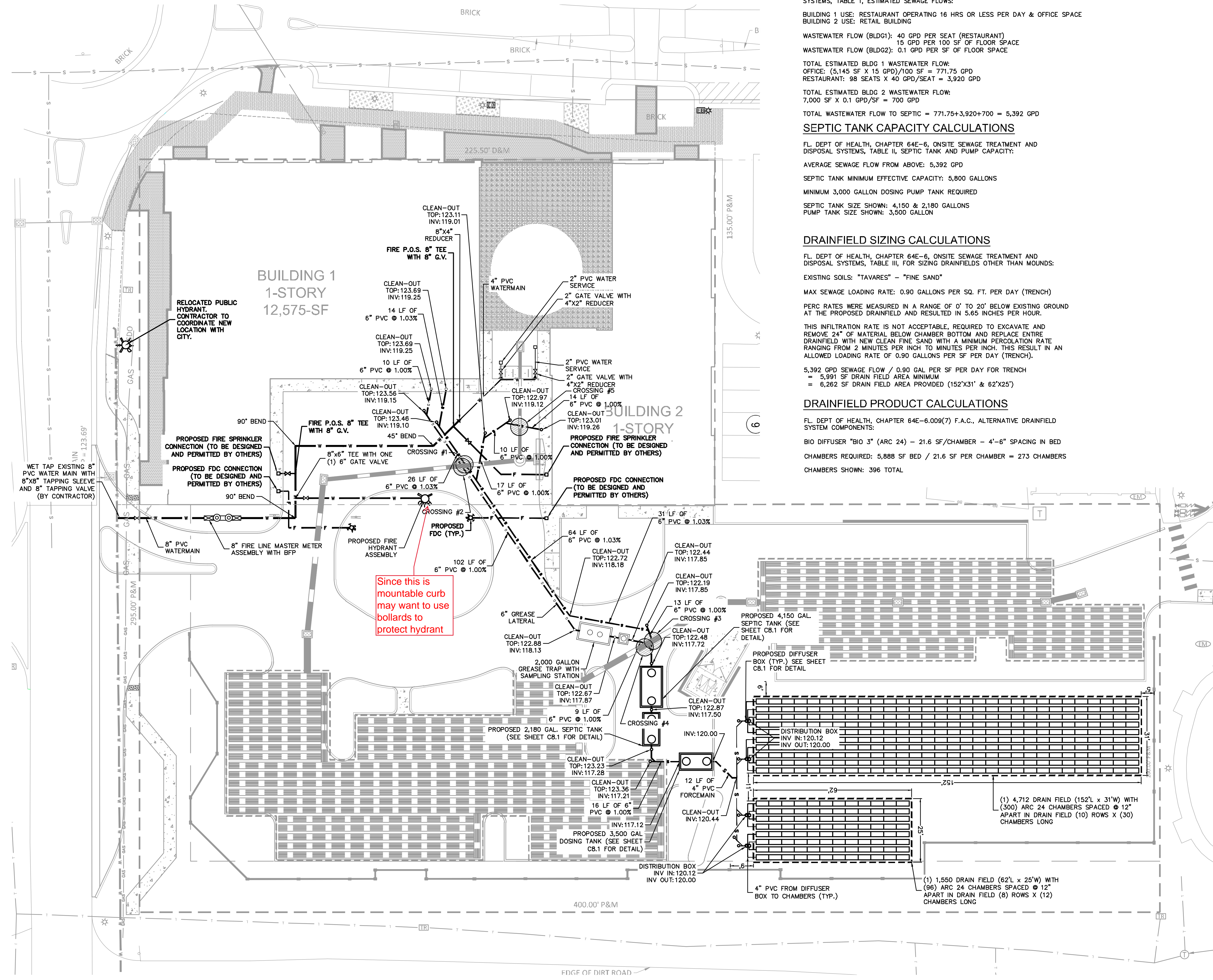
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Plotted By: Geier, Marcus - Sheet Set: Windermere Downtown Property - Layout: C6.0 UTILITY PLAN - April 10, 2023 04:35:14pm - K:\V\DW\14973004-Windermere Downtown Property\CADD\CONSTR\PlanSheets\C6.0 - UTILITY PLAN.dwg
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SEWAGE FLOW CALCULATIONS

FL. DEPT OF HEALTH, CHAPTER 64E-6, ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE I, ESTIMATED SEWAGE FLOWS:
 BUILDING 1 USE: RESTAURANT OPERATING 16 HRS OR LESS PER DAY & OFFICE SPACE
 BUILDING 2 USE: RETAIL BUILDING
 WASTEWATER FLOW (BLDG1): 40 GPD PER SEAT (RESTAURANT) 15 GPD PER 100 SF OF FLOOR SPACE
 WASTEWATER FLOW (BLDG2): 0.1 GPD PER SF OF FLOOR SPACE
 TOTAL ESTIMATED BLDG 1 WASTEWATER FLOW:
 OFFICE: (5,145 SF X 15 GPD)/100 SF = 771.75 GPD
 RESTAURANT: 98 SEATS X 40 GPD/SEAT = 3,920 GPD
 TOTAL ESTIMATED BLDG 2 WASTEWATER FLOW:
 7,000 SF X 0.1 GPD/SF = 700 GPD
 TOTAL WASTEWATER FLOW TO SEPTIC = 771.75+3,920+700 = 5,392 GPD

SEPTIC TANK CAPACITY CALCULATIONS

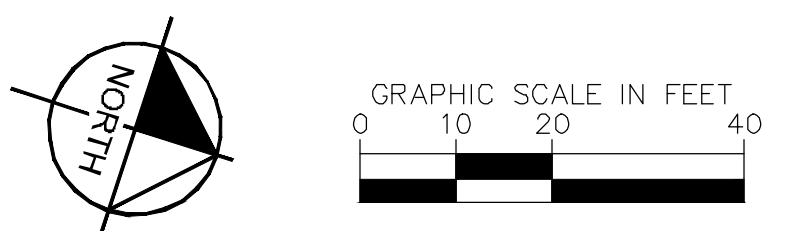
FL. DEPT OF HEALTH, CHAPTER 64E-6, ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE II, SEPTIC TANK AND PUMP CAPACITY:
 AVERAGE SEWAGE FLOW FROM ABOVE: 5,392 GPD
 SEPTIC TANK MINIMUM EFFECTIVE CAPACITY: 5,800 GALLONS
 MINIMUM 3,000 GALLON DOSING PUMP TANK REQUIRED
 SEPTIC TANK SIZE SHOWN: 4,150 & 2,180 GALLONS
 PUMP TANK SIZE SHOWN: 3,500 GALLON

DRAINFIELD SIZING CALCULATIONS

FL. DEPT OF HEALTH, CHAPTER 64E-6, ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, TABLE III, FOR SIZING DRAINFIELDS OTHER THAN MOUNDS:
 EXISTING SOILS: "TAVARES" - "FINE SAND"
 MAX SEWAGE LOADING RATE: 0.90 GALLONS PER SQ. FT. PER DAY (TRENCH)
 PERC RATES WERE MEASURED IN A RANGE OF 0' TO 20' BELOW EXISTING GROUND AT THE PROPOSED DRAINFIELD AND RESULTED IN 5.65 INCHES PER HOUR.
 THIS INFILTRATION RATE IS NOT ACCEPTABLE, REQUIRED TO EXCAVATE AND REMOVE 24" OF MATERIAL BELOW CHAMBER BOTTOM AND REPLACE ENTIRE DRAINFIELD WITH NEW CLEAN FINE SAND WITH A MINIMUM PERCOLATION RATE RANGING FROM 2 MINUTES PER INCH TO MINUTES PER INCH. THIS RESULT IN AN ALLOWED LOADING RATE OF 0.90 GALLONS PER SF PER DAY (TRENCH).
 5,392 GPD SEWAGE FLOW / 0.90 GAL. PER SF PER DAY FOR TRENCH
 = 5,991 SF DRAIN FIELD AREA MINIMUM
 = 6,262 SF DRAIN FIELD AREA PROVIDED (152'X31' & 62'X25')

DRAINFIELD PRODUCT CALCULATIONS

FL. DEPT OF HEALTH, CHAPTER 64E-6.009(7) F.A.C., ALTERNATIVE DRAINFIELD SYSTEM COMPONENTS:
 BIO DIFFUSER "BIO 3" (ARC 24) - 21.6 SF/CHAMBER - 4'-6" SPACING IN BED
 CHAMBERS REQUIRED: 5,888 SF BED / 21.6 SF PER CHAMBER = 273 CHAMBERS
 CHAMBERS SHOWN: 396 TOTAL



LEGEND

- EXISTING SANITARY MAIN
- EXISTING REUSE MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND TELE.COMM. LINE
- EXISTING OVERHEAD LINE
- EXISTING FIBER OPTIC LINE
- EXISTING NATURAL GAS LINE
- EXISTING STORM PIPE
- PROPOSED WATER LINE
- PROPOSED POTABLE WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM PIPE
- PROPOSED STORM INLET

GENERAL UTILITY NOTES:

1. PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING FIBER OPTIC CABLES, UNDERGROUND ELECTRIC LINES, AND UNDERGROUND TELECOM LINES. CONTRACTOR TO COORDINATE SERVICE LINE ADJUSTMENTS WITH RESPECTIVE SERVICE PROVIDER AND OWNER. BOX ADJUSTMENTS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
2. PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING NATURAL GAS LINES. CONTRACTOR TO COORDINATE SERVICE LINE, VALVE, AND/OR BOX ADJUSTMENTS WITH SERVICE PROVIDER AND OWNER. SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
3. CONTRACTOR TO COORDINATE PROPOSED TRANSFORMER LOCATIONS AND ELECTRIC SERVICE WITH POWER COMPANY AND OWNER. TRANSFORMERS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
4. PRIOR TO CONSTRUCTION START, THE CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY UTILITIES (OCU) AND TOWN OF WINDERMERE. CIVIL ENGINEER OF RECORD TO BE PRESENT AT PRE-CON MEETING.

POTABLE WATER & SANITARY WASTEWATER UTILITY NOTES:

1. ALL POTABLE WATER AND SANITARY WASTEWATER UTILITIES SHALL BE IN ACCORDANCE WITH ORANGE COUNTY UTILITIES (OCU) STANDARDS, SPECIFICATIONS, AND DETAILS, 2017 ED. CONTRACTOR SHALL BE RESPONSIBLE TO BE FAMILIAR WITH THESE STANDARDS.
2. ALL CLEAN-OUTS WITHIN ASPHALT AND/OR CONCRETE AREAS SHALL BE H-20 TRAFFIC BEARING.

GENERAL FIRE SERVICE NOTES:

1. ALL UNDERGROUND MAINS SERVING FIRE HYDRANTS OR FIRE PROTECTION SPRINKLER SYSTEMS ON PRIVATE PROPERTY MUST BE PERMITTED PRIOR TO INSTALLATION. THE DRAWING SHALL INDICATE THAT ALL UNDERGROUND FIRE MAINS WILL BE INSTALLED IN ACCORDANCE WITH NFPA 24 (2013 EDITION, "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES". [F.A.C. 69A-60.005(2)]
2. ALL FIRE SERVICE MAIN LOCATED DOWNSTREAM OF THE FIRE POINT OF SERVICE (POS) SHALL BE INSTALLED BY A QUALIFIED AND LICENSED CONTRACTOR. CONSTRUCTION AND MATERIALS SHALL COMPLY WITH APPLICABLE FIRE CODE. CONTRACTOR TO VERIFY REQUIREMENTS WITH ORANGE COUNTY UTILITIES DEPARTMENT PRIOR TO SHOP DRAWING REVIEW.
3. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT FROM THE NEAREST FIRE HYDRANT. [NFPA 14: 6.3.5.4]
4. PROVIDE SIGNAGE, INDICATING ITS LOCATION AND THE BUILDING IT SERVICES, FOR ALL PROPOSED FIRE DEPARTMENT CONNECTIONS (F.D.C.).
5. PRIOR TO FIRE INSTALLATION, THE FLORIDA LICENSED CONTRACTOR SHALL SUBMIT LAYOUT DESIGN DRAWINGS TO THE OFFICE OF THE FIRE MARSHAL. IF REQUIRED BY FLORIDA STATUTE 553.79, DRAWINGS MUST BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER. THE DRAWINGS MUST SHOW ALL UNDERGROUND FIRE LINES AND COMPONENTS STARTING FROM THE POINT OF SERVICE AS DEFINED UNDER FLORIDA STATUTE 663.102. THE DESIGN SHALL BE IN ACCORDANCE TO THE CURRENT FLORIDA FIRE PREVENTION CODE AND ALL ADOPTED NFPA CODES AND STANDARDS.

DATUM NOTE:
 ELEVATIONS BASED ON NAVD 88 DATUM

Always call 811 two full business days before you dig to have underground utilities located and marked.



WINDERMERE DOWNTOWN PROPERTY								
CROSSING (#)	TOP PIPE			BOTTOM PIPE			CLEARANCE (FT)	
	TYPE	SIZE (IN)	INVERT	BOTTOM	TYPE	SIZE (IN)		CROWN
1	SSWR PVC	6	119.20	118.89	STRM HP	18	117.92	0.97
2	SSWR PVC	6	119.20	118.89	STRM HP	18	117.92	0.97
3	SSWR PVC	6	117.82	117.79	STRM CMP	24	116.28	1.51
4	SSWR PVC	6	117.81	117.78	STRM CMP	24	116.51	1.27
5	STRM CMP	12	121.07	120.69	SSWR PVC	6	119.88	1.00

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 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL
 KHA PROJECT
 149973004
 DATE
 02/09/2023
 SCALE AS SHOWN
 DESIGNED BY M/G
 DRAWN BY CML
 CHECKED BY M/G

MARCUS I. GEIER, P.E.
 FL LICENSE NUMBER
 89199

UTILITY PLAN

WINDERMERE
 DOWNTOWN
 PROPERTY

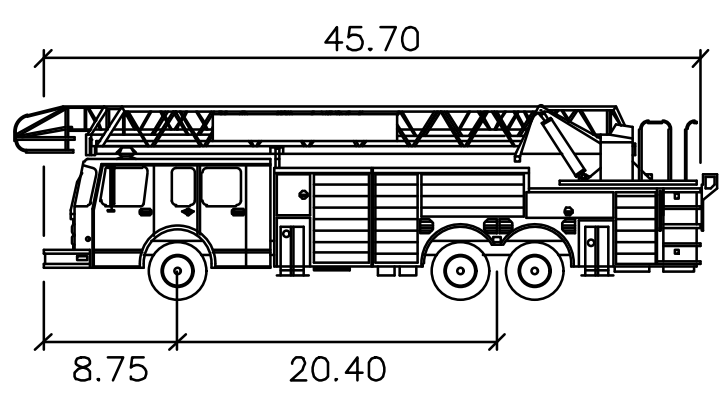
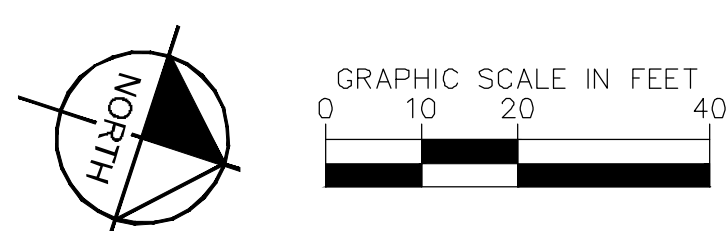
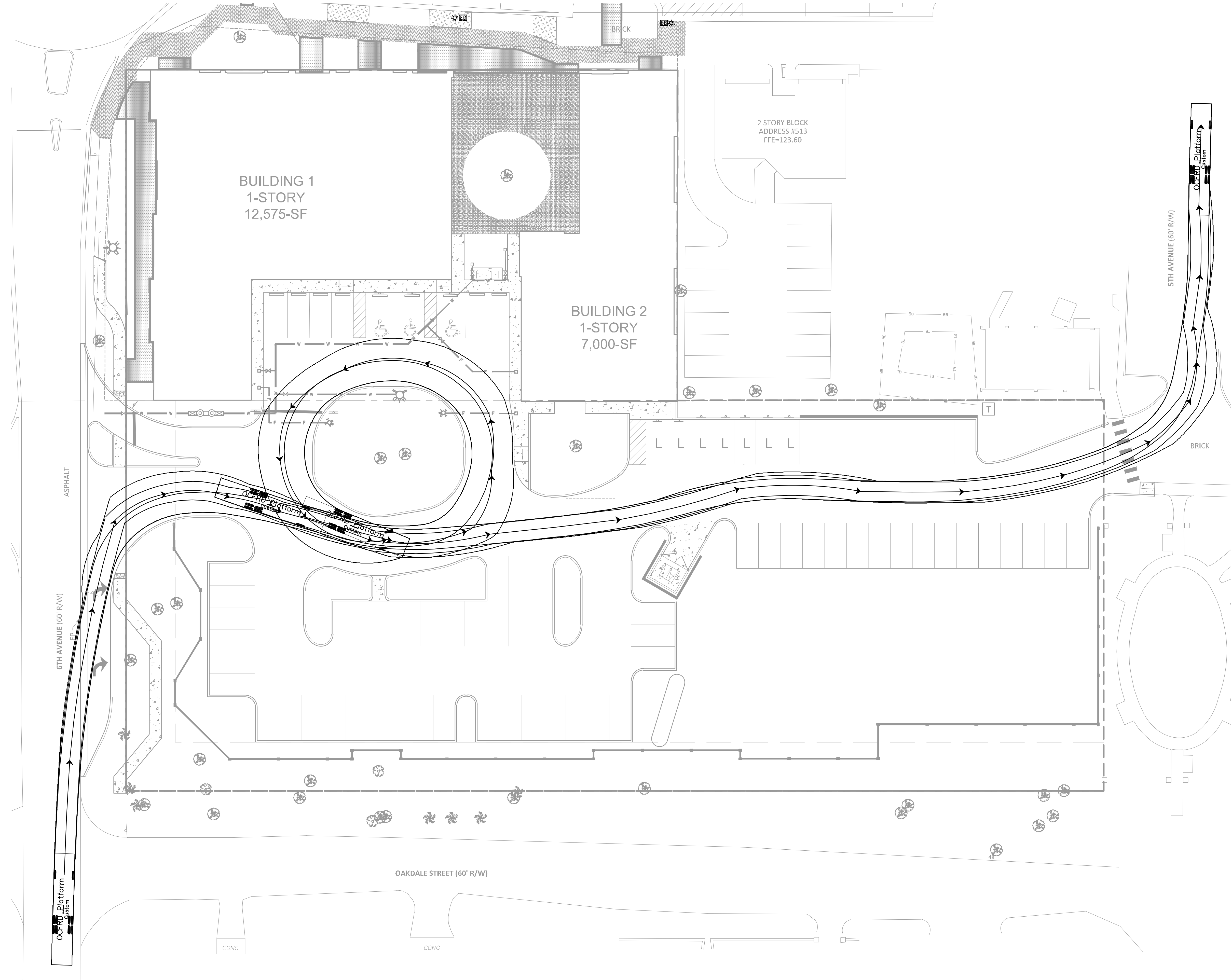
TOWN OF WINDERMERE

SHEET NUMBER
C6.0

REVISIONS

No.	DATE	BY

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OCFRD Platform
 feet
 Width : 8.33
 Track : 8.33
 Lock to Lock Time : 6.0
 Steering Angle : 44.2

No.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL
 MARCUS I. GEIBER, P.E.
 FL LICENSE NUMBER
 89199

KHA PROJECT
 149973004
 DATE
 02/09/2023
 SCALE AS SHOWN
 DESIGNED BY M/G
 DRAWN BY CML
 CHECKED BY M/G DATE: _____

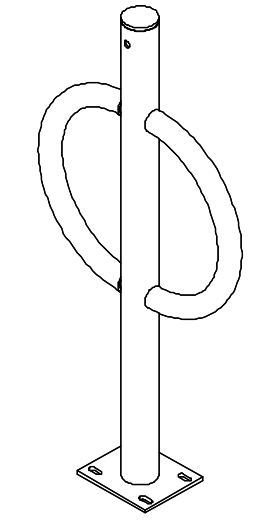
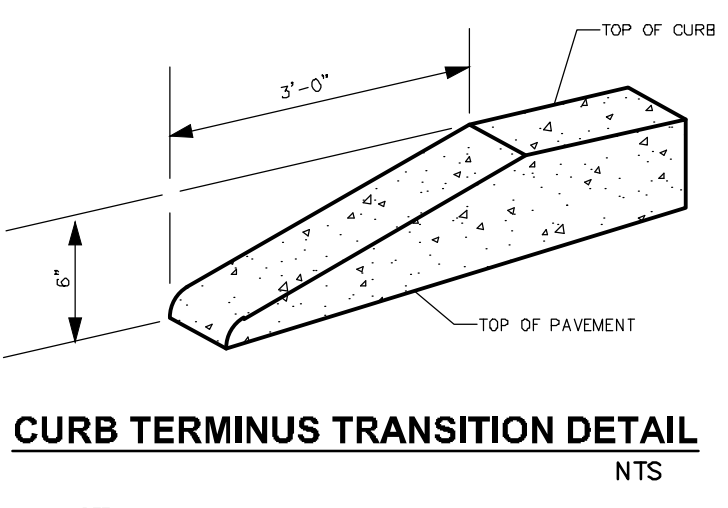
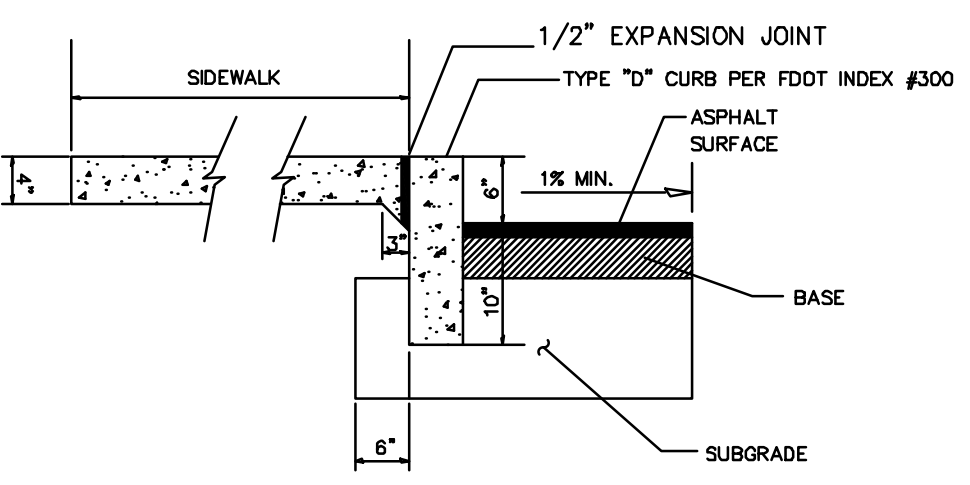
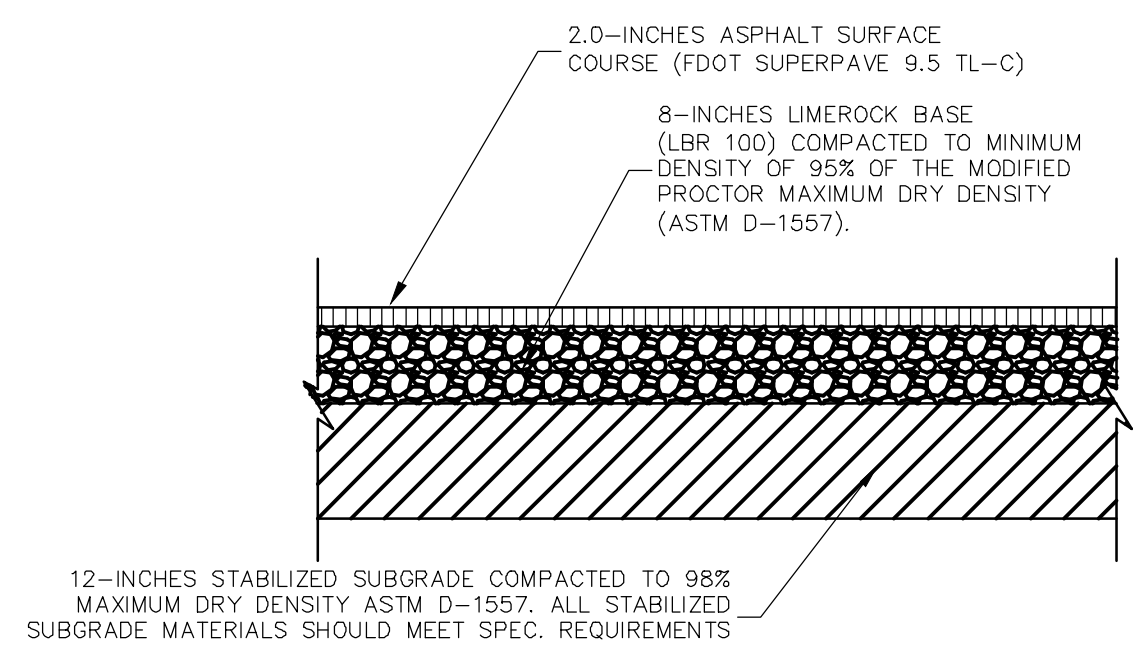
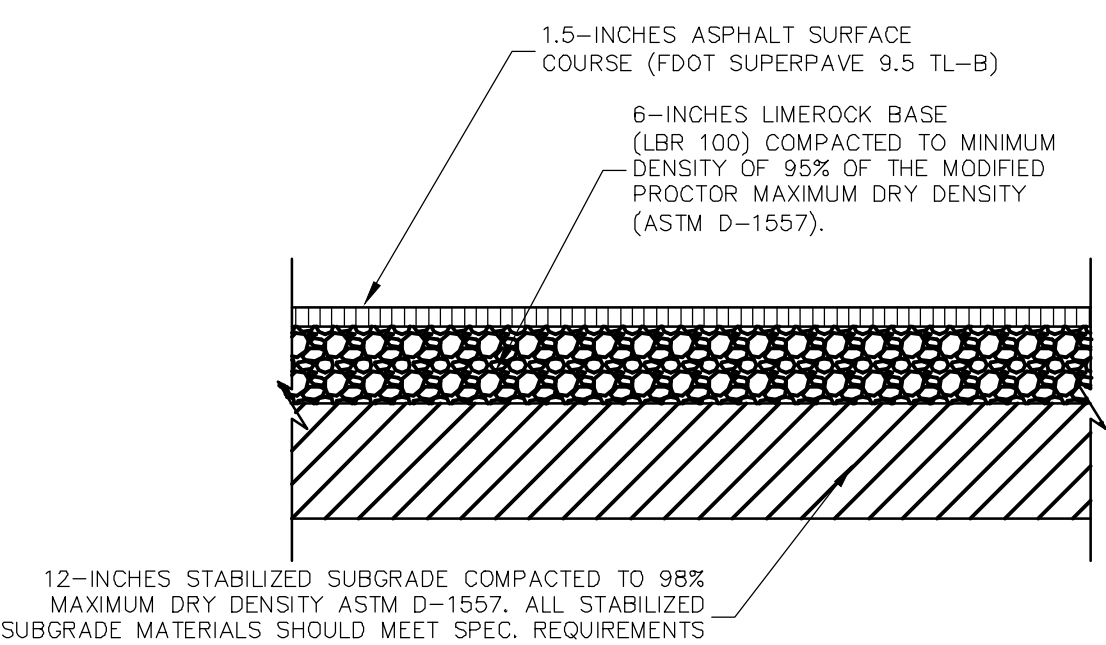
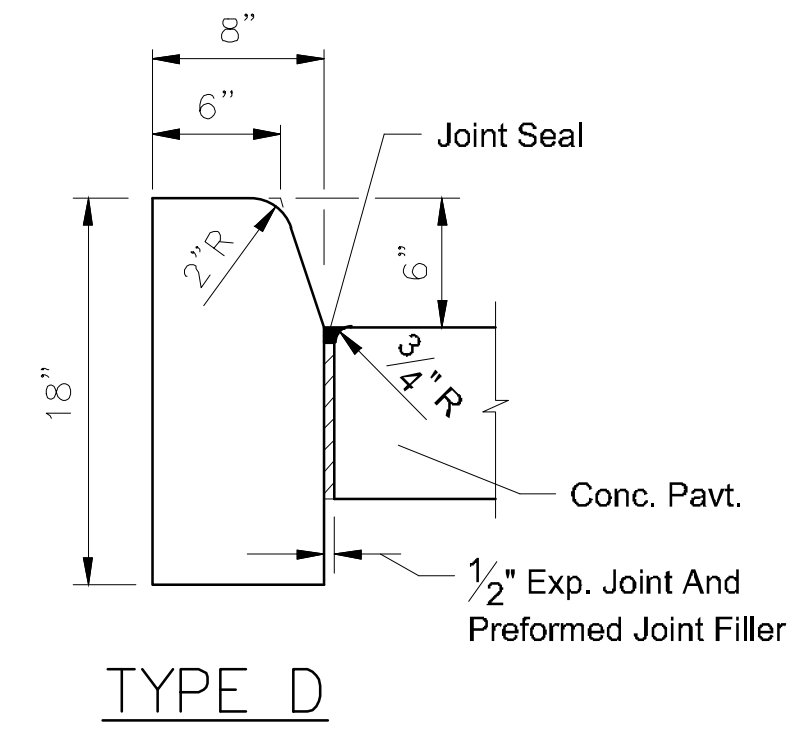
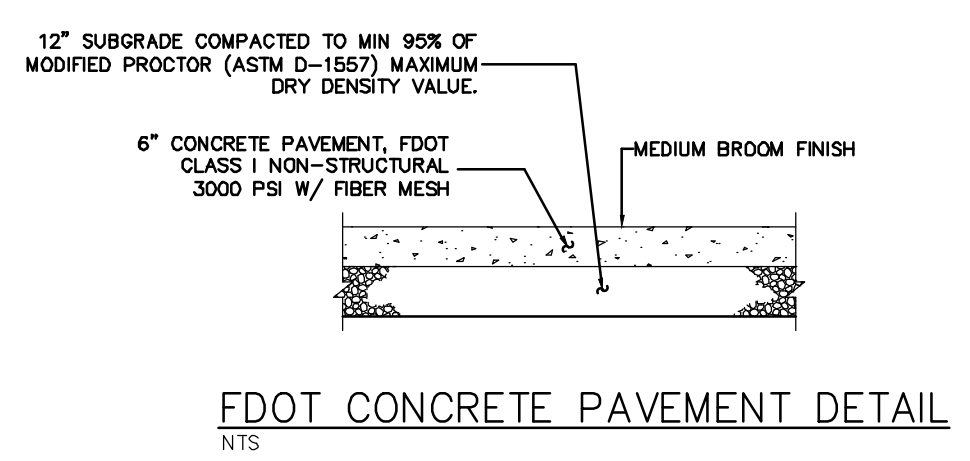
**TRUCK ROUTING
 PLAN**

**WINDERMERE
 DOWNTOWN
 PROPERTY**

TOWN OF WINDERMERE FL

SHEET NUMBER
C7.0

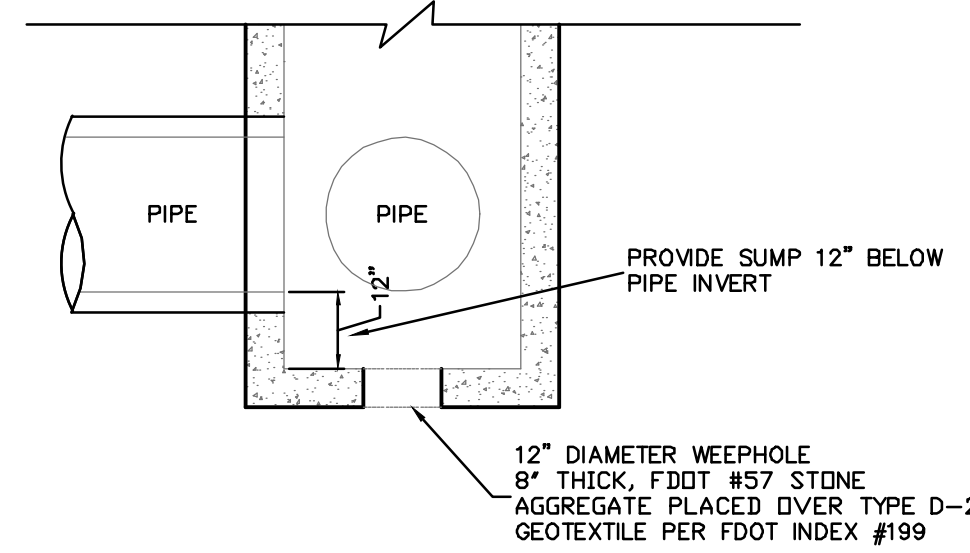
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PRODUCT: DERO BIKE HITCH (OR EQUIVALENT)
 FINISH: STAINLESS STEEL (OR OWNER APPROVED)
 NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS
 WWW.DERO.COM
 1-800-298-4915

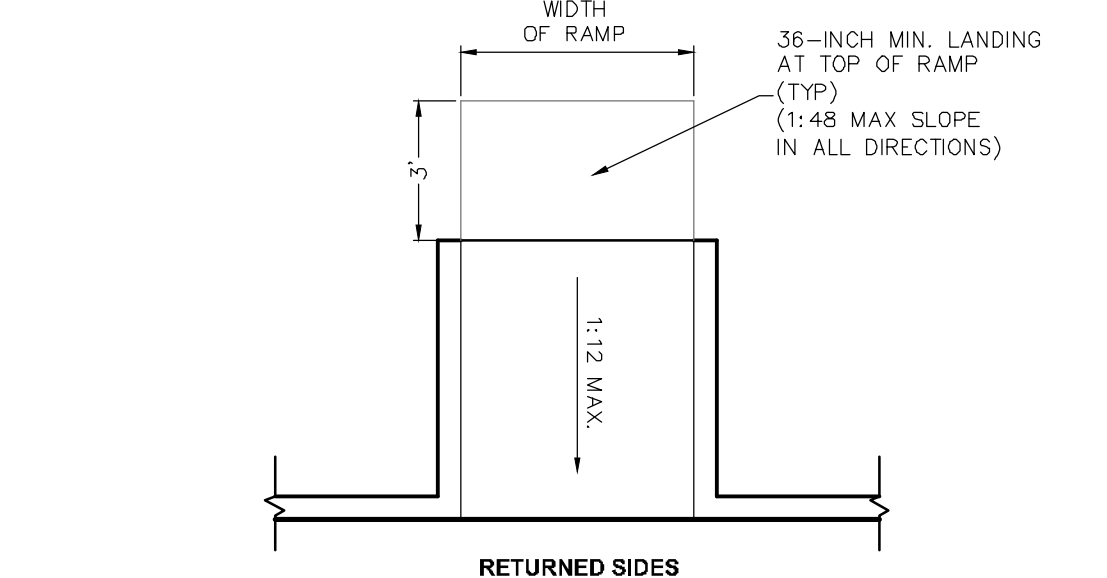
STANDARD BICYCLE RACK DETAIL
 NTS

NOTE:
 1. ALTERNATIVE CRUSHED CONCRETE BASE MAY BE USED. 8-INCHES CRUSHED CONCRETE BASE SHALL MEET THE MATERIAL SPEC'S PER FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS (ED. 2022), SECTION 204 "GRADED AGGREGATE BASE".

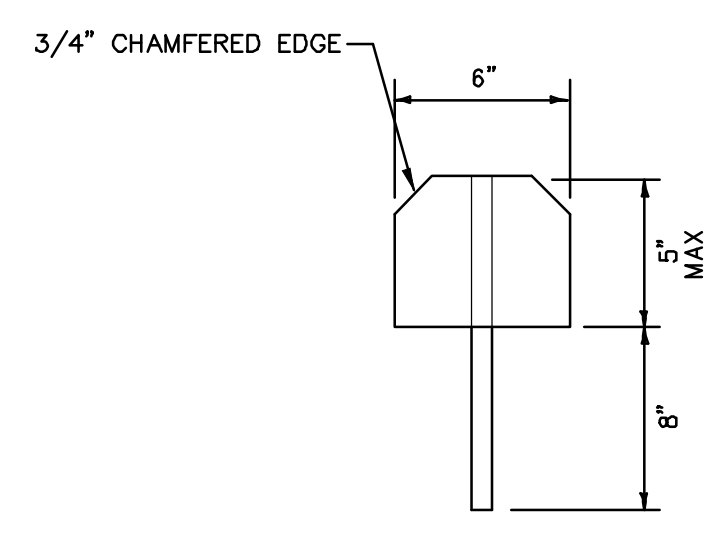
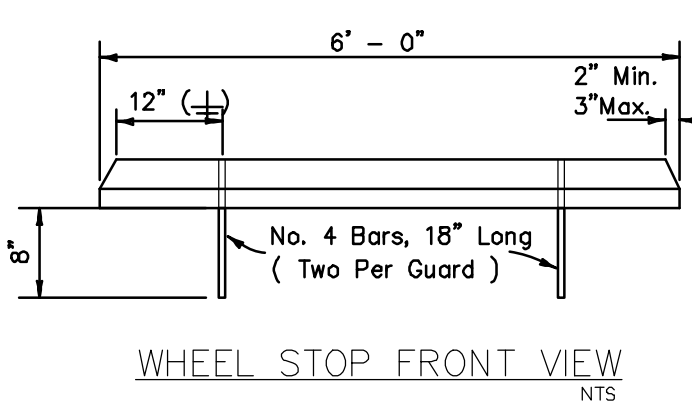
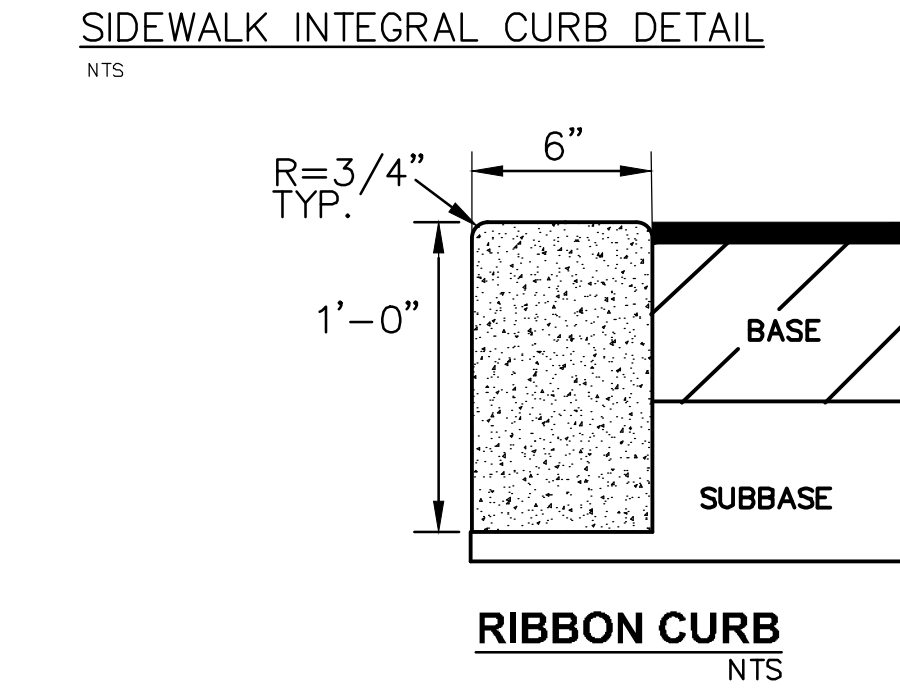


TYPICAL INLET SUMP DETAIL
 PER F.D.O.T. INDEX NO. 232 N.T.S.

NOTE:
 1. ALTERNATIVE CRUSHED CONCRETE BASE MAY BE USED. 8-INCHES CRUSHED CONCRETE BASE SHALL MEET THE MATERIAL SPEC'S PER FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS (ED. 2022), SECTION 204 "GRADED AGGREGATE BASE".



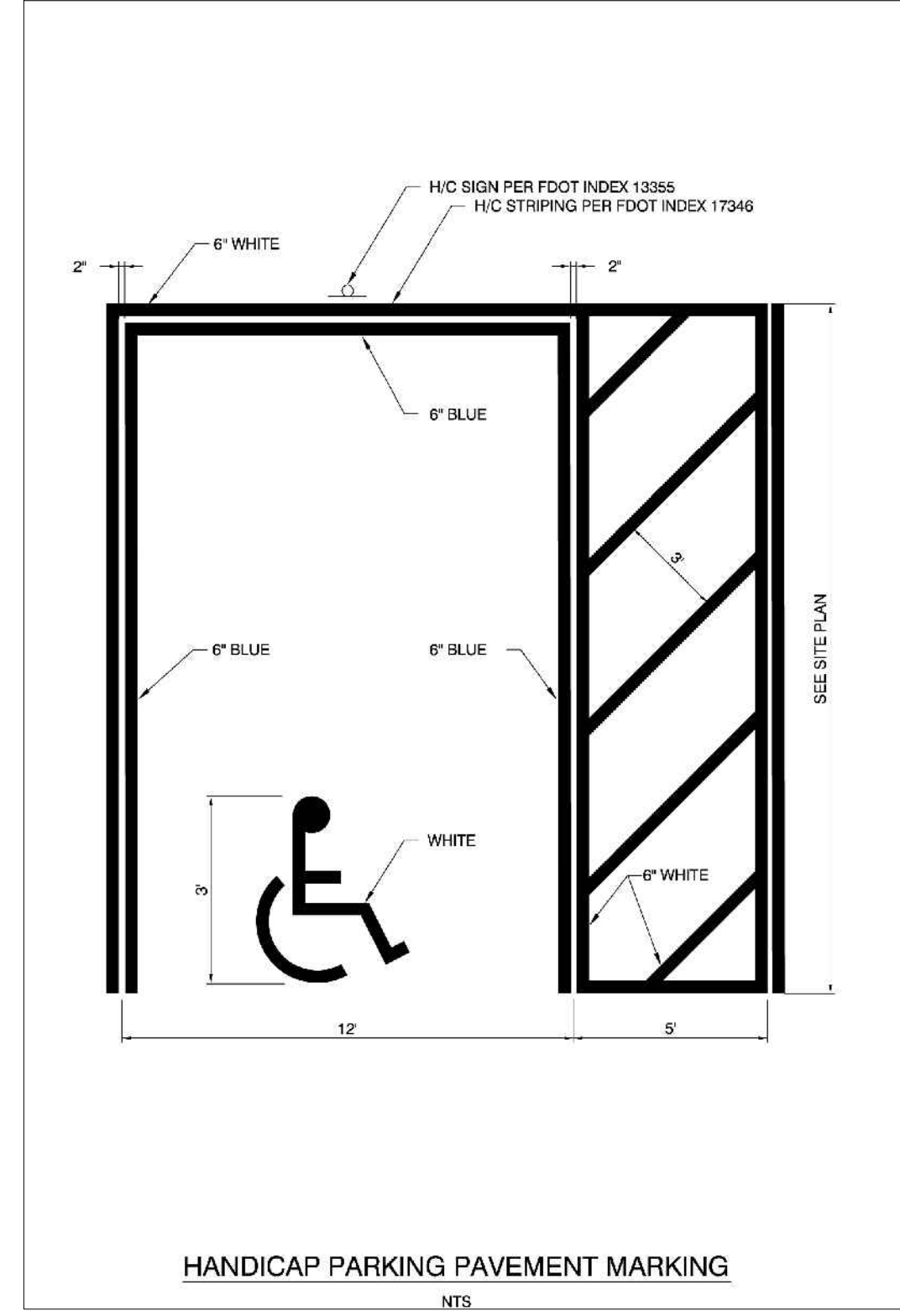
TYPICAL 'ONSITE' ACCESSIBLE CURB RAMPS
 CONSTRUCT PER F.A.C. 2012, CHAPTER 4, SECTION 406 REQUIREMENTS



WHEEL STOP PROFILE (TYP.)
 NTS

- NOTES:
 1. ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 3000 P.S.I. CONCRETE
 2. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 500', CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4' MINIMUM).
 3. 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST AND SHALL BE STABILIZED TO A MINIMUM L.B.R. 40.
 4. IN NO INSTANCE SHALL EXTRUDED CURBS (DEFINED AS HEADER-TYPE CURBS INSTALLED DIRECTLY ON TOP OF PAVEMENT) BE PERMITTED.

Tactile pads needed



- NOTES:
 1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD.
 2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 6. INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

HANDICAP SIGN DETAIL
 NTS

NO.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL
 149973004
 DATE: 02/09/2023
 SCALE: AS SHOWN
 DESIGNED BY: M/G
 DRAWN BY: CML
 CHECKED BY: M/G
 M/C DATE: _____
 MARCUS I. GEIGER, P.E.
 FL LICENSE NUMBER: 89199

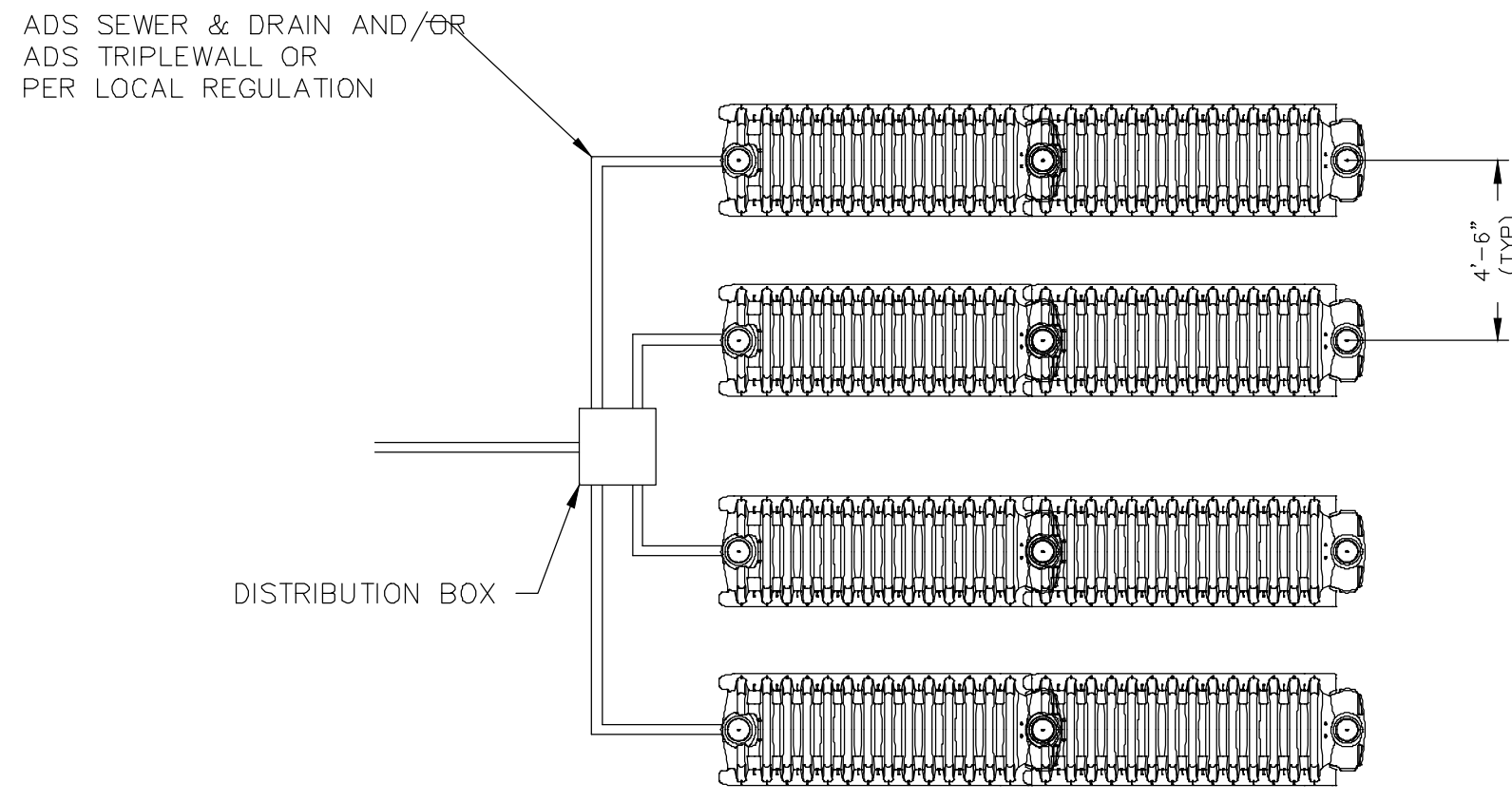
GENERAL CONSTRUCTION DETAILS

WINDERMERE DOWNTOWN PROPERTY

SHEET NUMBER
C8.0

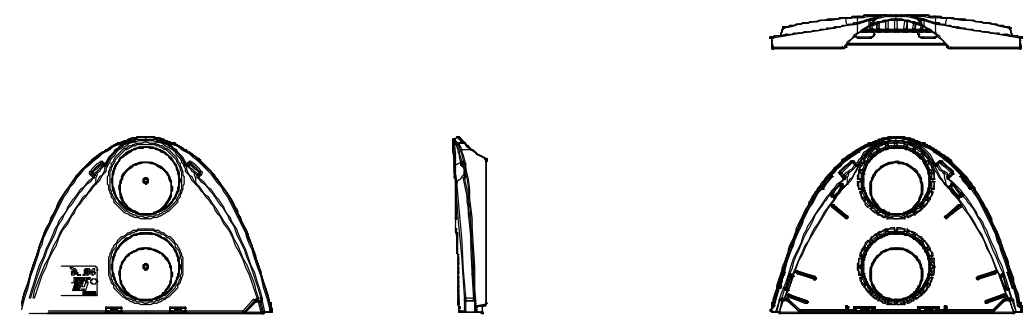
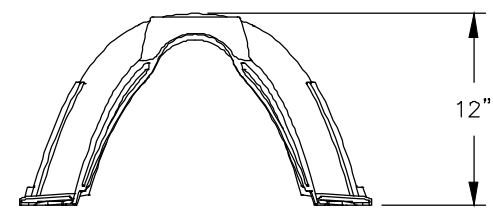
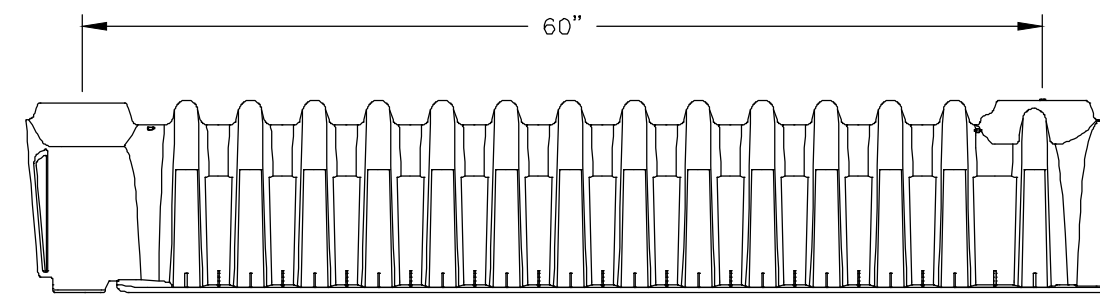
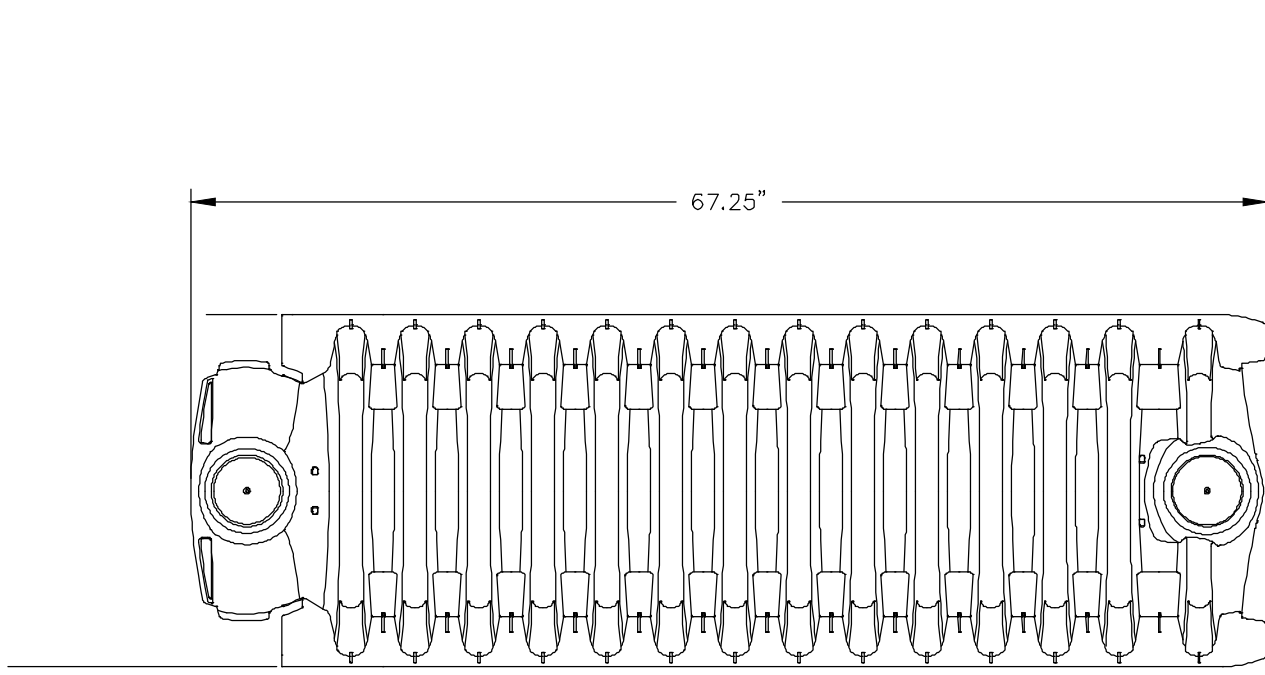
TOWN OF WINDERMERE

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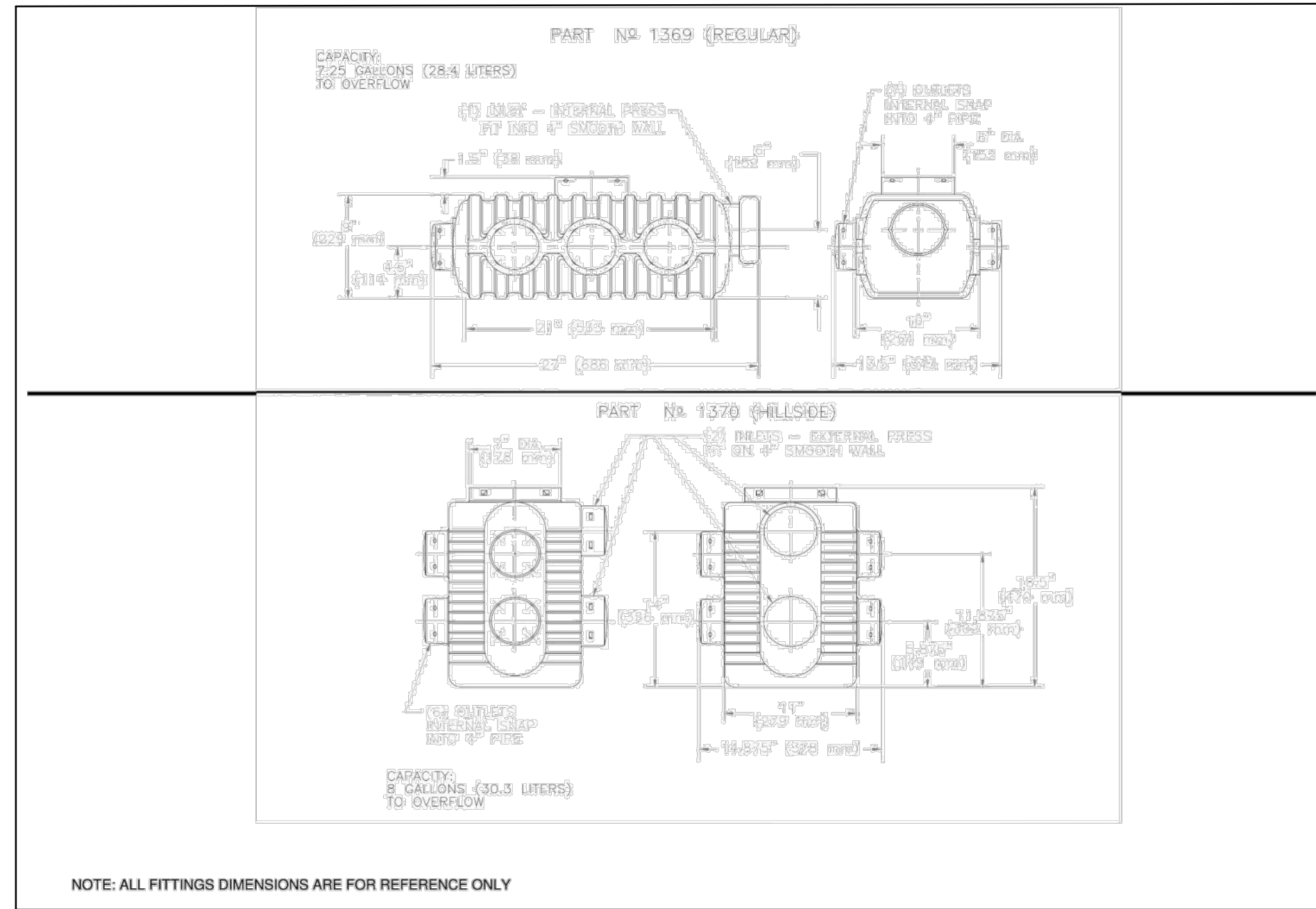
- NOTES:**
- EXCAVATE AND LEVEL INSTALLATION AREAS.
 - SMOOTH IRREGULARITIES IN THE EXCAVATION. A LEVEL, FLAT SURFACE IS REQUIRED.
 - INSTALL ARC LEACHING CHAMBERS IN ADJACENT ROWS TO COVER DESIRED AREA.
 - INSTALL UNIVERSAL END CAP AND SECURE IN PLACE WITH BACKFILL.
 - INSTALL 4" PIPE TO EACH ROW OF ARC CHAMBER USING KNOCKOUTS PROVIDED IN THE UNIVERSAL END CAPS.
 - ENDS OF ROWS MAY BE CONNECTED WITH
 - FILL PERIMETER AND INTERIOR SIDEWALL AREAS TO TOP OF CHAMBERS AND WALK INTO PLACE. AVOID LARGE ROCKS OR DEBRIS IN COVER MATERIAL.
 - COVER ARC LEACHING CHAMBERS TO A MINIMUM OF 12" OF GRANULAR OVER AFTER CONSOLIDATION FOR H-10 APPLICATIONS. AVOID LARGE ROCKS OR DEBRIS IN COVER MATERIAL. COVER HEIGHTS AND LIVE LOADING LIMITS ARE IMPACTED BY BOTH SOIL TYPE AND COMPACTION REQUIREMENTS. CONTACT ADS WHEN POOR SOILS ARE ENCOUNTERED AND FOR MAXIMUM FILL HEIGHTS. LIVE LOAD CONDITIONS ARE NOT RECOMMENDED.

ARC 24 CLUSTER INSTALLATION
NTS

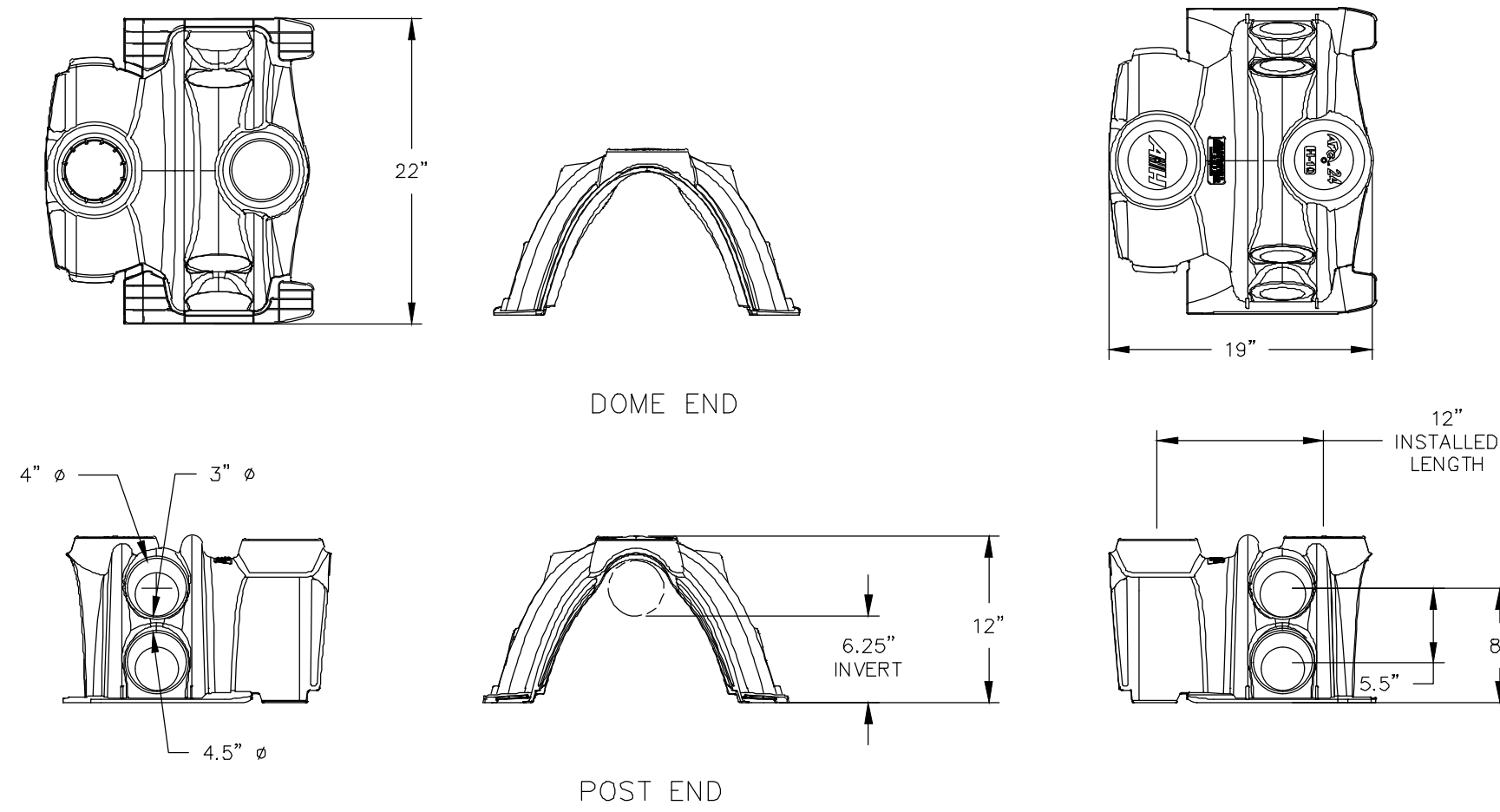


END CAPS

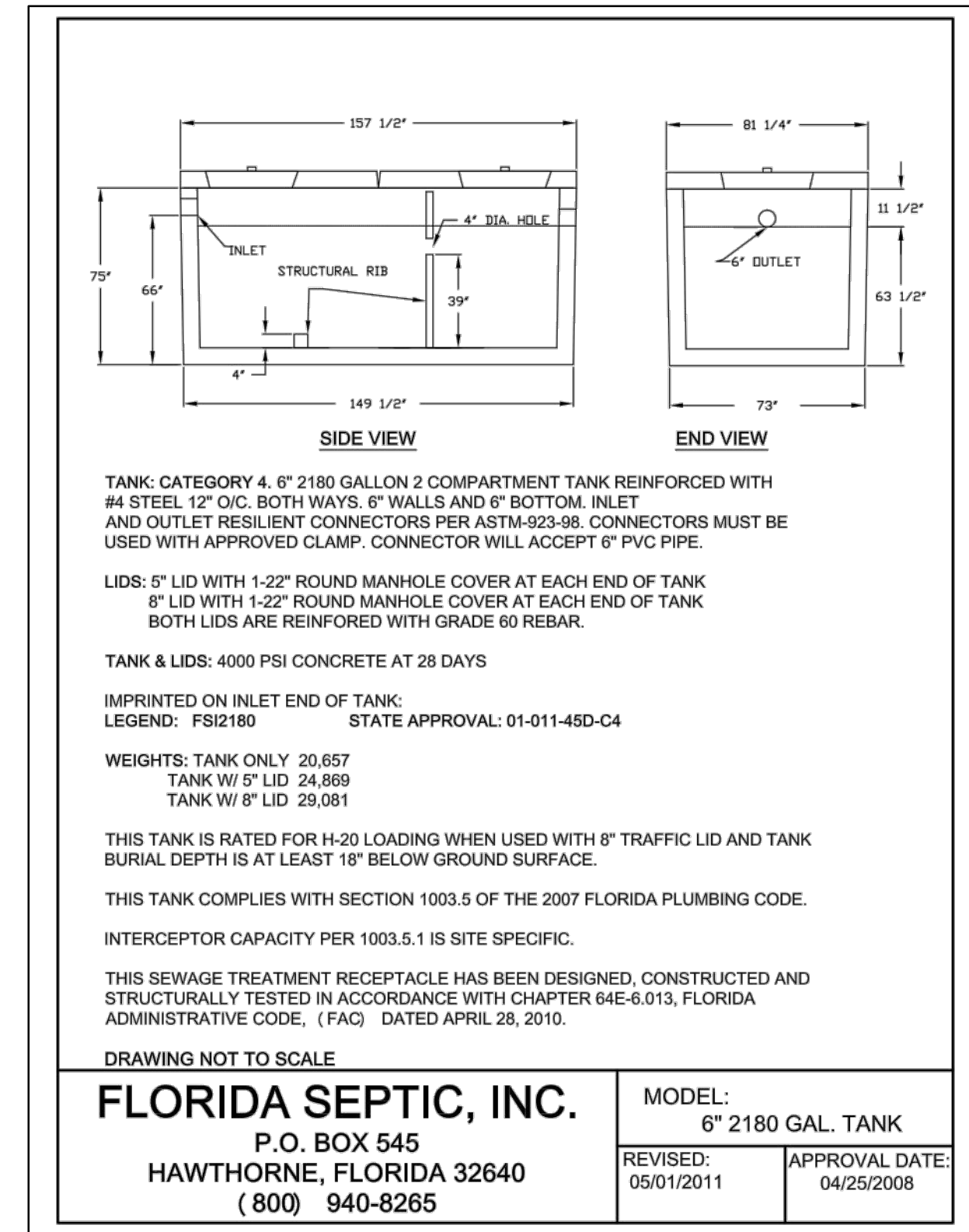
ARC 24 CHAMBER AND END CAP
NTS



DISTRIBUTION BOXES
NTS

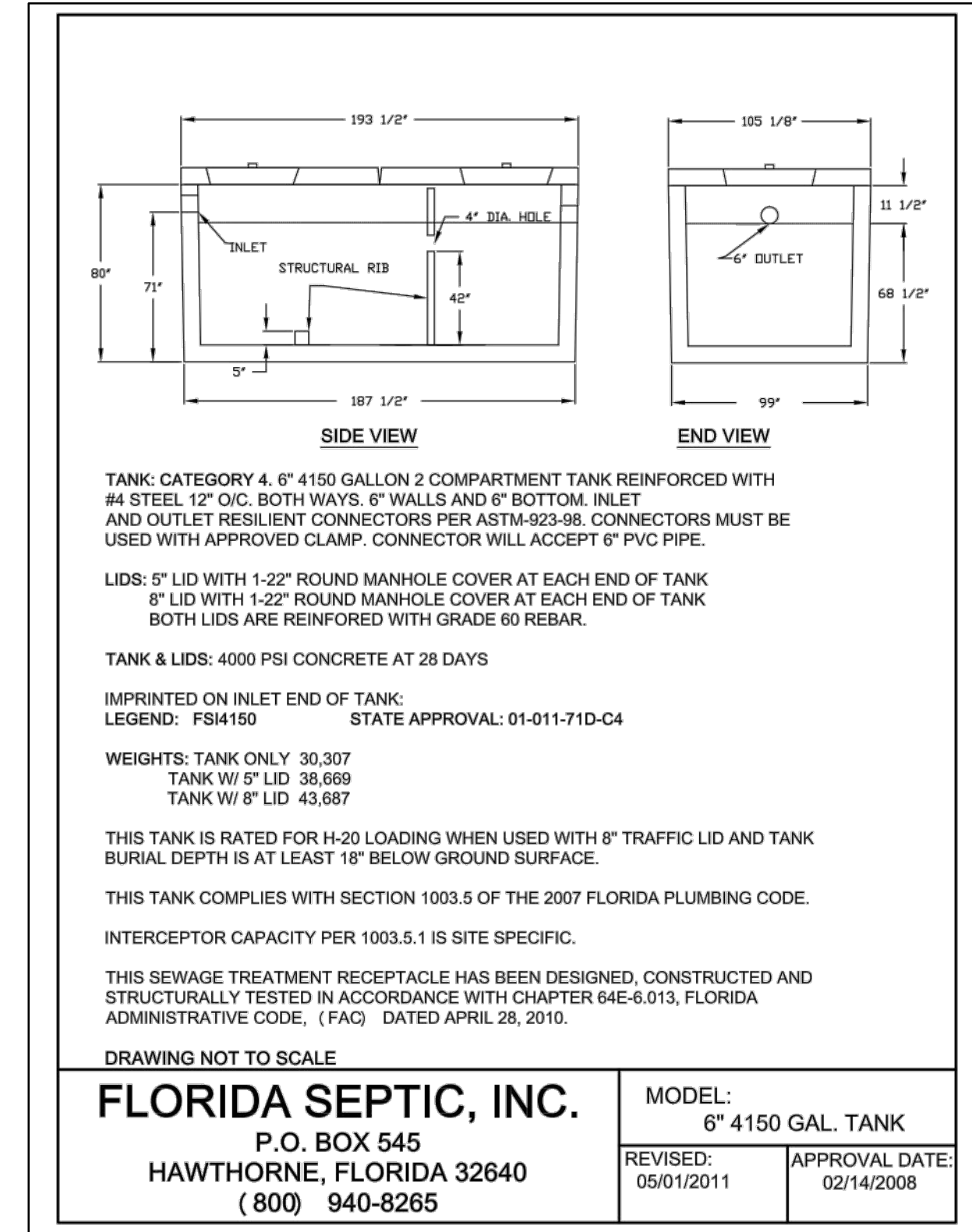


ARC 24 SIDE PORT COUPLER
NTS



FLORIDA SEPTIC, INC.
P.O. BOX 545
HAWTHORNE, FLORIDA 32640
(800) 940-8265

MODEL: 6" 2180 GAL. TANK	APPROVAL DATE: 04/25/2008
REVISOR: 05/01/2011	APPROVAL DATE: 04/25/2008



FLORIDA SEPTIC, INC.
P.O. BOX 545
HAWTHORNE, FLORIDA 32640
(800) 940-8265

MODEL: 6" 4150 GAL. TANK	APPROVAL DATE: 02/14/2008
REVISOR: 05/01/2011	APPROVAL DATE: 02/14/2008

NO.	REVISIONS	DATE	BY

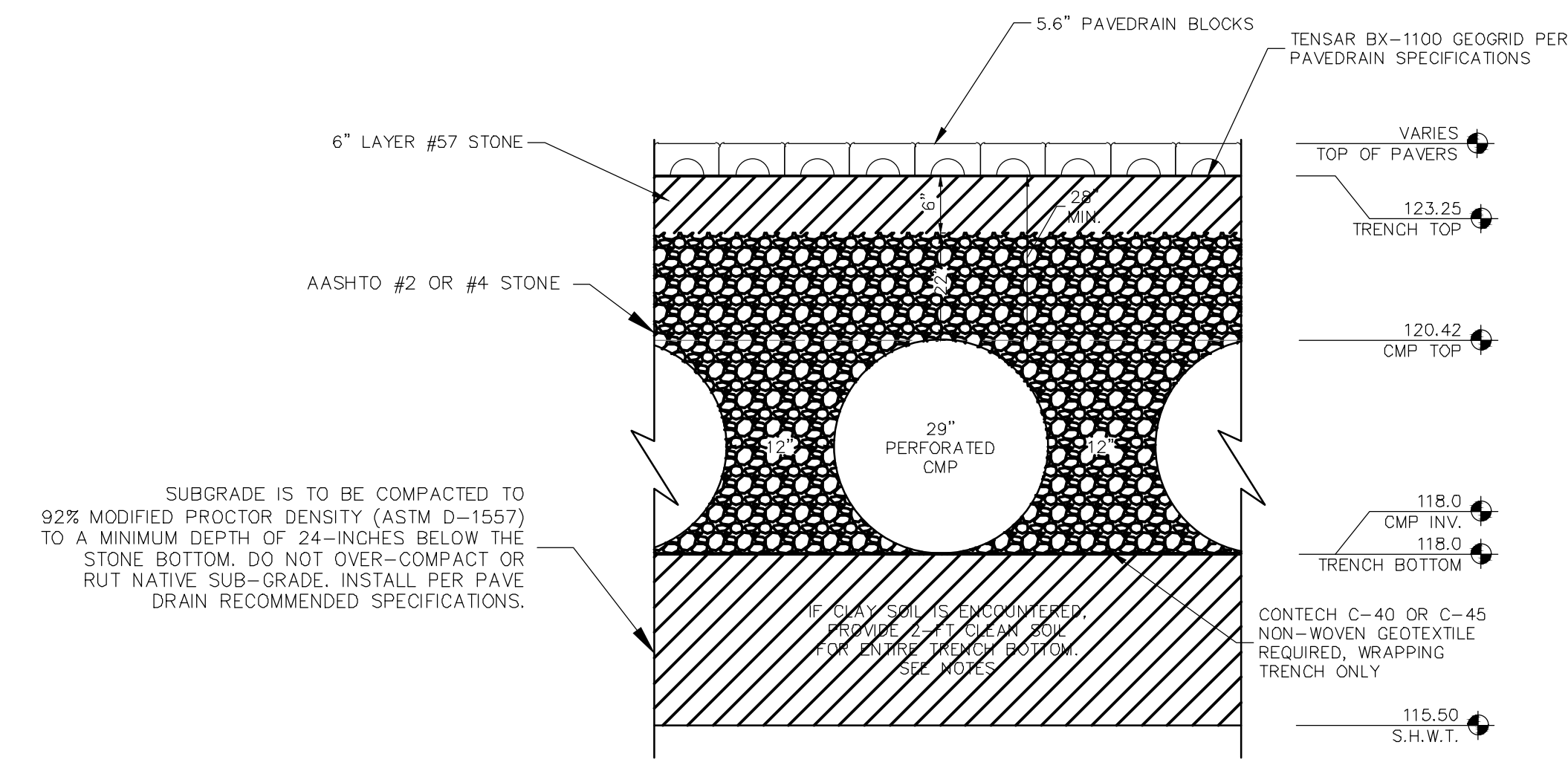
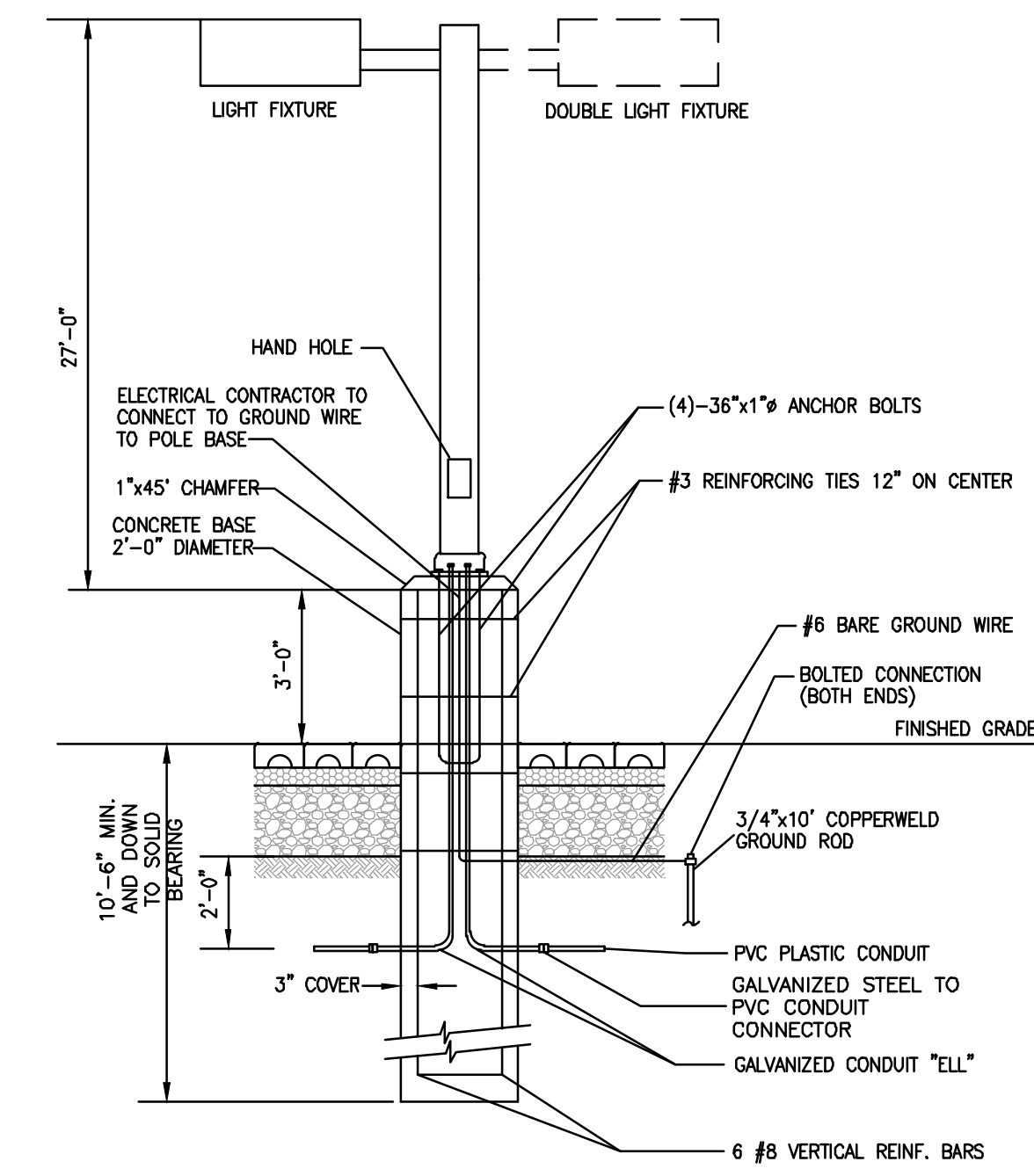
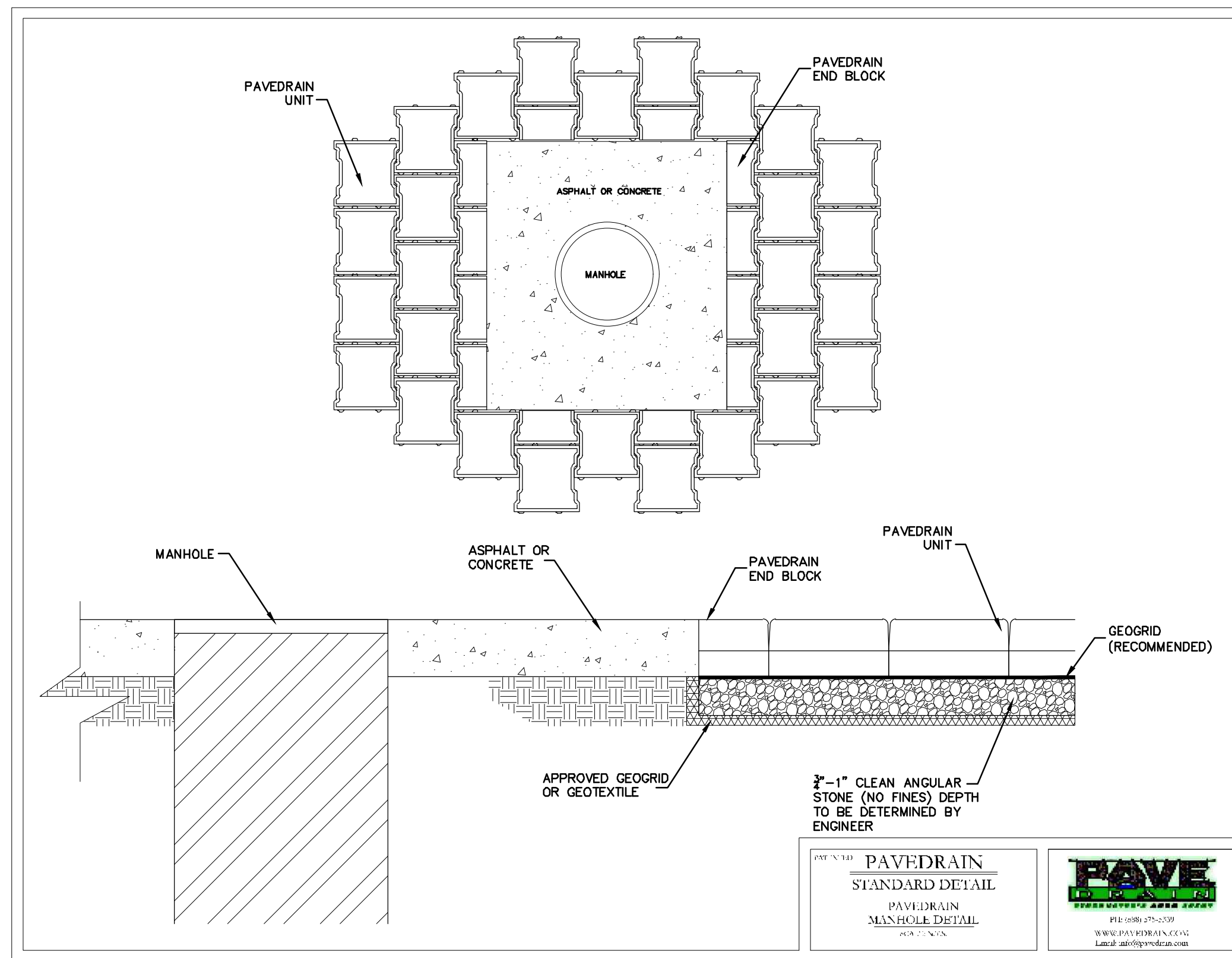
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 PHONE: 407-898-1511
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LICENSED PROFESSIONAL
 KHA PROJECT 149973004
 DATE 02/09/2023
 SCALE AS SHOWN
 DESIGNED BY M/G
 DRAWN BY CML
 CHECKED BY M/G
 MARCUS I. GEIER, P.E.
 FL LICENSE NUMBER 89199

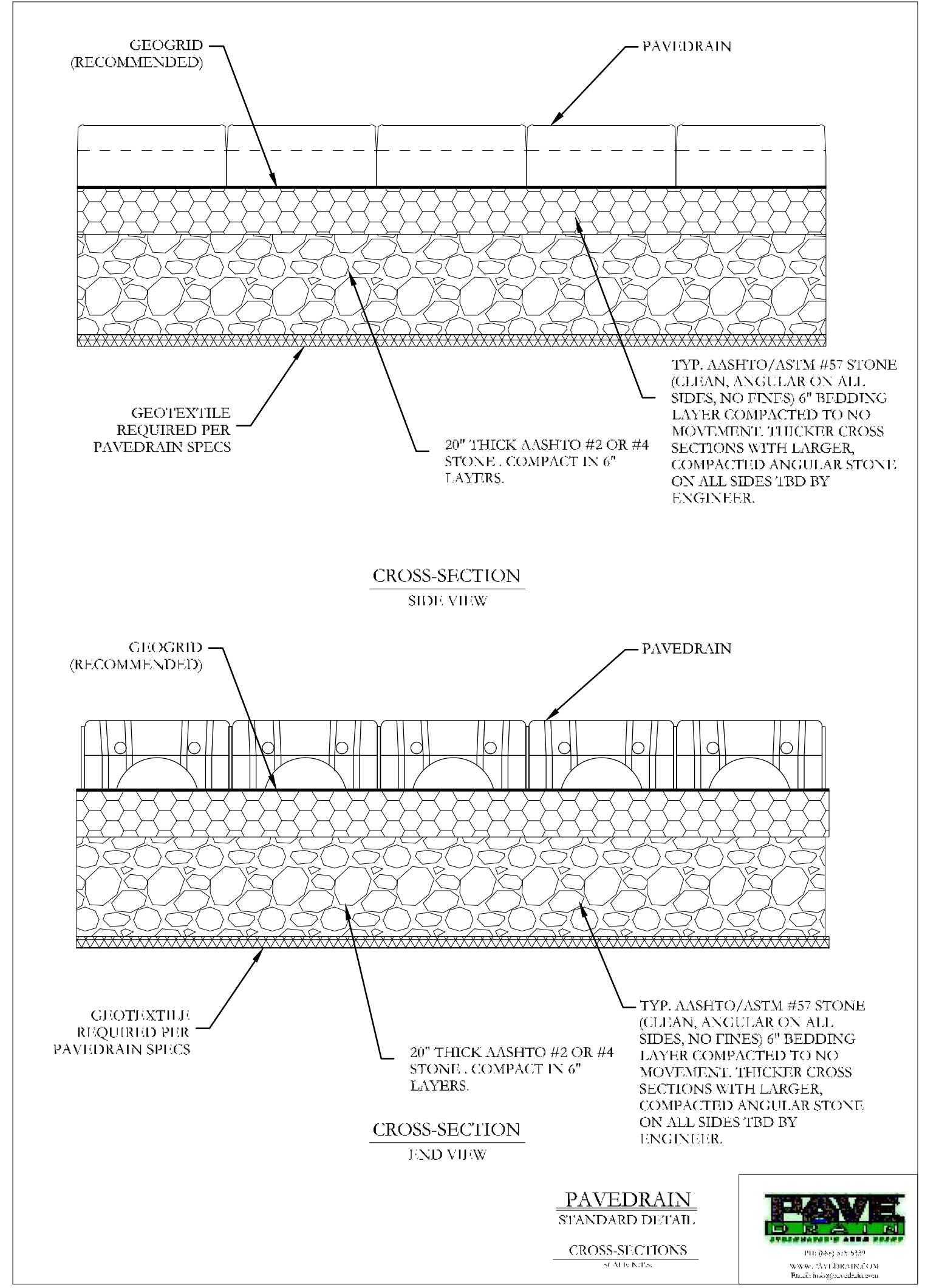
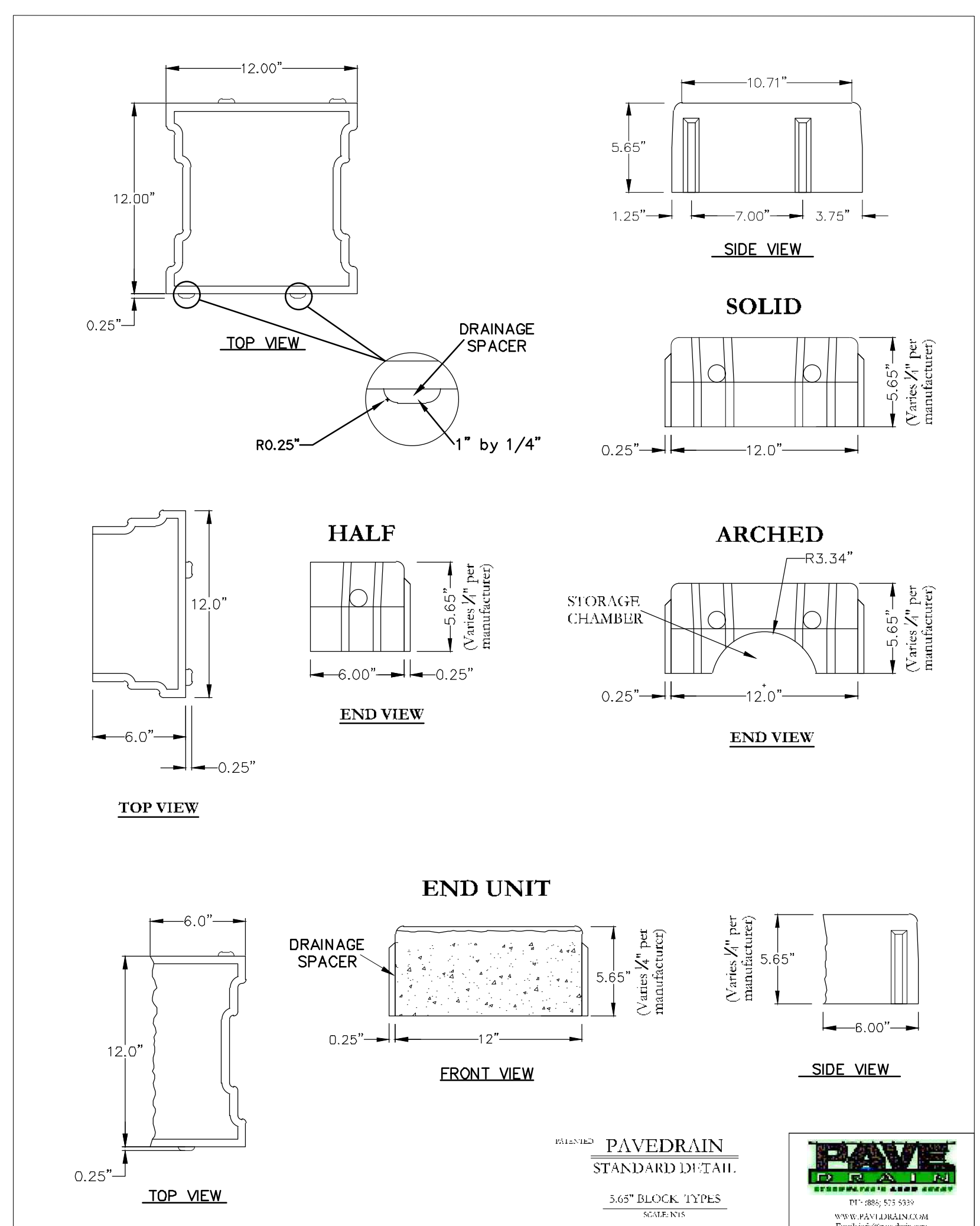
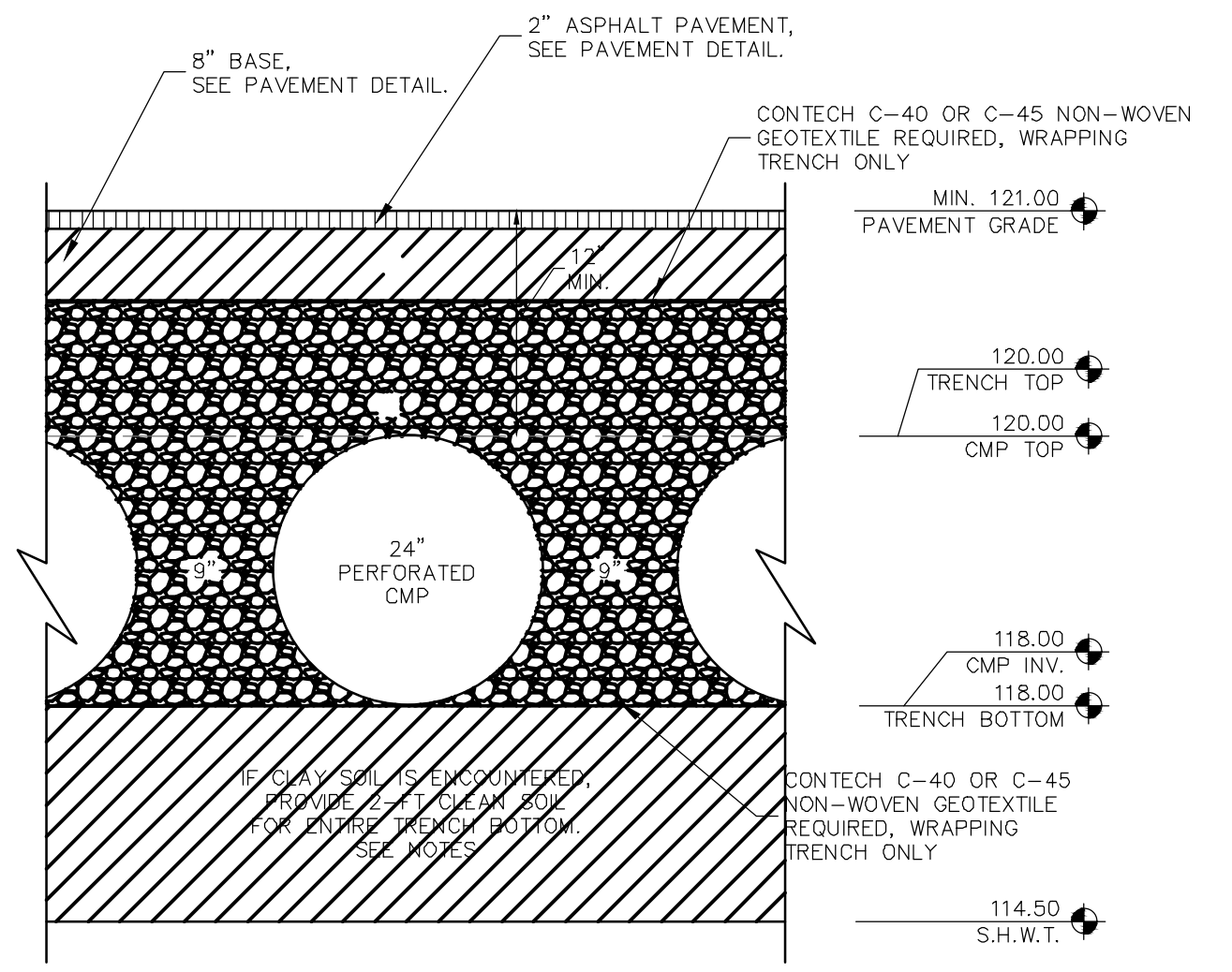
GENERAL CONSTRUCTION DETAILS

WINDERMERE DOWNTOWN PROPERTY

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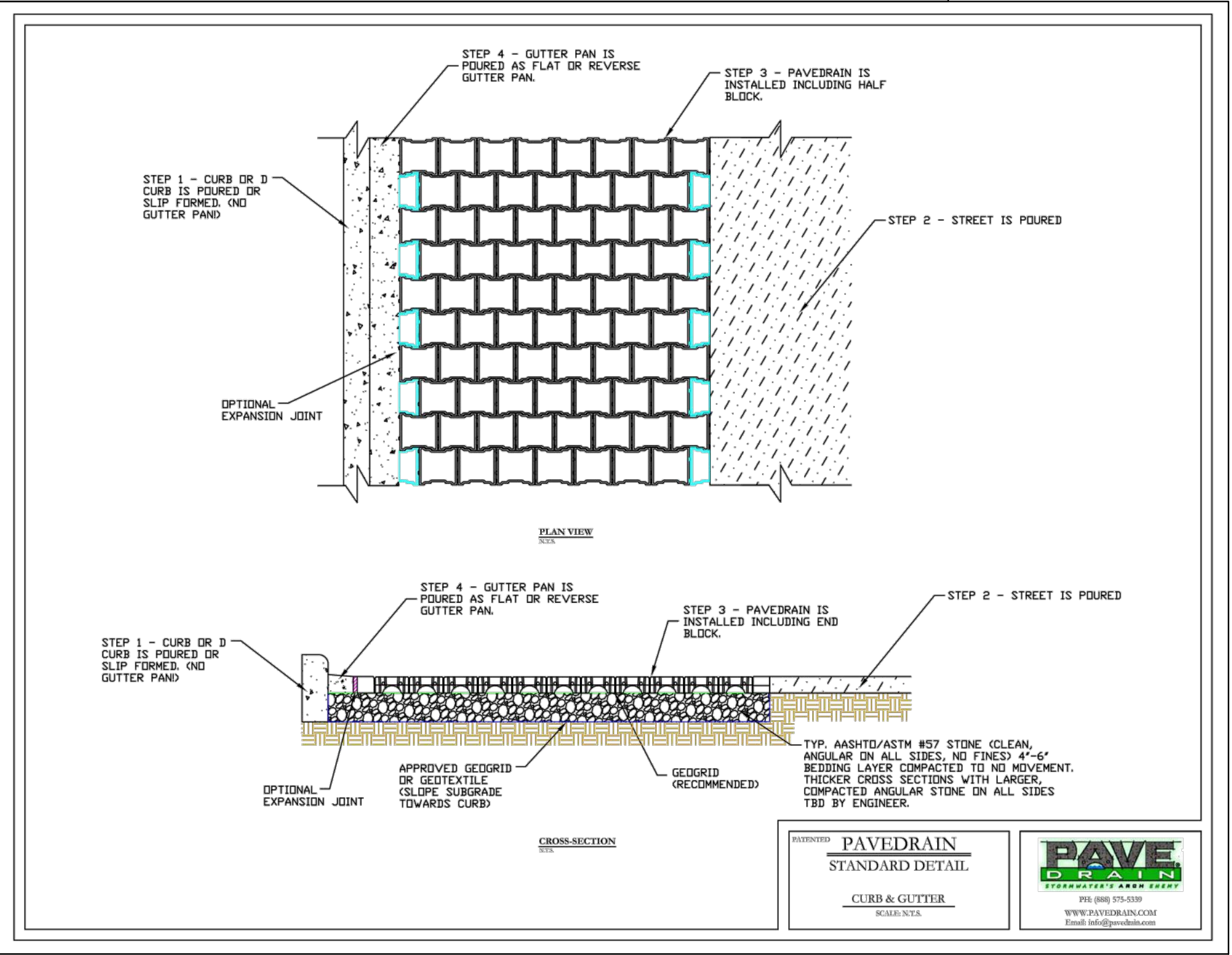
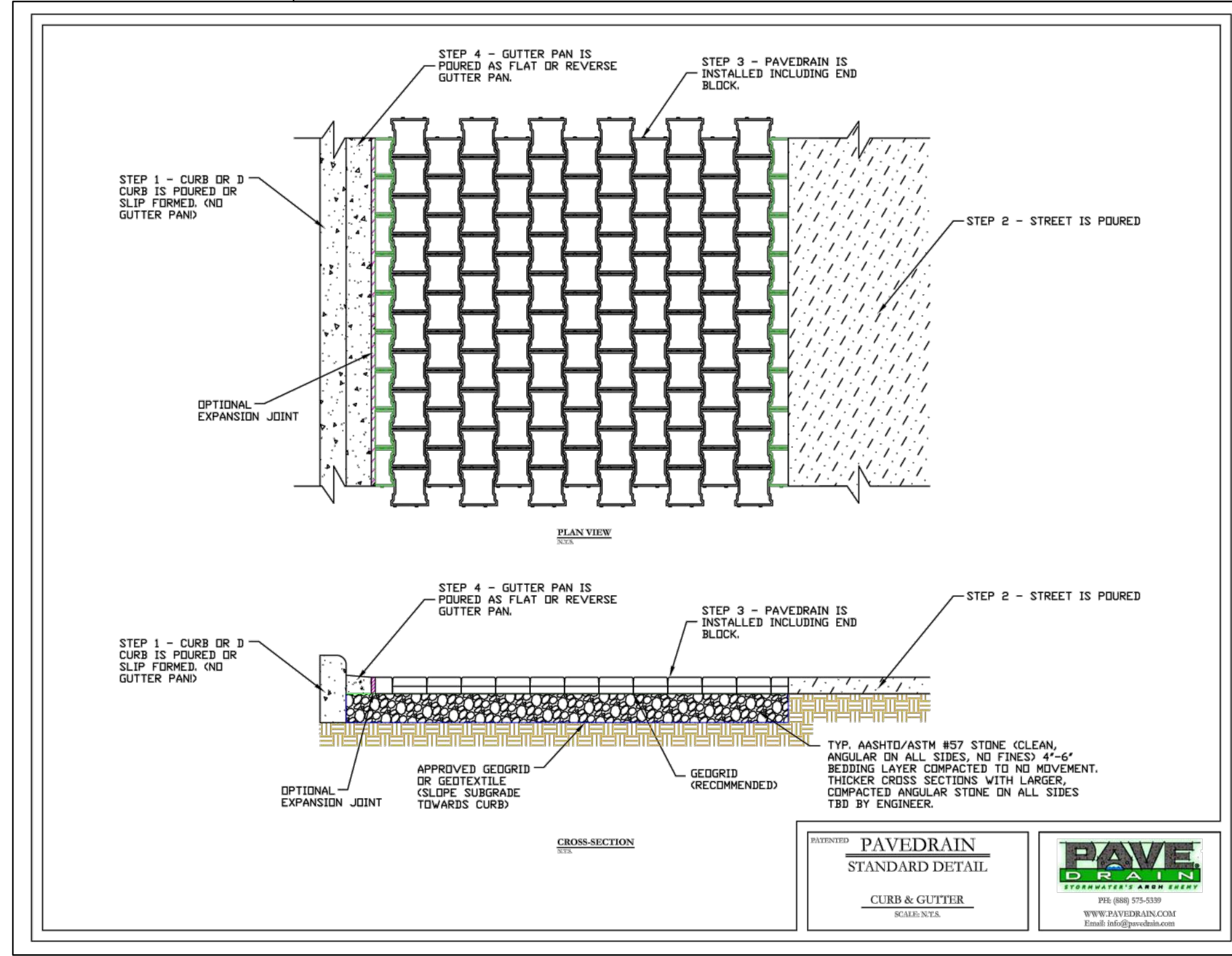
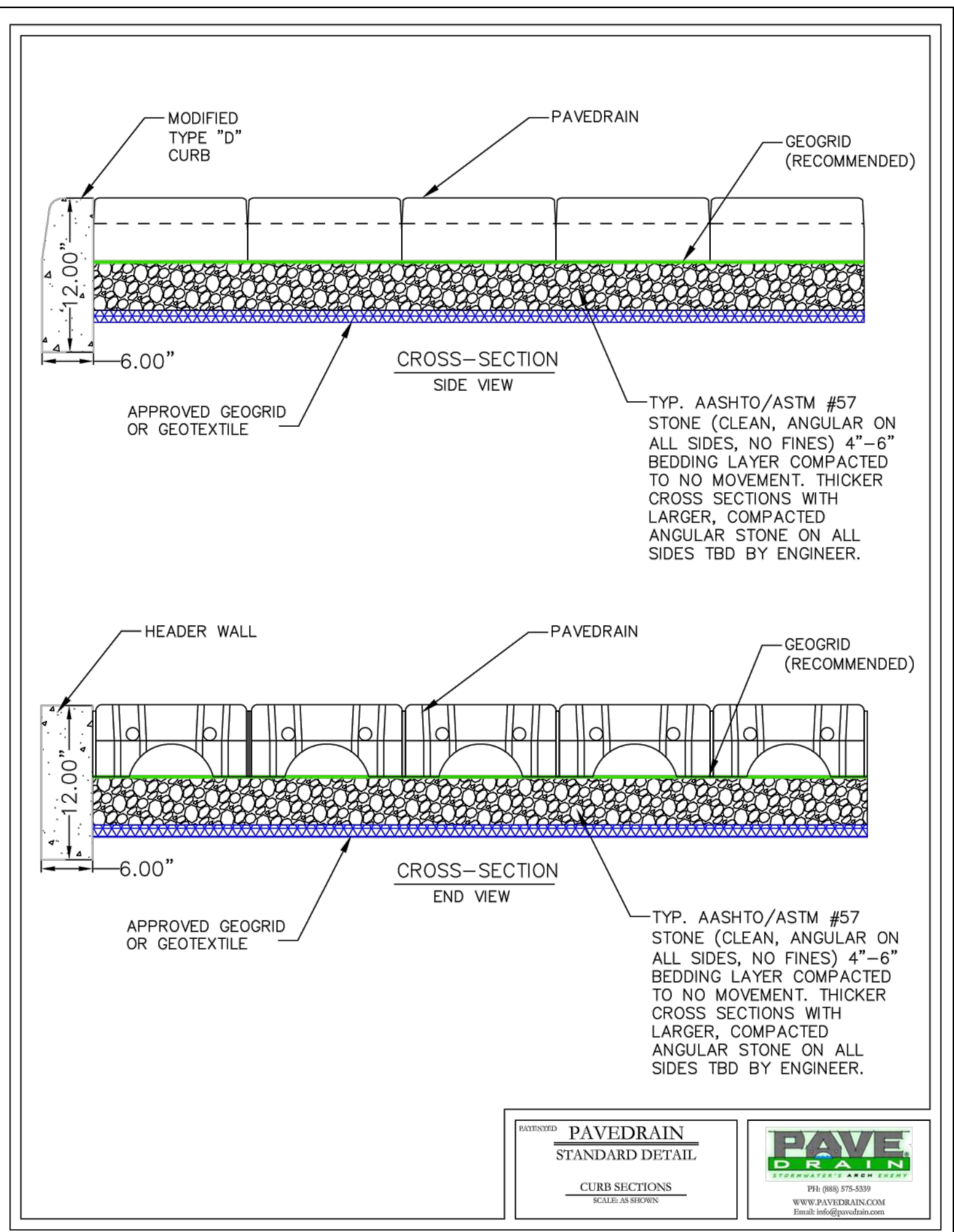
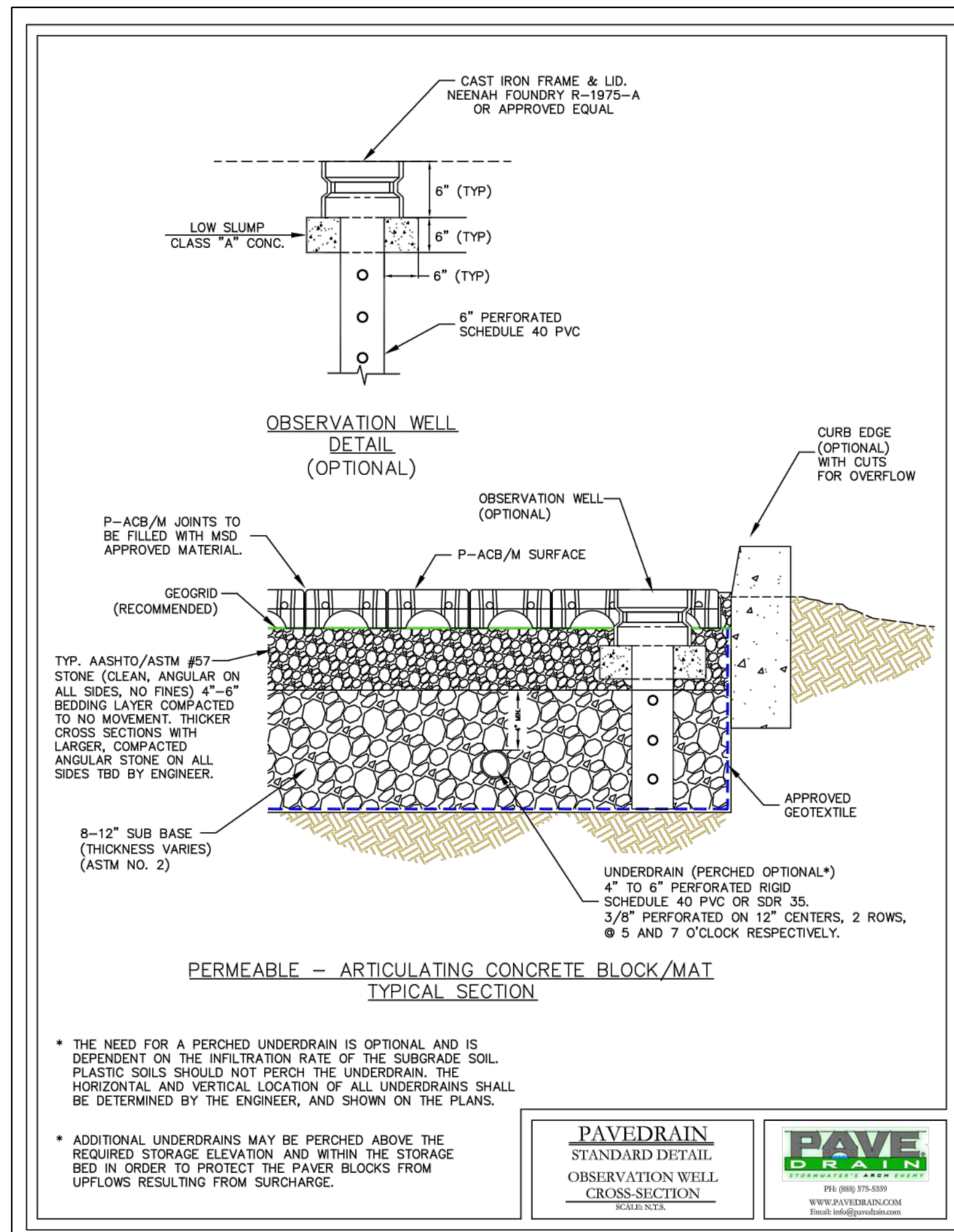
Details show 29\"/>



CONTRACTOR NOTE:
 1. CONSTRUCTION AND INSTALLATION SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY THE PRODUCT MANUFACTURER AND/OR FAMILIAR WITH AND FOLLOWING THE RECOMMENDATIONS AND PROCEDURES STATED WITHIN THE PAVEDRAIN INSTALLATION MANUAL (LATEST ED.) AND THE PAVEDRAIN NOTES CONTAINED WITHIN SHEET C9.3.
 2. WITHIN 2 WEEKS PRIOR TO THE INSTALLATION OF THE PAVEDRAIN P-ACB SYSTEM, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH CONTRACTOR PERFORMING INSTALLATION, ENGINEER, SUPPLIER, AND ANY OTHER APPROPRIATE REPRESENTATIVE.

	LICENSED PROFESSIONAL MARCUS I. GEIER, P.E. FL LICENSE NUMBER 89199	KHA PROJECT 149973004 DATE 02/09/2023 SCALE AS SHOWN DESIGNED BY M/G DRAWN BY CML CHECKED BY M/G	TOWN OF WINDERMERE SHEET NUMBER C8.2
	© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM	REVISIONS No. _____ DATE _____	GENERAL CONSTRUCTION DETAILS

Plotted By: Geier, Marcus - Sheet Set: Windermere Downtown Property - Layout: C8.3 GENERAL CONSTRUCTION DETAILS - April 10, 2023 - 04:36:20pm - K:\DRL\Civil\149973004-Windermere Downtown Property\CADD\PlanSheets\C8.0 - GENERAL CONSTRUCTION DETAILS.dwg
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CONTRACTOR NOTE:

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- WITHIN 2 WEEKS PRIOR TO THE INSTALLATION OF THE PAVEDRAIN P-ACB SYSTEM, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH CONTRACTOR PERFORMING INSTALLATION, ENGINEER, SUPPLIER, AND ANY OTHER APPROPRIATE REPRESENTATIVE.

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	REVISIONS No. _____ DATE _____						

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ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

DATE: February 11, 2011

FIGURE GN

OCU GENERAL NOTES:

- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
- THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
- CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.

- THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
- THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
- FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

STANDARD DRAWINGS

GENERAL

DATE: February 11, 2011

**RESTRAINED PIPE TABLE
WATER AND RECLAIMED WATER MAINS**

FIGURE A104-1

TYPE	MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)									
	PIPE SIZE									
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	25	36	46	55	64	65	77	89	105	120
45° BEND	10	15	19	23	26	27	32	37	44	50
22-1/2° BEND	5	8	9	11	13	13	15	18	21	24
11-1/4° BEND	3	4	5	6	8	8	9	10	10	12
PLUG OR BRANCH OF TEE	53	74	97	117	135	138	166	194	231	265
VALVE	27	38	49	59	68	69	83	97	116	133
REDUCER	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER.									

- NOTES:**
- FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
 - INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
 - WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
 - ALL INLINE VALVES SHALL BE RESTRAINED.
 - WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
 - LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW.

WORKING PRESSURE: 150 PSI
SOIL DESIGNATION: SM (SAND SILT)
LAYING CONDITIONS: 3
DEPTH OF COVER: 3 FT
SAFETY FACTOR: 1.5
CONVERSION FACTOR FOR PVC PIPE: 1.25

THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC SOIL DESIGNATIONS, LAYING CONDITIONS, PIPE MATERIAL, ETC. FOR DIP ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.25.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

STANDARD DRAWINGS

GENERAL

DATE: February 11, 2011

**RESTRAINED PIPE TABLE
WASTEWATER FORCE MAINS**

FIGURE A104-2

TYPE	MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)									
	PVC PIPE SIZE									
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	18	24	31	38	43	55	65	75	88	100
45° BEND	8	10	13	15	18	23	26	31	38	43
22-1/2° BEND	4	5	6	8	9	11	13	15	18	20
11-1/4° BEND	2	3	4	5	6	8	9	10	11	13
PLUG OR BRANCH OF TEE	38	50	65	79	90	117	139	163	194	223
VALVE	19	25	32	40	45	59	70	82	98	112
REDUCER	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER.									

- NOTES:**
- FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
 - INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
 - WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
 - ALL INLINE VALVES SHALL BE RESTRAINED.
 - WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
 - LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

WORKING PRESSURE: 100 PSI
SOIL DESIGNATION: SM (SAND SILT)
LAYING CONDITIONS: 3
DEPTH OF COVER: 3 FT
SAFETY FACTOR: 1.5
CONVERSION FACTOR FOR PVC PIPE: 1.25

THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC PARAMETERS, SUCH AS SOIL DESIGNATIONS AND LAYING CONDITIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

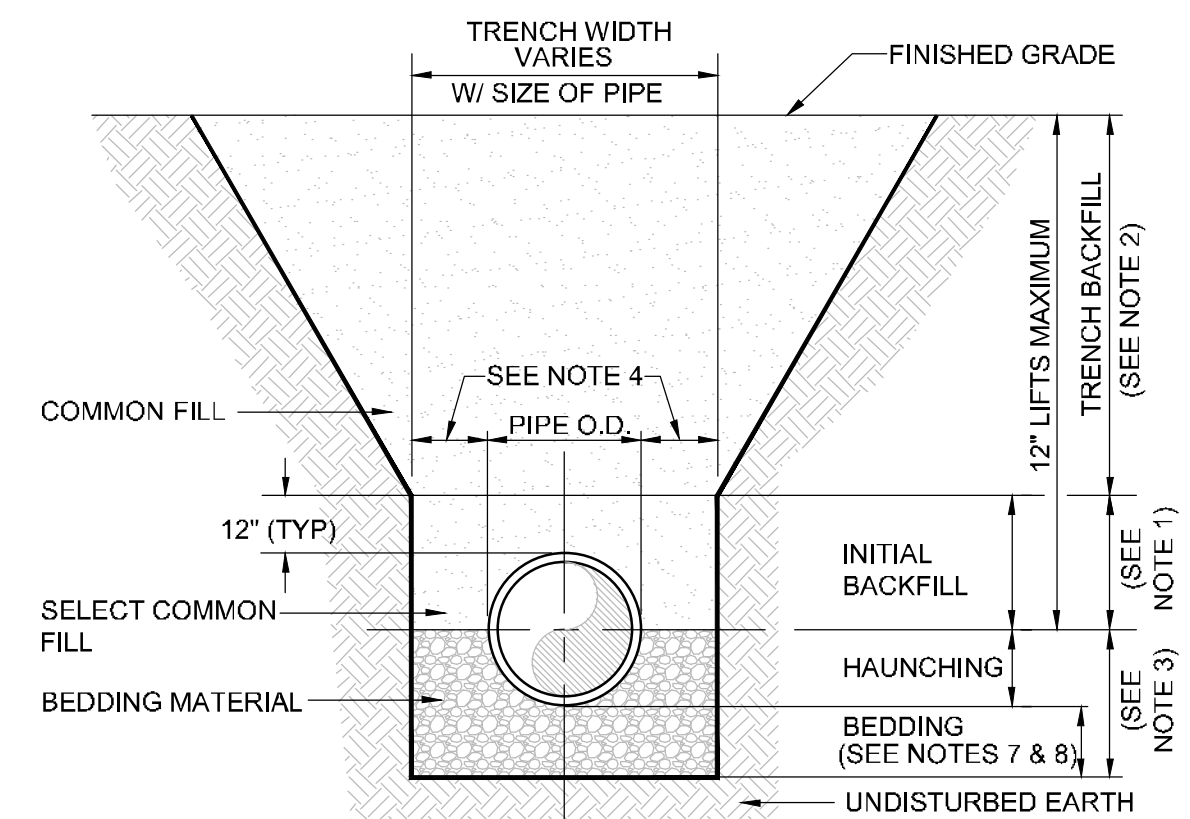
STANDARD DRAWINGS

GENERAL

DATE: February 11, 2011

BEDDING AND TRENCHING - TYPE A

FIGURE A101



- NOTES:**
- INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 - 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
 - DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RW UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

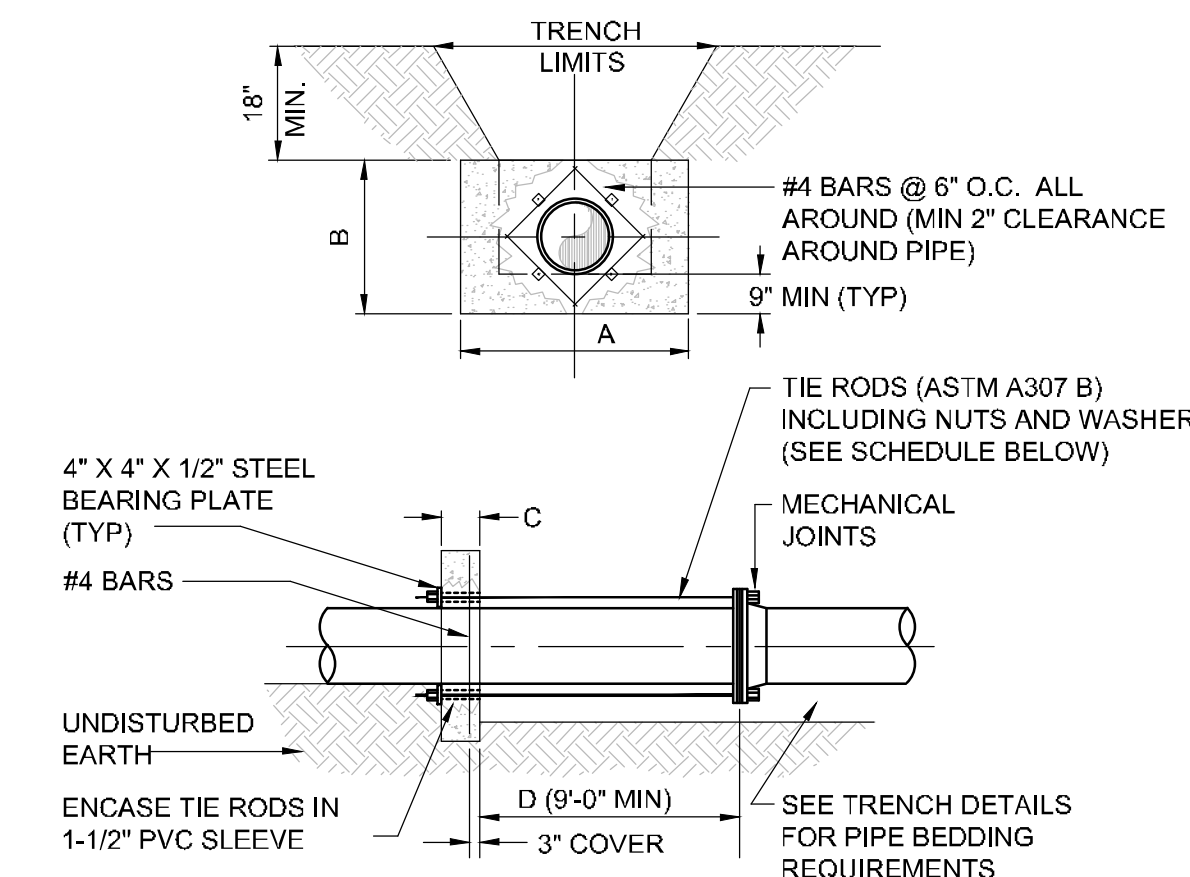
STANDARD DRAWINGS

GENERAL

DATE: February 11, 2011

THRUST COLLAR (150 psi)

FIGURE A105-1



- NOTES:**
- ADDITIONAL REINFORCEMENTS SHALL BE AS SPECIFIED BY THE ENGINEER.
 - MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE 3000 PSI.
 - BEDDING, BACKFILL AND COMPACTION SHALL BE AS SPECIFIED ELSEWHERE IN THE STANDARD DRAWINGS.
 - ALL FORM BOARDS SHALL BE REMOVED PRIOR TO BACKFILL.
 - NO ALLOWANCE SHALL BE MADE FOR FRICTION BETWEEN THE PIPE WALL AND THE THRUST COLLAR.
 - DESIGN PRESSURE: 150 PSI.
 - REQUIRED FOR LINE STOPS.

PIPE SIZE (INCHES)	DIMENSIONS (FT.)				TIE RODS REQ'D DIA.	NO.
	A	B	C	D		
6	2.0	2.0	1.0	3/4	2	
8	2.5	2.5	1.0	3/4	2	
10	3.5	3.0	1.0	3/4	4	
12	5.0	3.0	1.0	3/4	4	
16	6.0	4.0	1.5	3/4	4	
20	8.0	5.0	1.5	3/4	6	
24	9.0	6.0	1.5	3/4	8	

NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

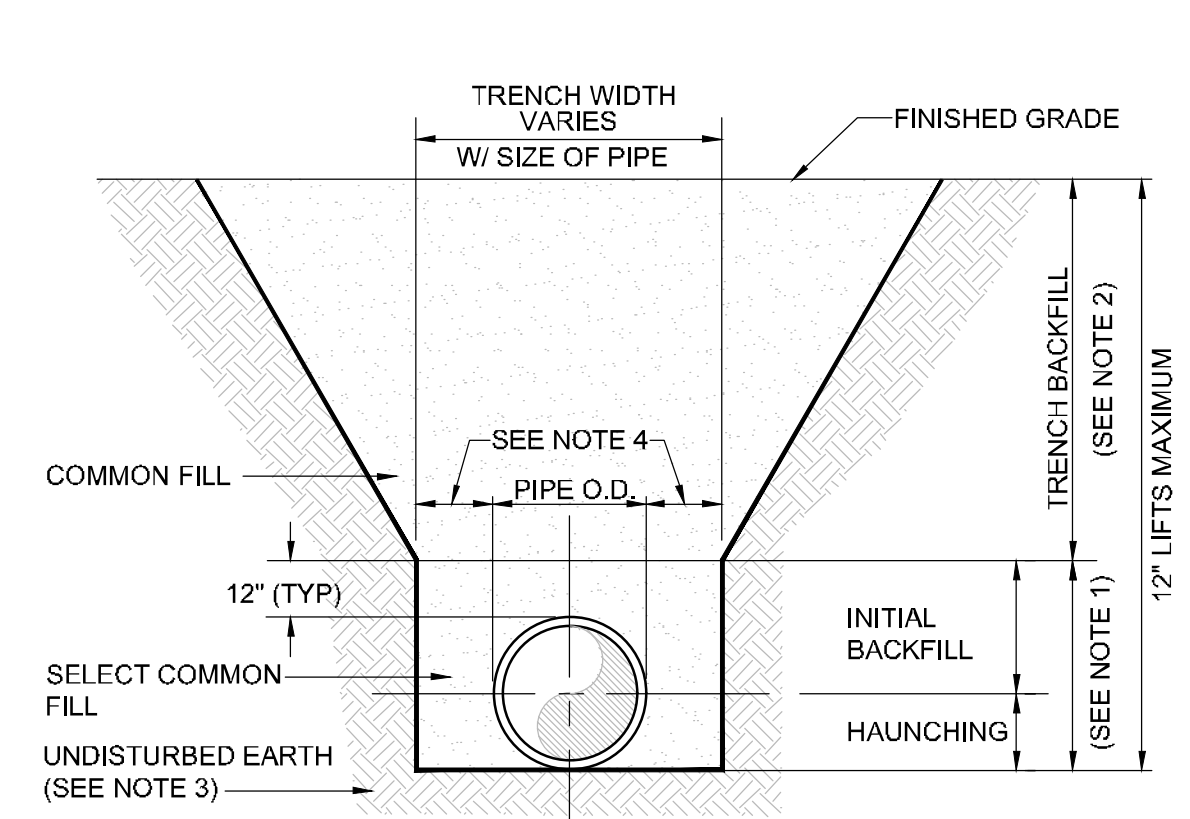
STANDARD DRAWINGS

GENERAL

DATE: February 11, 2011

BEDDING AND TRENCHING - TYPE B

FIGURE A102



- NOTES:**
- INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.
 - 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

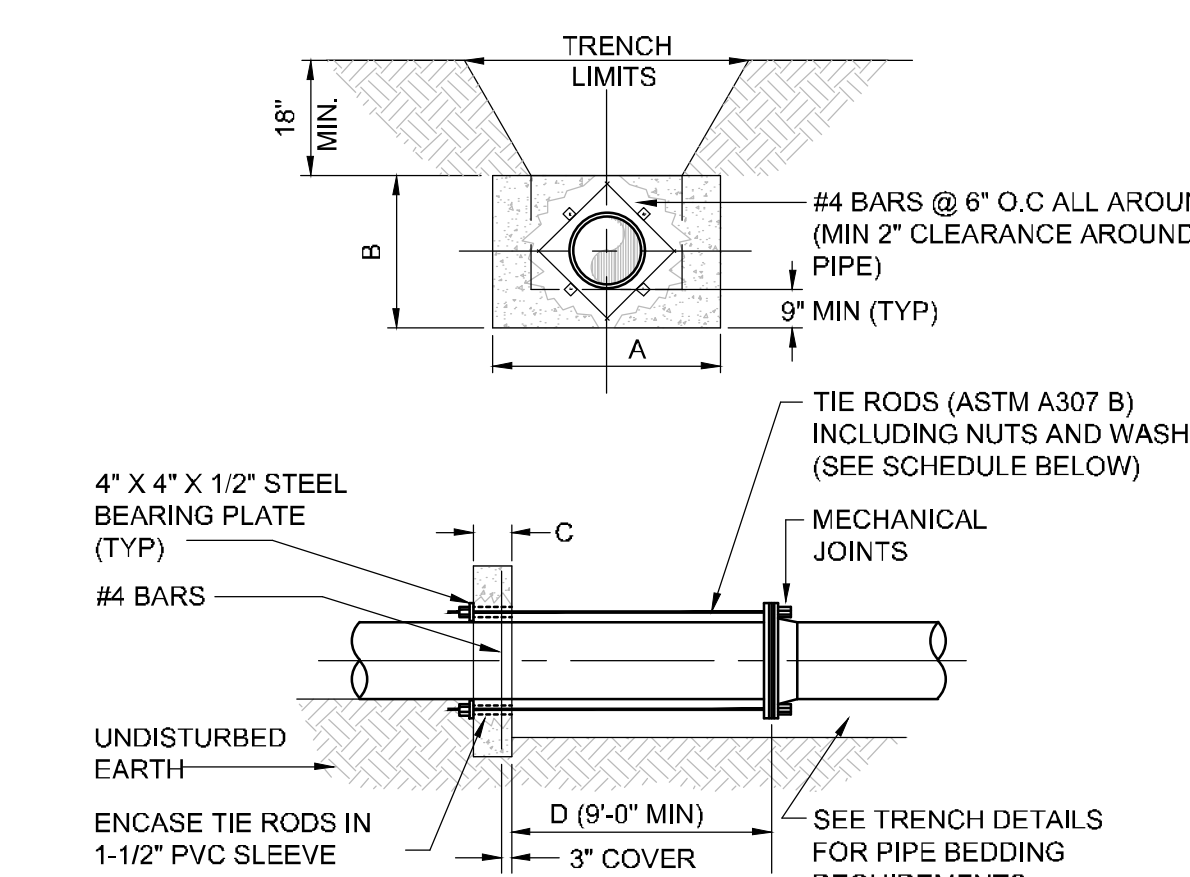
STANDARD DRAWINGS

GENERAL

DATE: February 11, 2011

THRUST COLLAR (100 psi)

FIGURE A105-2



- NOTES:**
- ADDITIONAL REINFORCEMENTS SHALL BE AS SPECIFIED BY THE ENGINEER.
 - MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE 3000 PSI.
 - BEDDING, BACKFILL AND COMPACTION SHALL BE AS SPECIFIED ELSEWHERE IN THE STANDARD DRAWINGS.
 - ALL FORM BOARDS SHALL BE REMOVED PRIOR TO BACKFILL.
 - NO ALLOWANCE SHALL BE MADE FOR FRICTION BETWEEN THE PIPE WALL AND THE THRUST COLLAR.
 - DESIGN PRESSURE: 100 PSI.
 - REQUIRED FOR LINE STOPS.

PIPE SIZE (INCHES)	DIMENSIONS (FT.)				TIE RODS REQ'D DIA.	NO.
	A	B	C	D		
6	2.0	2.0	1.0	3/4	2	
8	2.5	2.5	1.0	3/4	2	
10	3.0	2.5	1.0	3/4	4	
12	4.0	3.0	1.0	3/4	4	
16	5.5	3.5	1.5	3/4	4	
20	7.5	4.0	1.5	3/4	4	
24	8.5	5.0	1.5	3/4	6	

NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING.

No.	REVISIONS	DATE	BY

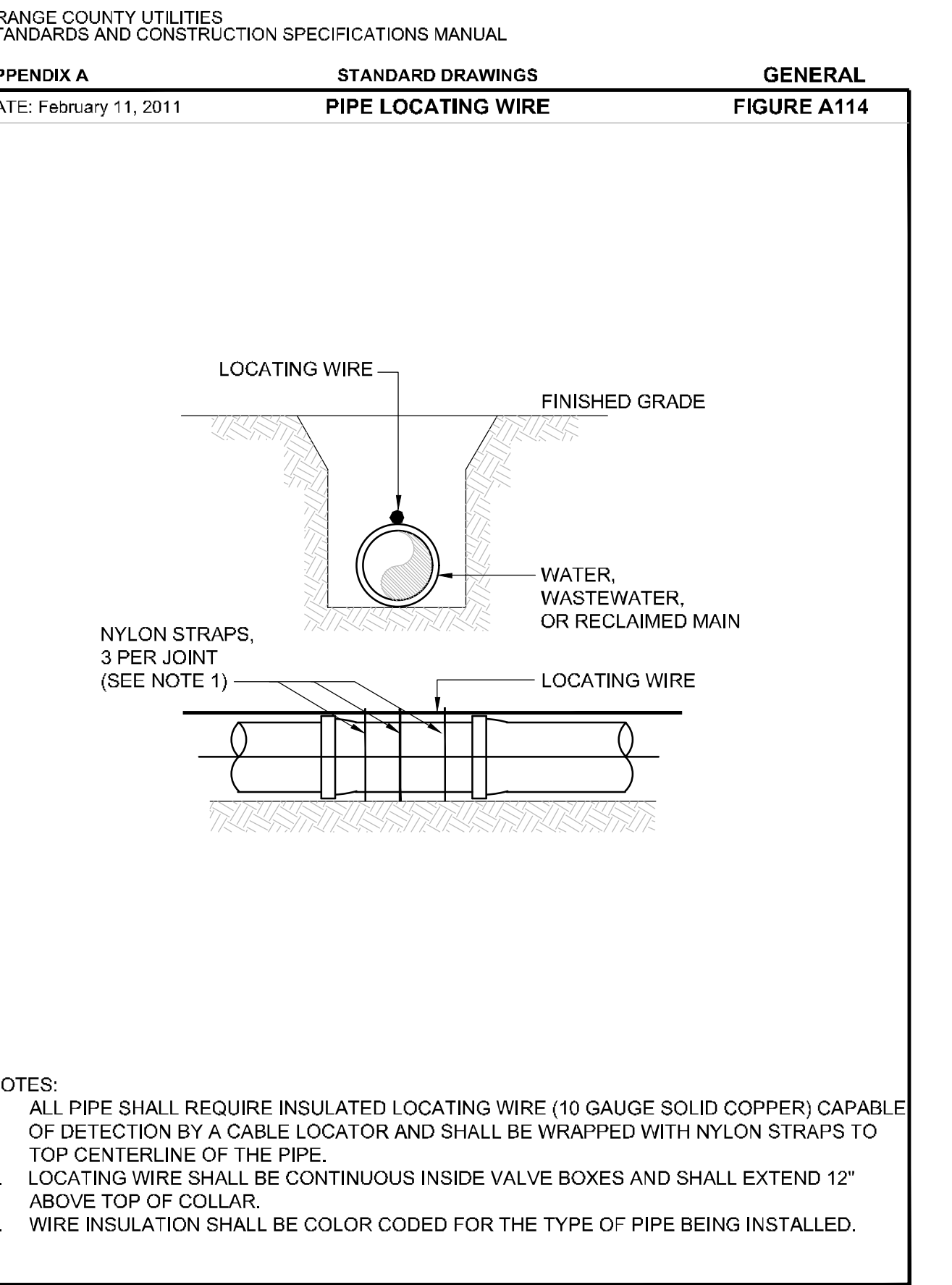
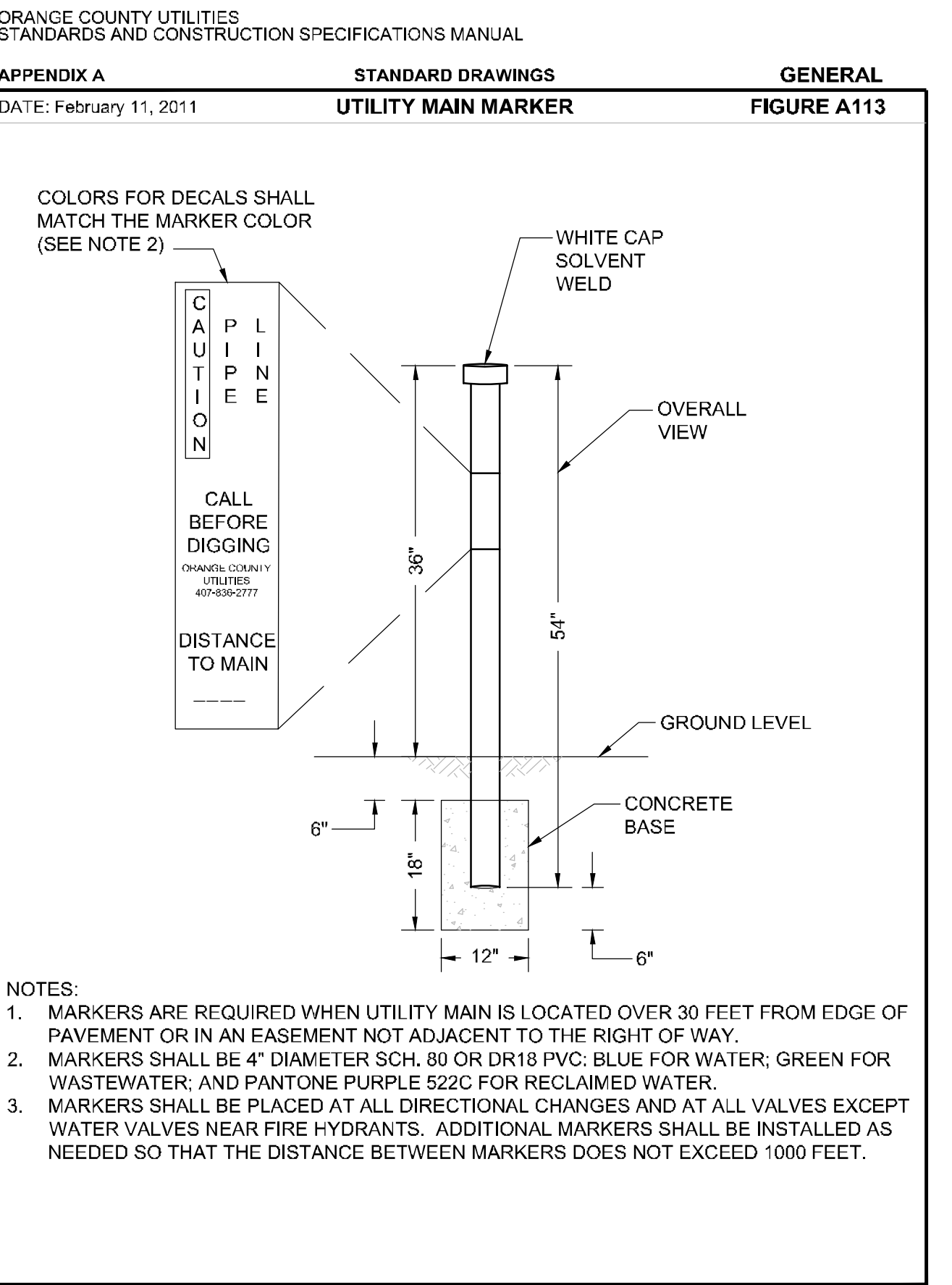
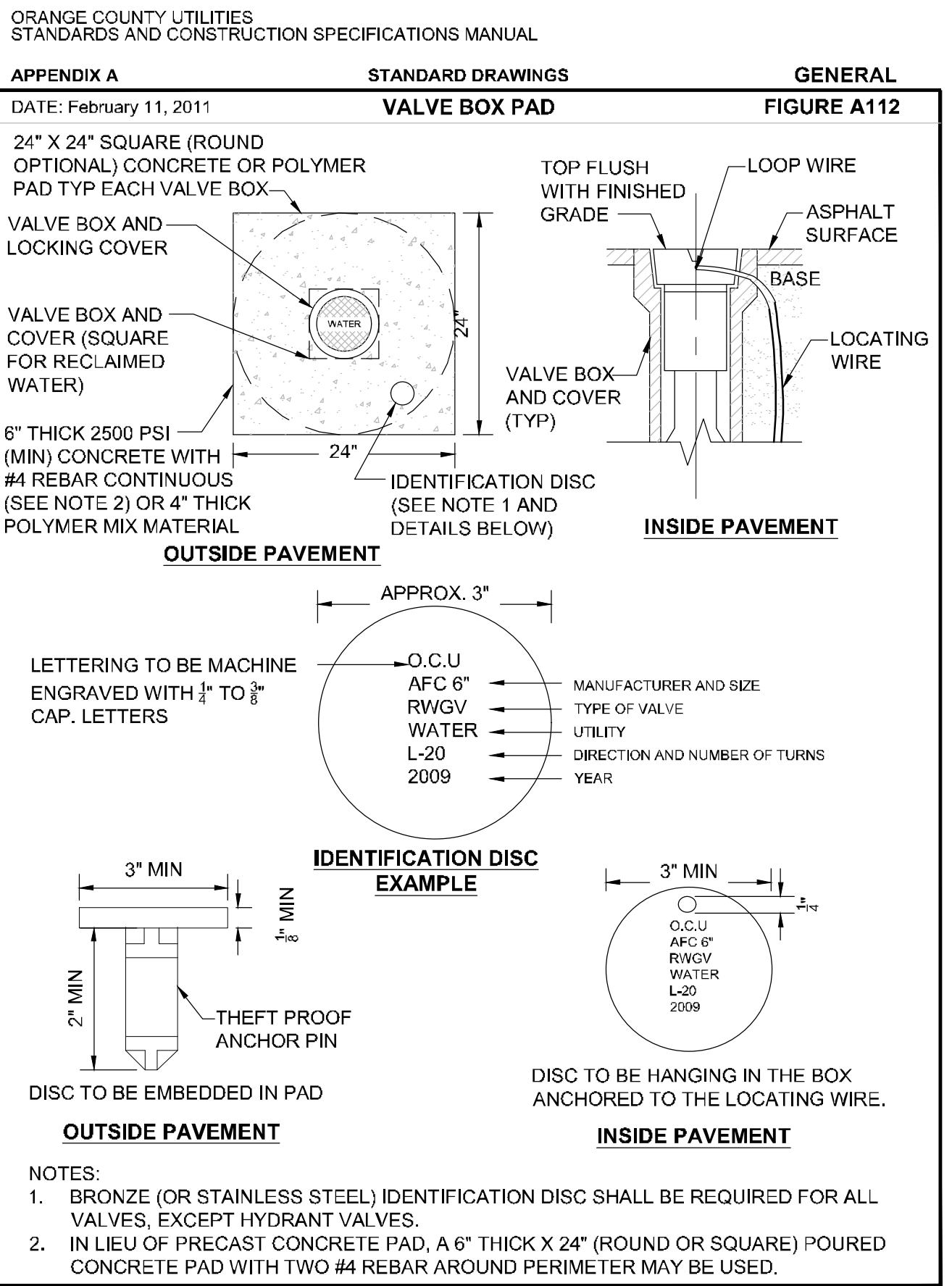
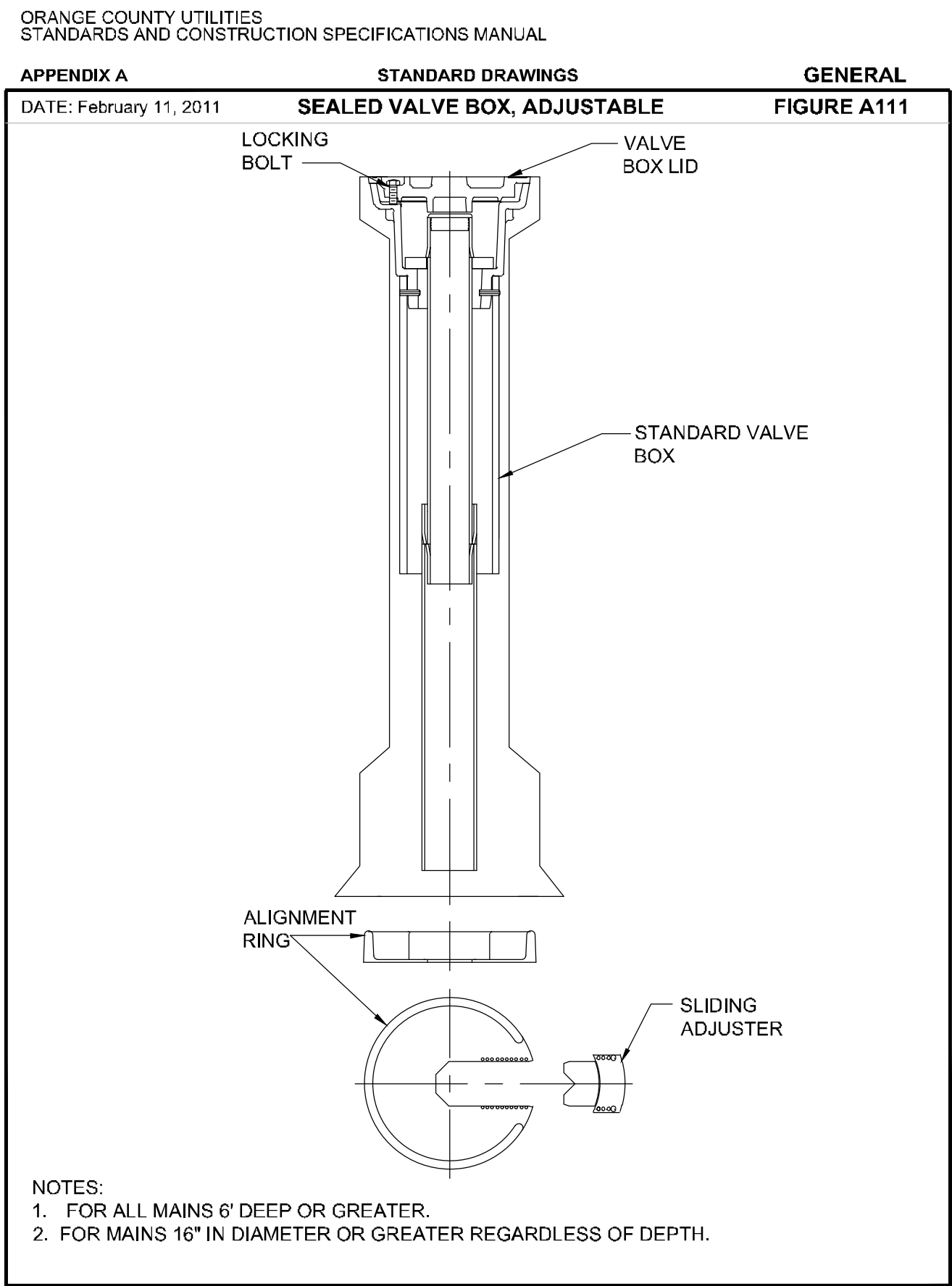
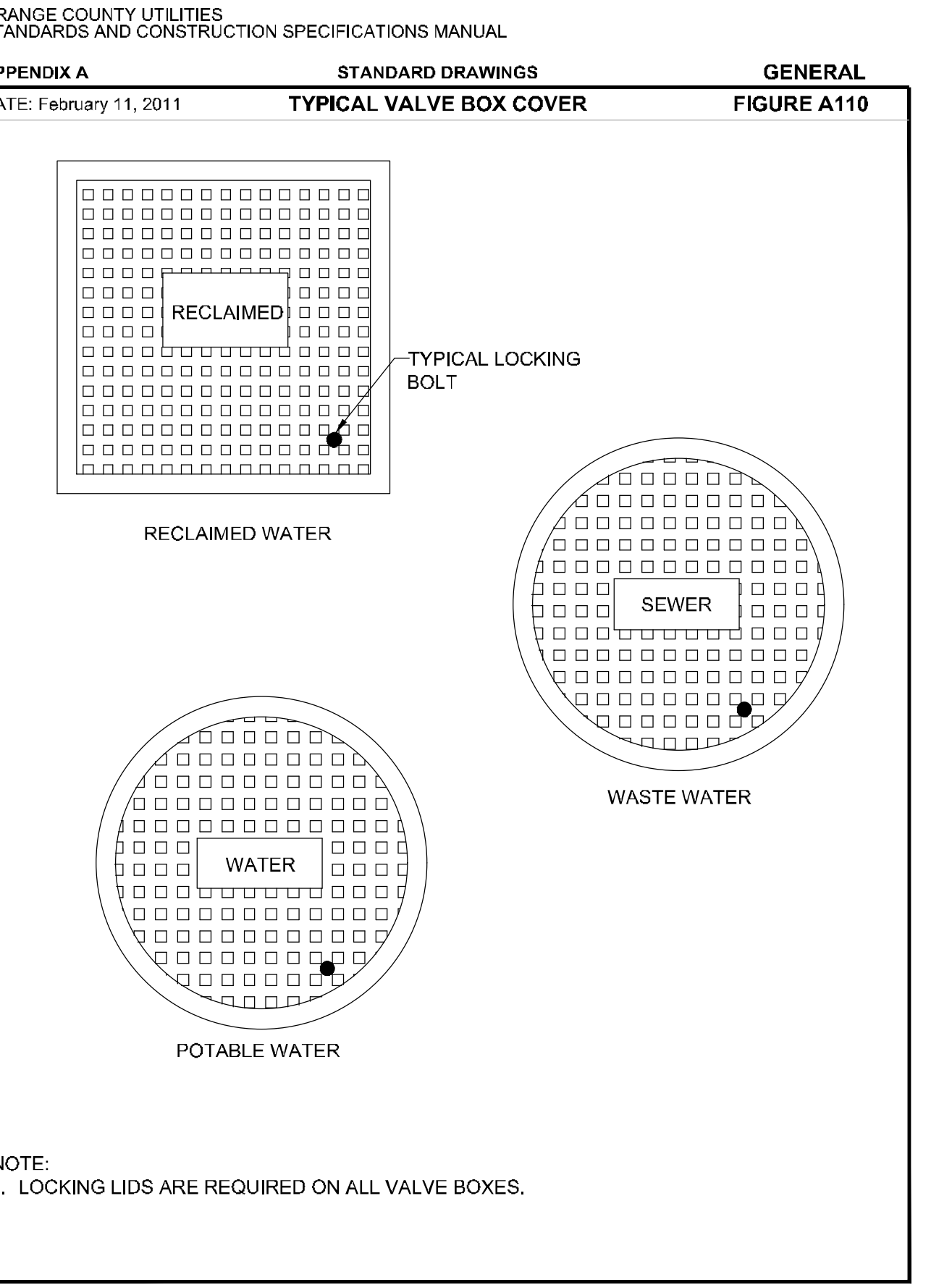
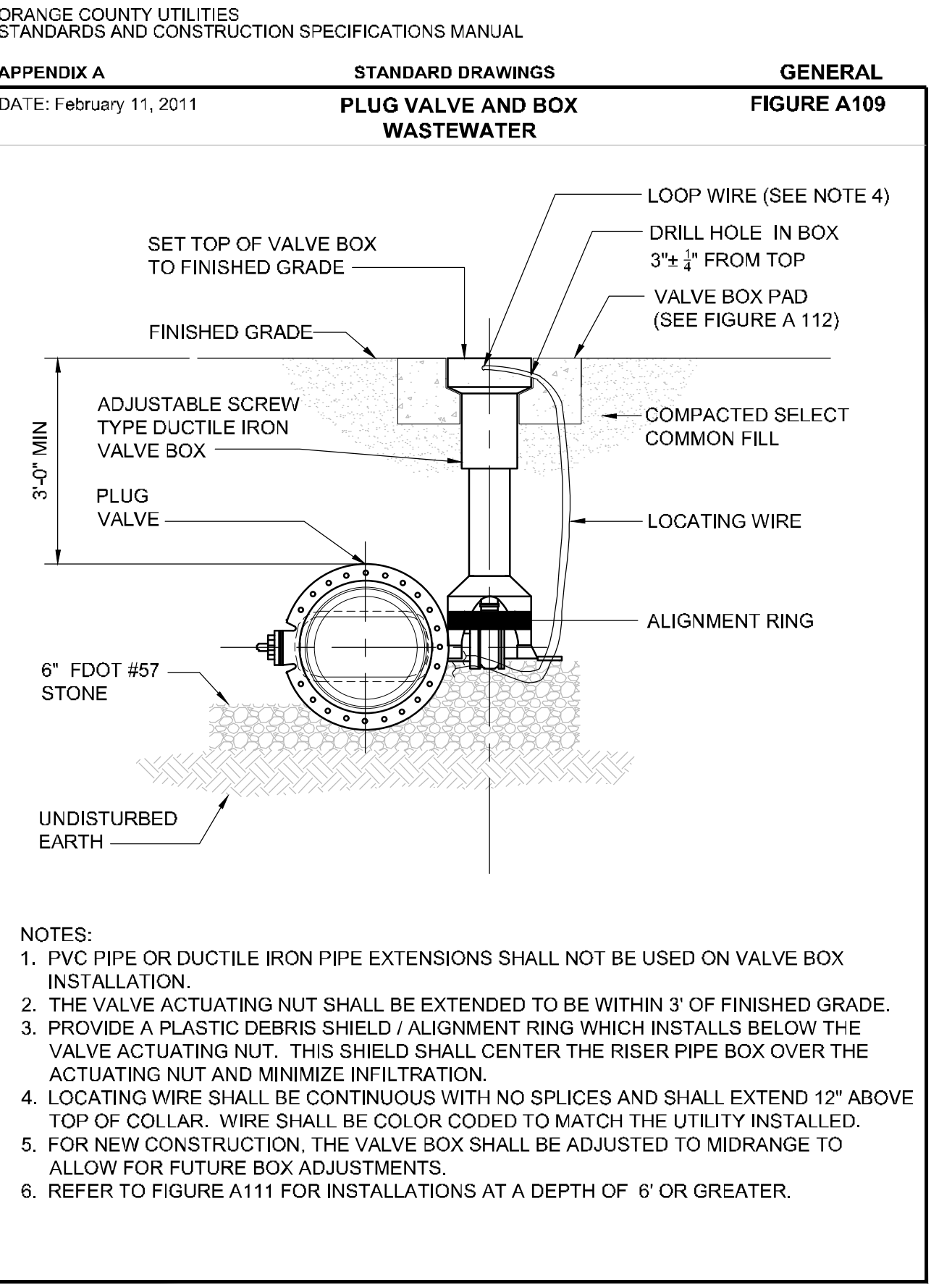
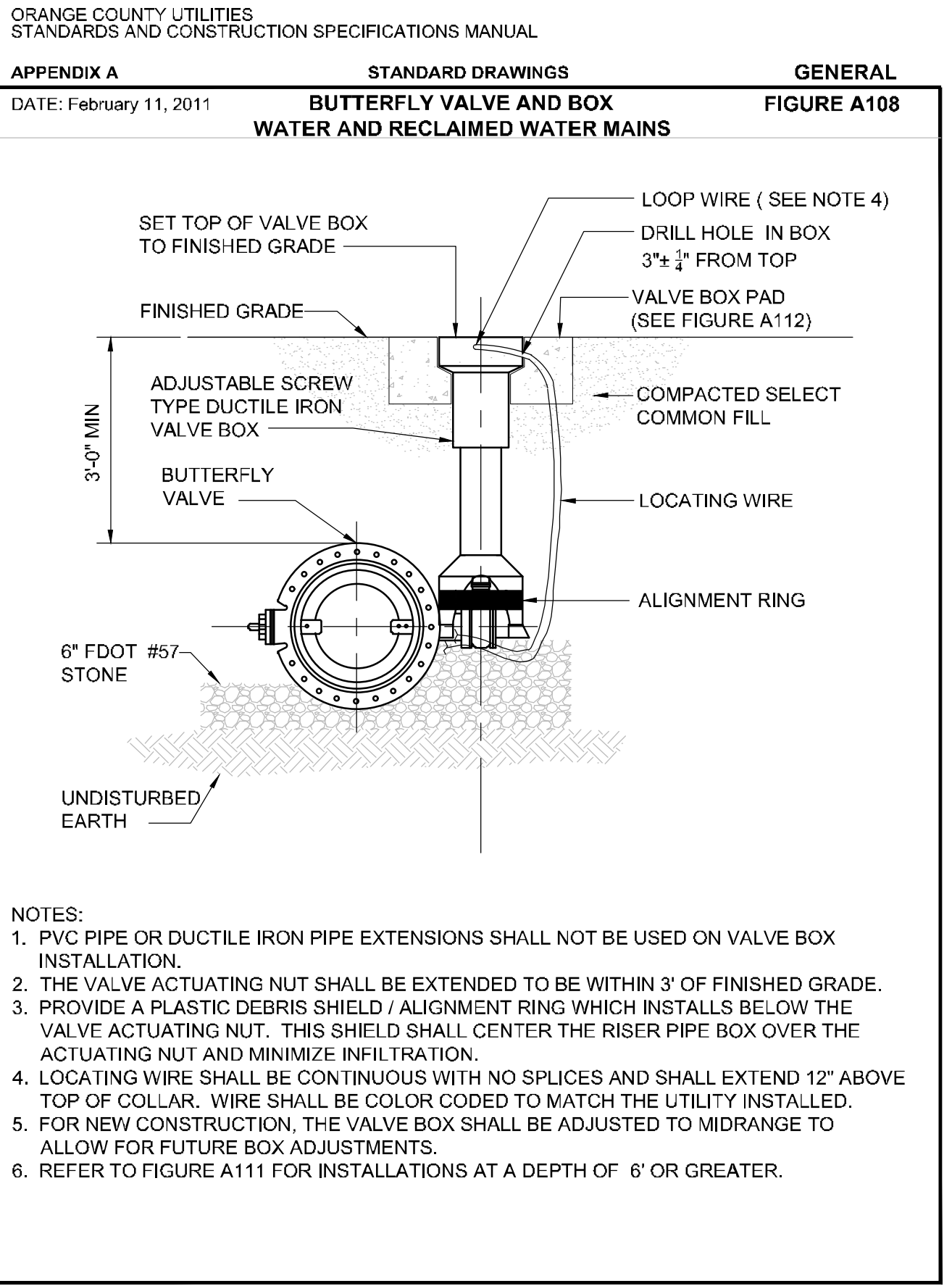
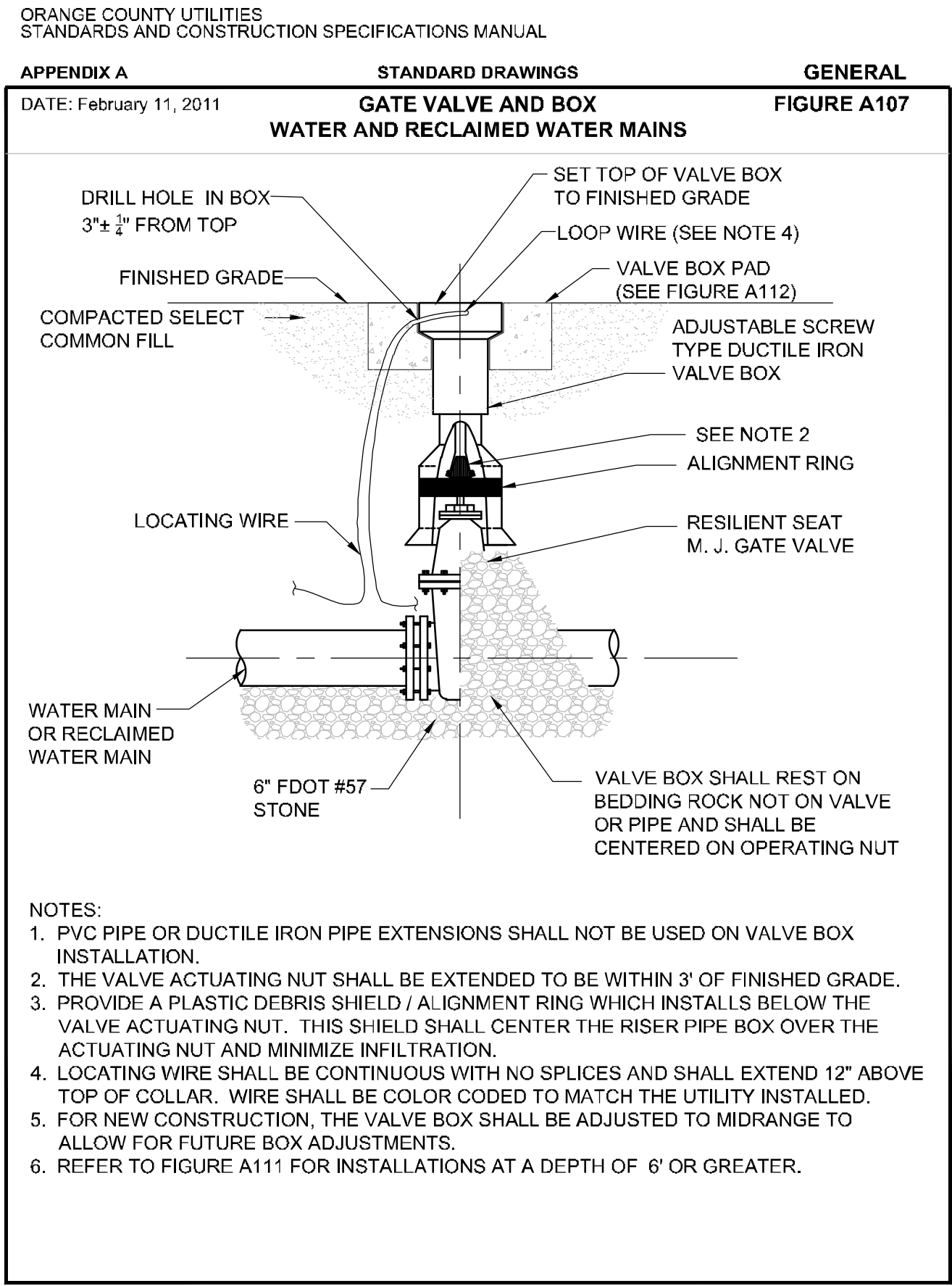
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LICENSED PROFESSIONAL
 148973004
 DATE: 02/09/2023
 SCALE: AS SHOWN
 DESIGNED BY: M/G
 DRAWN BY: CML
 CHECKED BY: M/G
 DATE: _____

UTILITY DETAILS

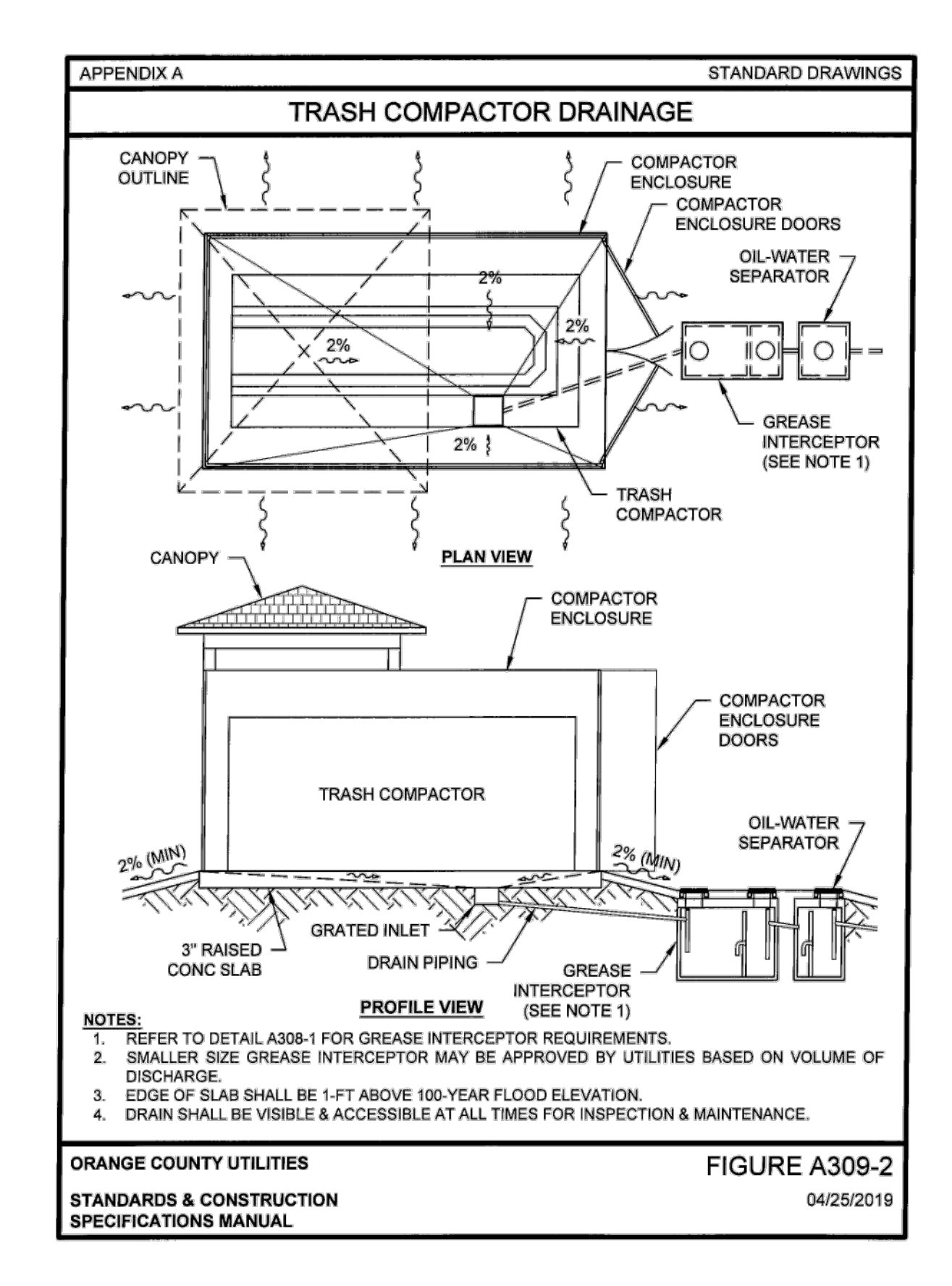
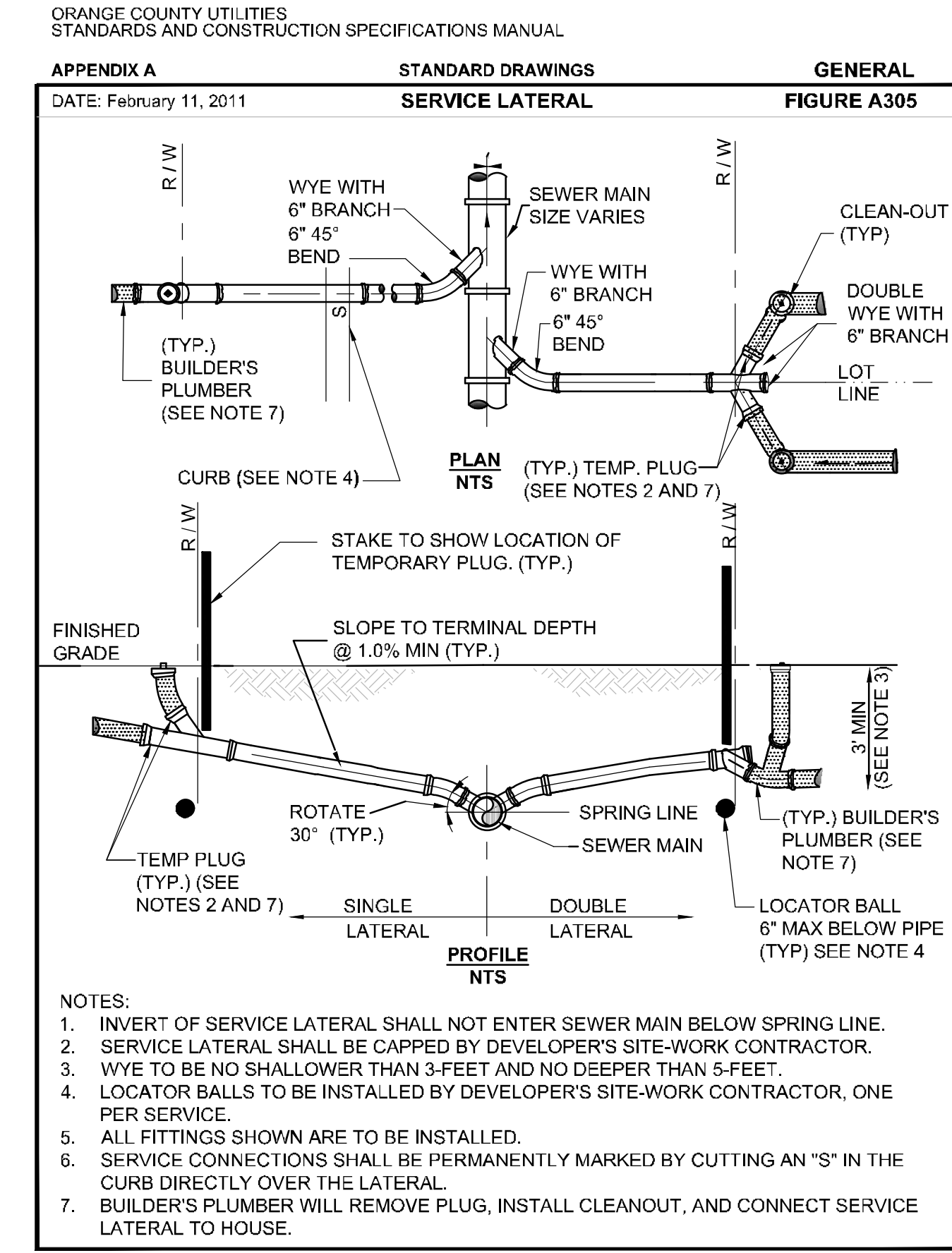
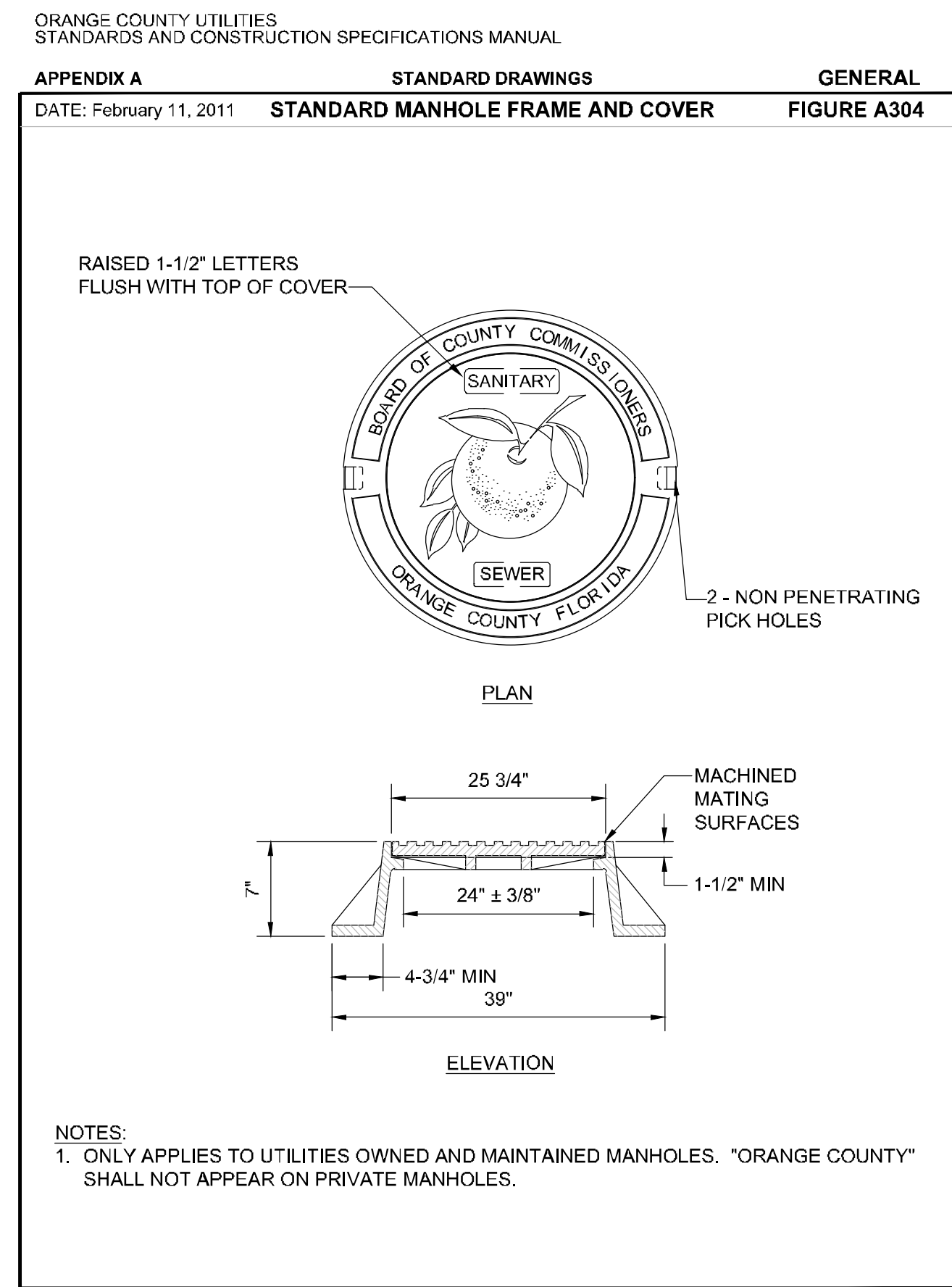
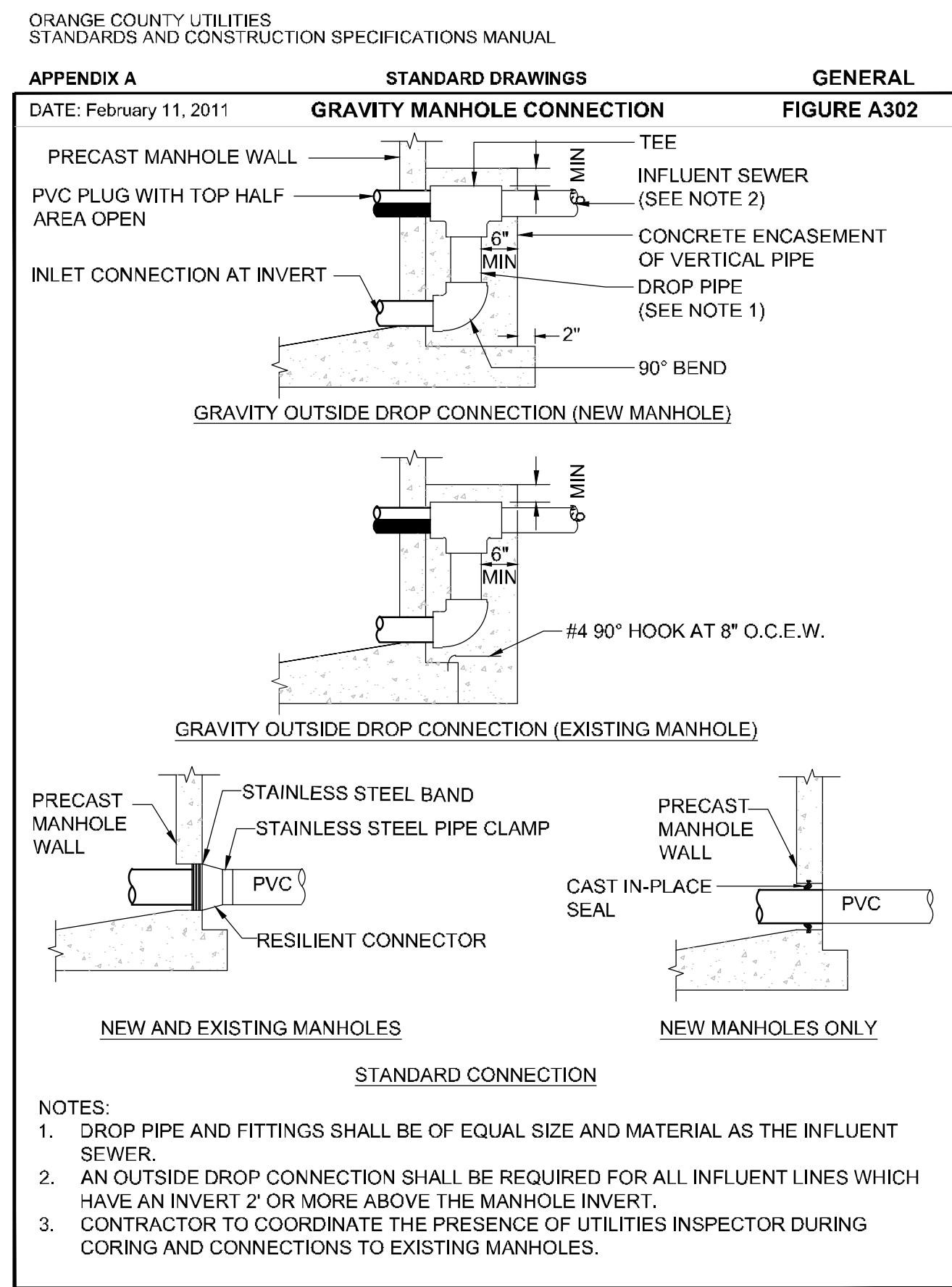
**WINDERMERE
DOWNTOWN
PROPERTY**

Plotted By: Geber, Marcus - Sheet: Windermere Downtown Property - Layout: 09.1 UTILITY DETAILS - April 10, 2023 04:36:47pm - K:\ORL_Civil\49973004-Windermere Downtown Property\CADD\CONSTR\PlanSheets\CX-UTILITY DETAILS.dwg
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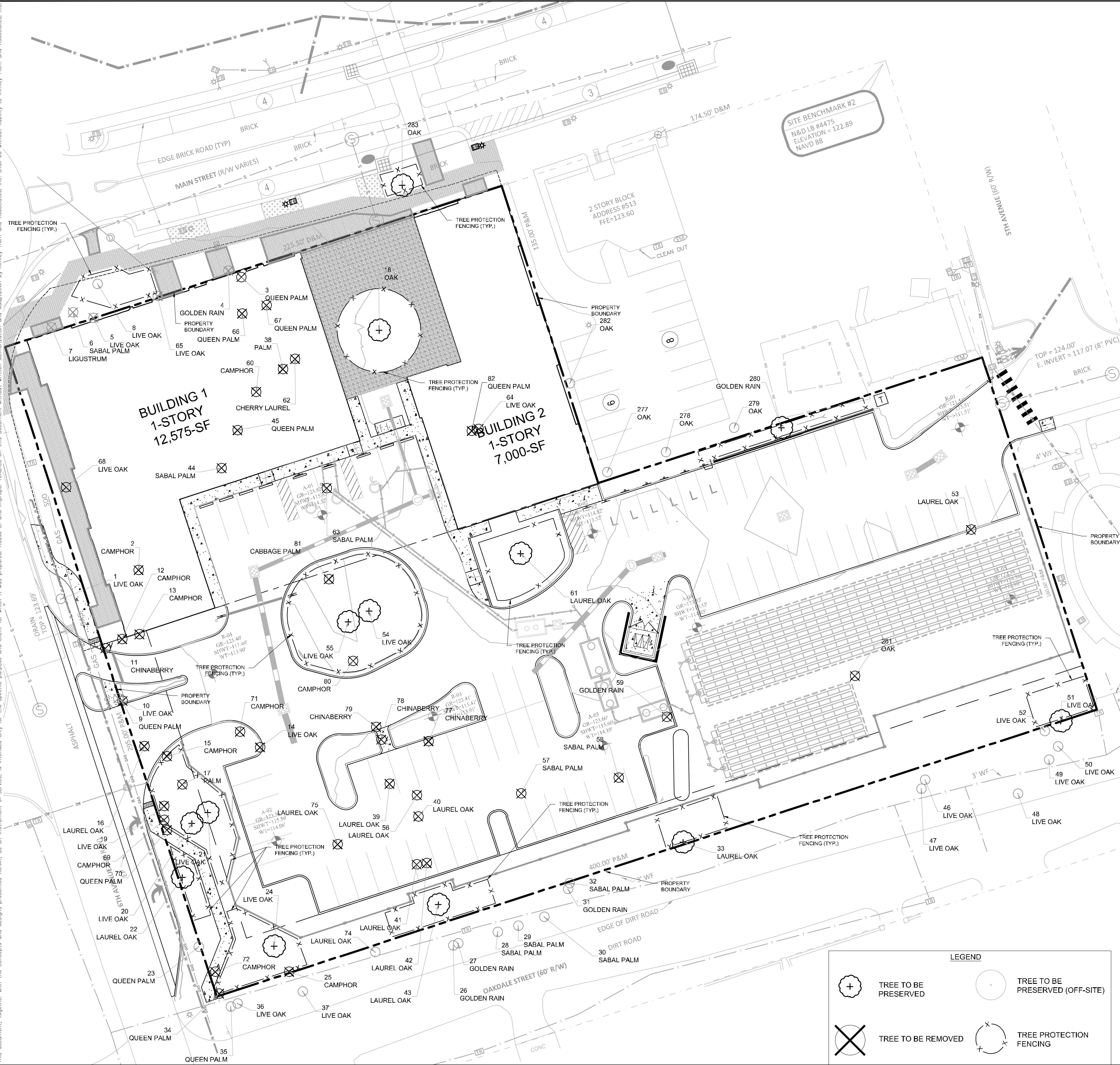
<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: small; margin: 0;"> © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM REGISTRY No. 35106 </p>	<h2 style="margin: 0;">UTILITY DETAILS</h2>						
KHA PROJECT 149973004 DATE 02/09/2023 SCALE AS SHOWN DESIGNED BY M/G DRAWN BY CML CHECKED BY M/G	LICENSED PROFESSIONAL MARCUS I. GEIBER, P.E. FL LICENSE NUMBER 89199						
<h1 style="margin: 0;">WINDERMERE DOWNTOWN PROPERTY</h1>	TOWN OF WINDERMERE						
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No.	DATE	BY					

Plotted By: Geller, Marcus - Sheet Set: Windermere Downtown Property - Layout: 09.3 UTILITY DETAILS - April 10, 2023 - 04:36:57pm - K:\DRG_Civil\148973004-Windermere Downtown Property\CADD\CONSTR\PlanSheets\CX UTILITY DETAILS.dwg
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		LICENSED PROFESSIONAL MARCUS I. GEIGER, P.E. FL LICENSE NUMBER 89199
WINDERMERE DOWNTOWN PROPERTY	UTILITY DETAILS	TOWN OF WINDERMERE FL
SHEET NUMBER C9.3	PROJECT NO. 148973004	DATE 02/09/2023
DESIGNED BY M/G	DRAWN BY CML	CHECKED BY M/G
SCALE AS SHOWN		DATE 02/09/2023
KHA PROJECT 148973004		REVISIONS No. _____ DATE _____

Plotted By: Ceiler, Marcus. Sheet: Sct: Windermere Downtown Property. Layout: L0.50 TREE MITIGATION PLAN. April 10, 2023 04:37:30pm. K:\ORL\OVL\49973004-Windermere Downtown Property\CADD\CONSTR\PlanSheets\L0.50 - TREE MITIGATION PLAN.dwg
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811
 IT'S THE LAW!
 DIAL 811
 Know what's below.
 Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

WINDERMERE DOWNTOWN TREE MITIGATION CHART					
Tree Number	Species	DBH	Status	Reason	Location
1	LIVE OAK	15	PRESERVE	-	OFF-SITE
2	CAMPHOR	30	REMOVE	PROP. BUILDING	ONSITE
3	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
4	GOLDEN RAIN	23	PRESERVE	-	OFF-SITE
5	LIVE OAK	29	REMOVE	PROP. BUILDING	OFF-SITE
6	SABAL PALM	19	PRESERVE	-	OFF-SITE
7	LIGUSTRUM	11	REMOVE	PROP. BUILDING	OFF-SITE
8	LIVE OAK	25	PRESERVE	-	OFF-SITE
9	QUEEN PALM	8	REMOVE	INGRESS/EGRESS	ONSITE
10	LIVE OAK	9	REMOVE	INGRESS/EGRESS	OFF-SITE
11	CHINABERRY	20	REMOVE	INVASIVE	ONSITE
12	CAMPHOR	16	REMOVE	INVASIVE	ONSITE
13	CAMPHOR	10	REMOVE	INVASIVE	ONSITE
14	LIVE OAK	37	REMOVE	PROPOSED PARKING	ONSITE
15	CAMPHOR	36	REMOVE	INVASIVE	ONSITE
16	LAUREL OAK	31	REMOVE	INGRESS/EGRESS	ONSITE
17	PALM	10	REMOVE	PROPOSED WALL	ONSITE
18	OAK	38	PRESERVE	-	ONSITE
19	LIVE OAK	28	REMOVE	PROP. SIDEWALK	ONSITE
20	LIVE OAK	29	REMOVE	PROPOSED WALL	ONSITE
21	LIVE OAK	21	REMOVE	PROPOSED WALL	ONSITE
22	LAUREL OAK	23	PRESERVE	-	ONSITE
23	QUEEN PALM	8	PRESERVE	-	OFF-SITE
24	LIVE OAK	34	PRESERVE	-	ONSITE
25	CAMPHOR	28	REMOVE	INVASIVE	ONSITE
26	GOLDEN RAIN	10	PRESERVE	INVASIVE	OFF-SITE
27	GOLDEN RAIN	12	PRESERVE	INVASIVE	OFF-SITE
28	SABAL PALM	15	PRESERVE	-	OFF-SITE
29	SABAL PALM	17	PRESERVE	-	OFF-SITE
30	SABAL PALM	18	PRESERVE	-	OFF-SITE
31	GOLDEN RAIN	11	PRESERVE	INVASIVE	OFF-SITE
32	SABAL PALM	17	PRESERVE	-	OFF-SITE
33	OAK	36	PRESERVE	-	ONSITE
34	QUEEN PALM	10	REMOVE	PROP. SIDEWALK	ONSITE
35	QUEEN PALM	9	PRESERVE	-	OFF-SITE
36	LIVE OAK	25	PRESERVE	-	OFF-SITE
37	LIVE OAK	29	PRESERVE	-	OFF-SITE
38	PALM	10	REMOVE	PROP. BUILDING	ONSITE
39	LAUREL OAK	39	REMOVE	PROPOSED PARKING	ONSITE
40	LAUREL OAK	26	REMOVE	PROPOSED PARKING	ONSITE
41	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE
42	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE
43	LAUREL OAK	14	REMOVE	PROPOSED WALL	ONSITE
44	SABAL PALM	21	REMOVE	PROP. BUILDING	ONSITE
45	QUEEN PALM	10	REMOVE	PROP. BUILDING	ONSITE
46	OAK	27	PRESERVE	-	OFF-SITE
47	OAK	17	PRESERVE	-	OFF-SITE
48	OAK	42	PRESERVE	-	OFF-SITE
49	OAK	42	PRESERVE	-	OFF-SITE
50	OAK	43	PRESERVE	-	OFF-SITE
51	OAK	48	PRESERVE	-	ONSITE
52	OAK	42	PRESERVE	-	OFF-SITE
53	OAK	38	REMOVE	PROPOSED PARKING	ONSITE
54	OAK	48	PRESERVE	-	ONSITE
55	OAK	48	PRESERVE	-	ONSITE
56	LAUREL OAK	24	REMOVE	PROPOSED PARKING	ONSITE
57	SABAL PALM	11	REMOVE	PROPOSED PARKING	ONSITE
58	SABAL PALM	15	REMOVE	PROPOSED TANK	ONSITE
59	GOLDEN RAIN	10	REMOVE	INVASIVE	ONSITE
60	CAMPHOR	32	REMOVE	INVASIVE	ONSITE
61	LAUREL OAK	22	PRESERVE	-	ONSITE
62	CHERRY LAUREL	14	REMOVE	PROP. BUILDING	ONSITE
63	SABAL PALM	18	REMOVE	PROPOSED PARKING	ONSITE
64	OAK	48	REMOVE	PROP. BUILDING	ONSITE
65	OAK	48	REMOVE	PROP. BUILDING	OFF-SITE
66	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
67	QUEEN PALM	4	REMOVE	PROP. BUILDING	ONSITE
68	OAK	25	REMOVE	PROP. SIDEWALK	ONSITE
69	CAMPHOR	10	REMOVE	INVASIVE	ONSITE
70	QUEEN PALM	7	REMOVE	PROP. SIDEWALK	ONSITE
71	CAMPHOR	32	REMOVE	PROP. CURB	ONSITE
72	CAMPHOR	12	REMOVE	PROP. SIDEWALK	ONSITE
74	LAUREL OAK	17	PRESERVE	-	OFF-SITE
75	LAUREL OAK	18	REMOVE	PROPOSED PARKING	ONSITE
76	PODOCARPUS	13	PRESERVE	-	OFF-SITE
77	CHINABERRY	6	REMOVE	PROPOSED PARKING	ONSITE
78	CHINABERRY	23	REMOVE	PROPOSED PARKING	ONSITE
79	CHINABERRY	6	REMOVE	PROP. SIDEWALK	ONSITE
80	CAMPHOR	6	REMOVE	PROP. CURB	ONSITE
81	SABAL PALM	13	REMOVE	PROP. CURB	ONSITE
82	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
277	OAK	35	PRESERVE	-	OFF-SITE
278	OAK	29	PRESERVE	-	OFF-SITE
279	OAK	36	PRESERVE	-	OFF-SITE
280	GOLDEN RAIN	38	REMOVE	PROP. WALL/PARKING	ONSITE
281	OAK	29	REMOVE	PROP. SEPTIC	ONSITE
282	OAK	36	PRESERVE	-	OFF-SITE
283	OAK	18	PRESERVE	-	OFF-SITE

WINDERMERE DOWNTOWN PROPERTY

TOWN OF WINDERMERE

SHEET NUMBER L0.50

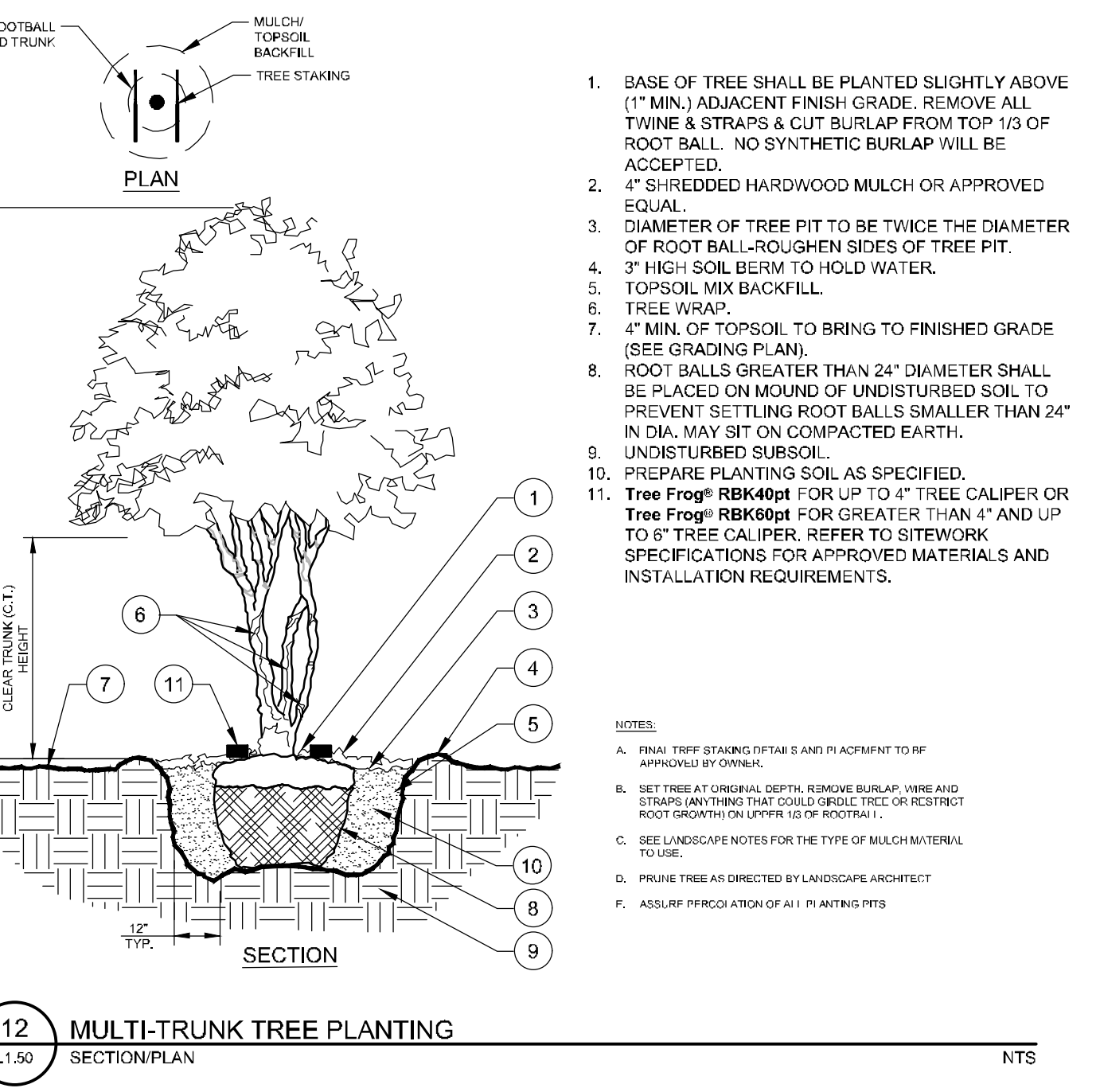
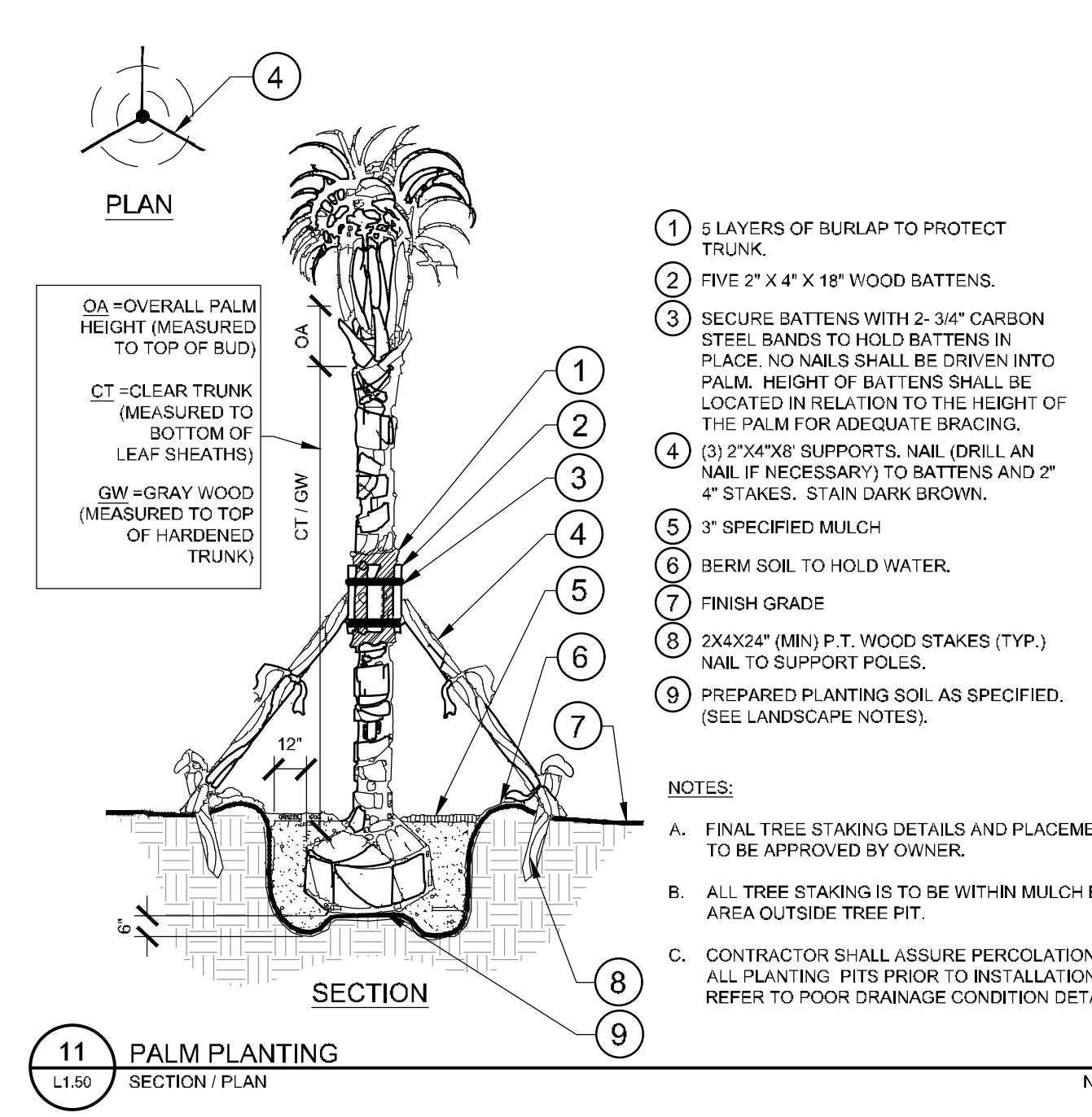
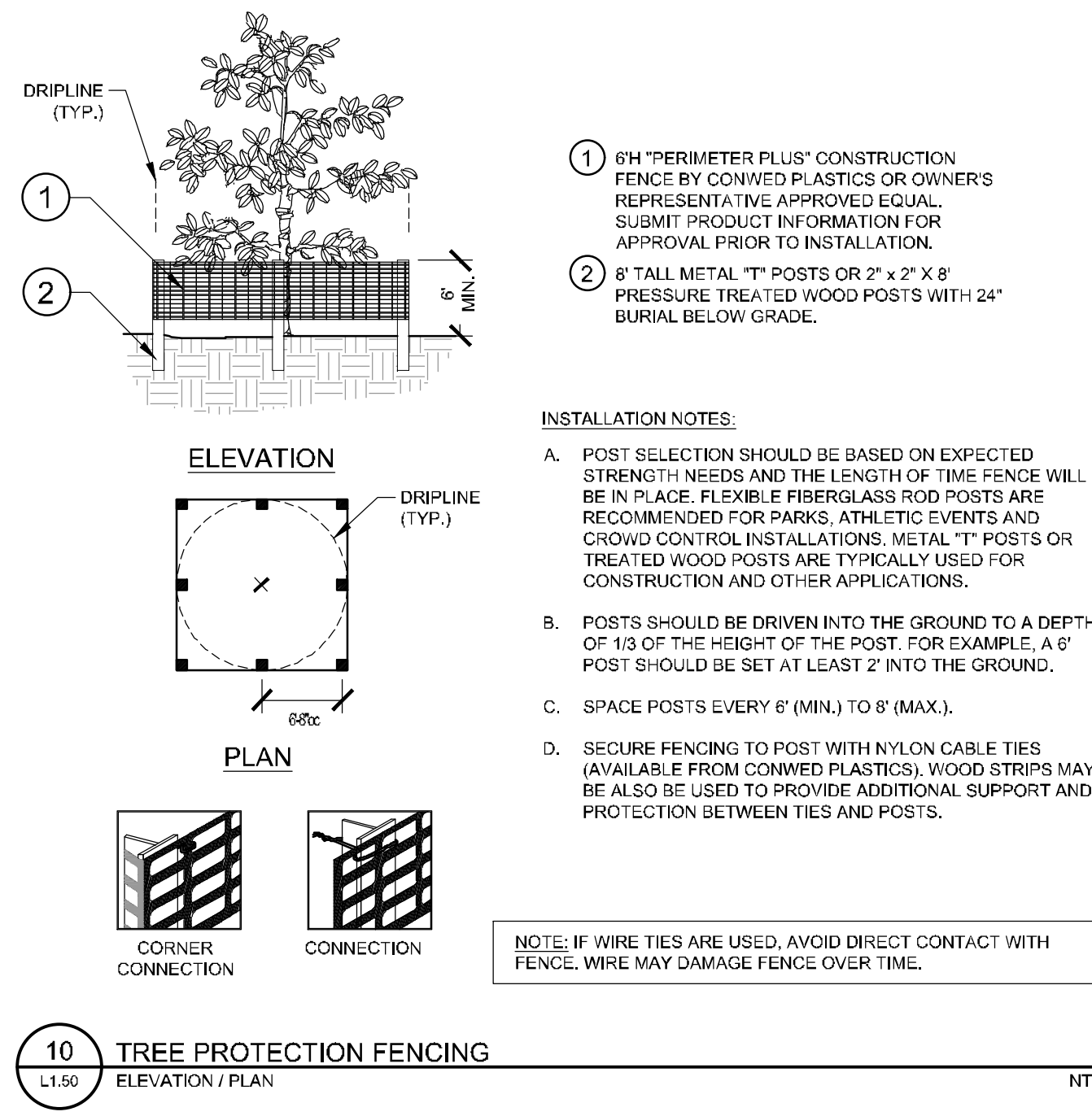
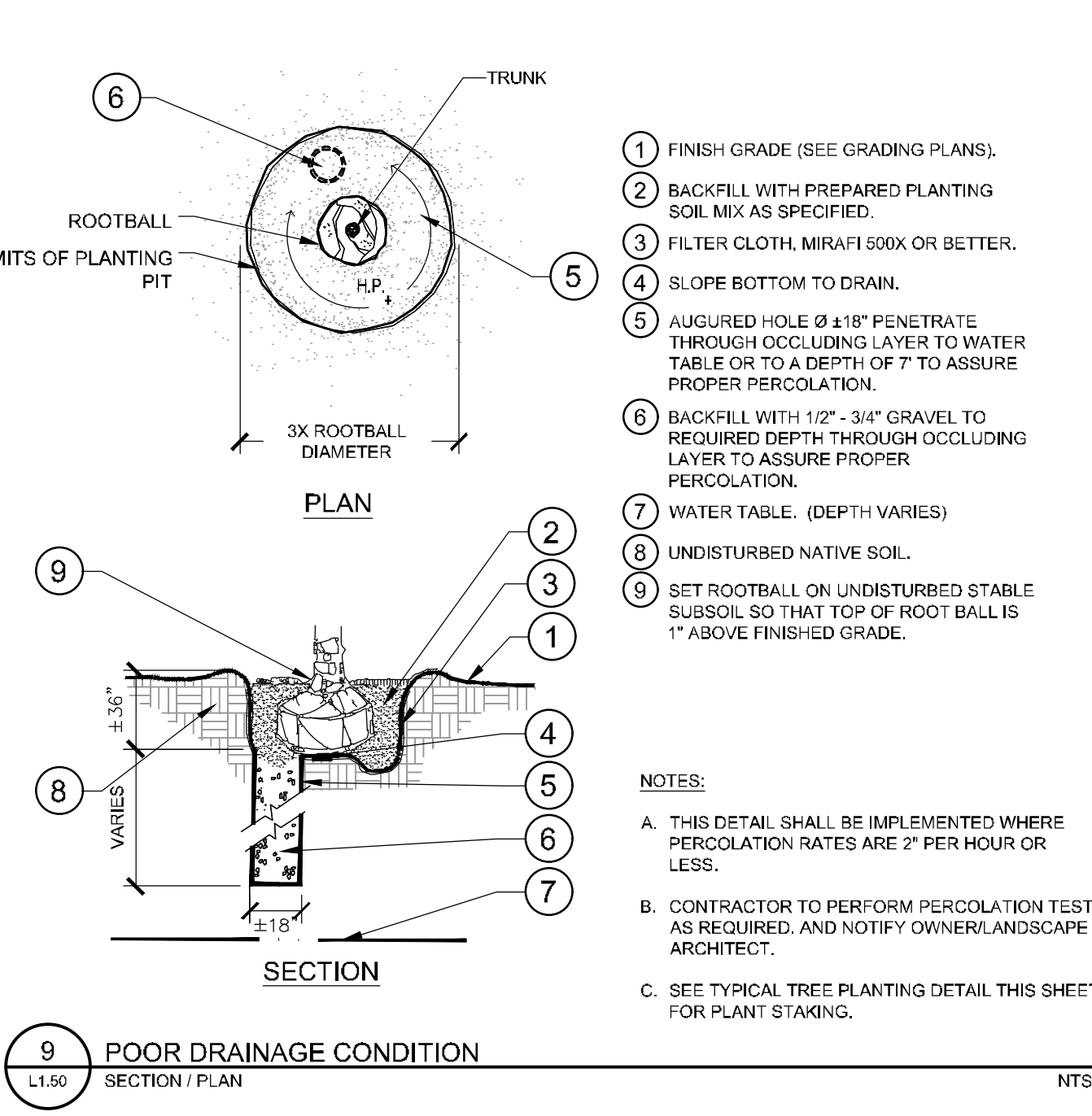
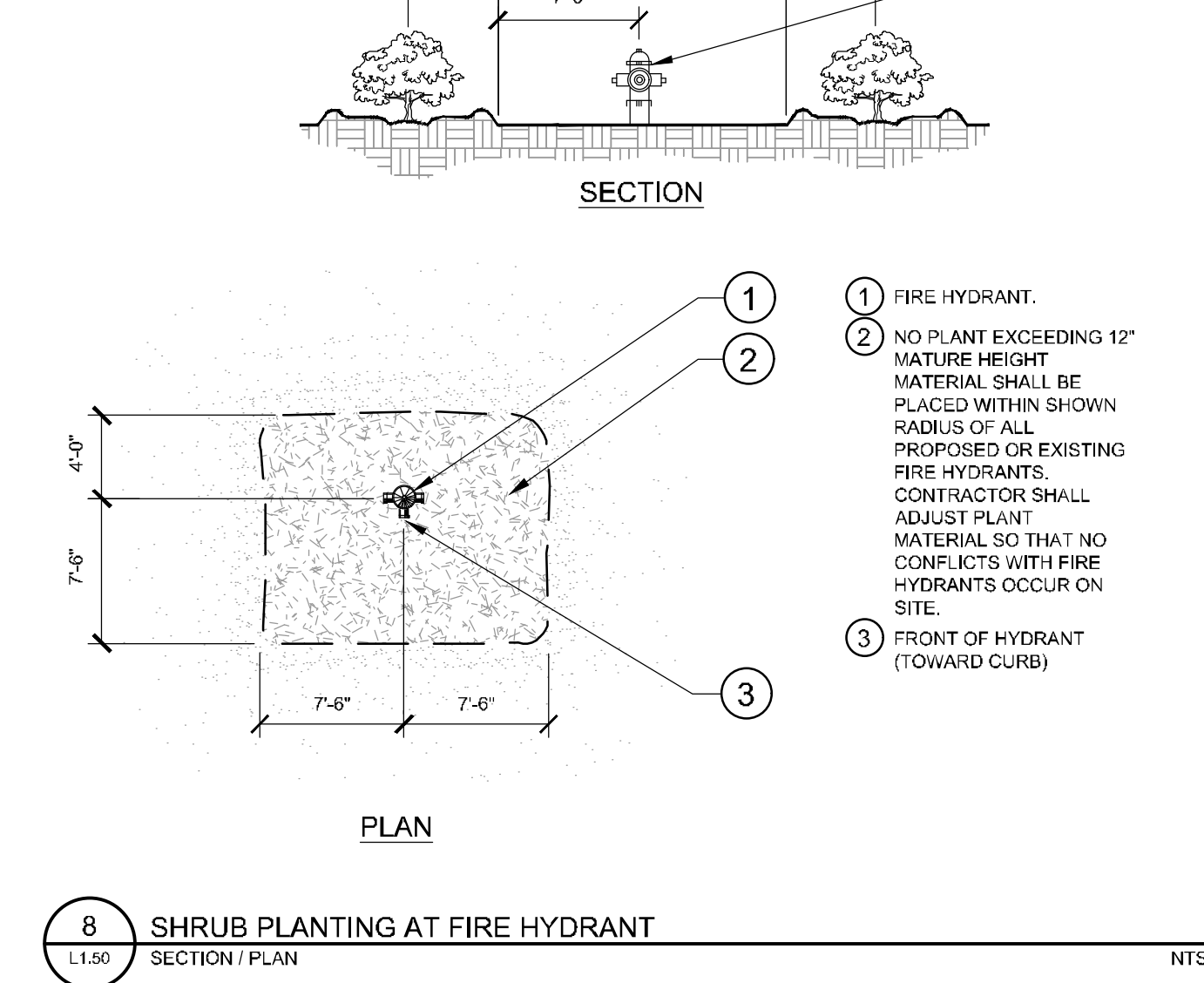
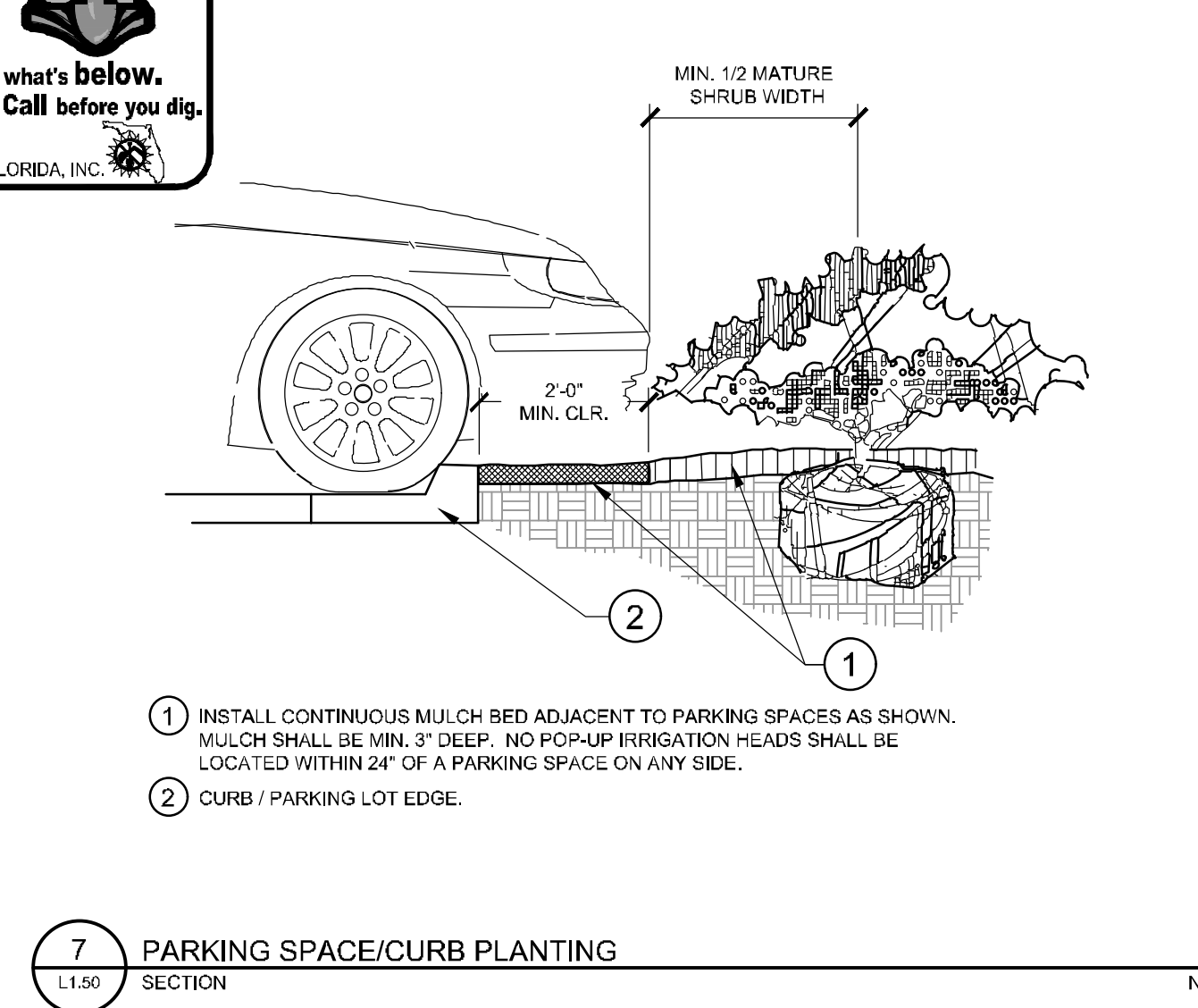
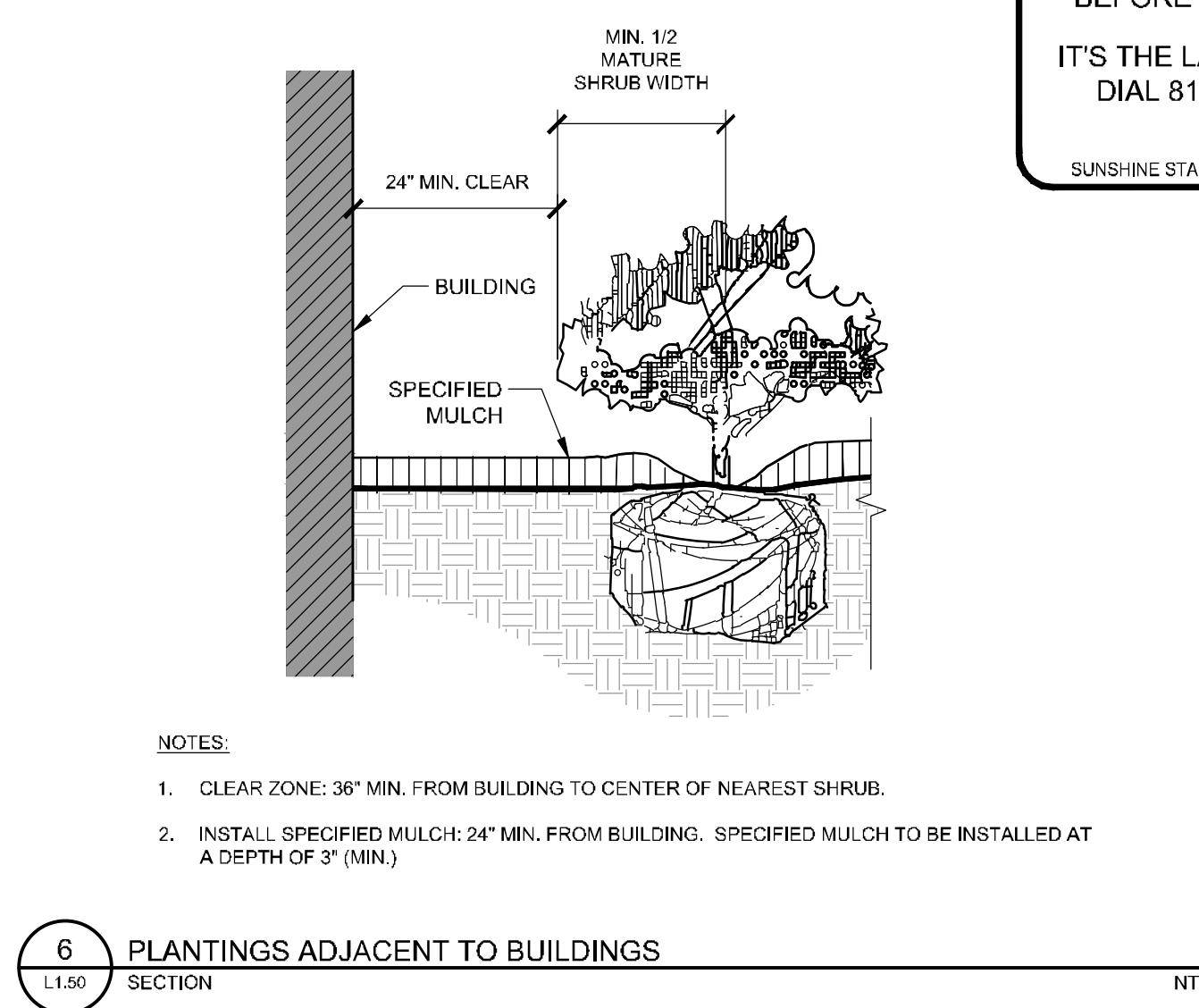
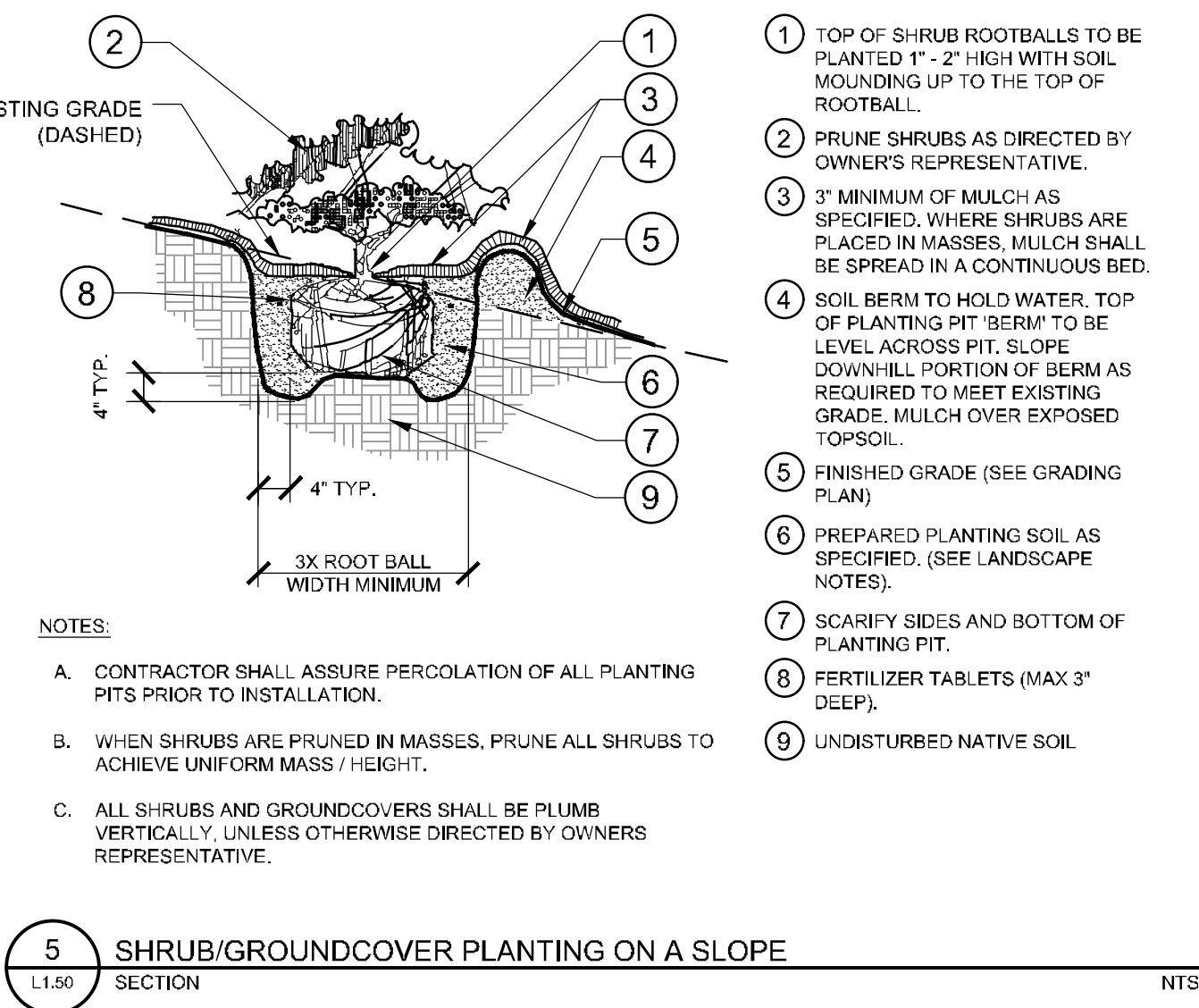
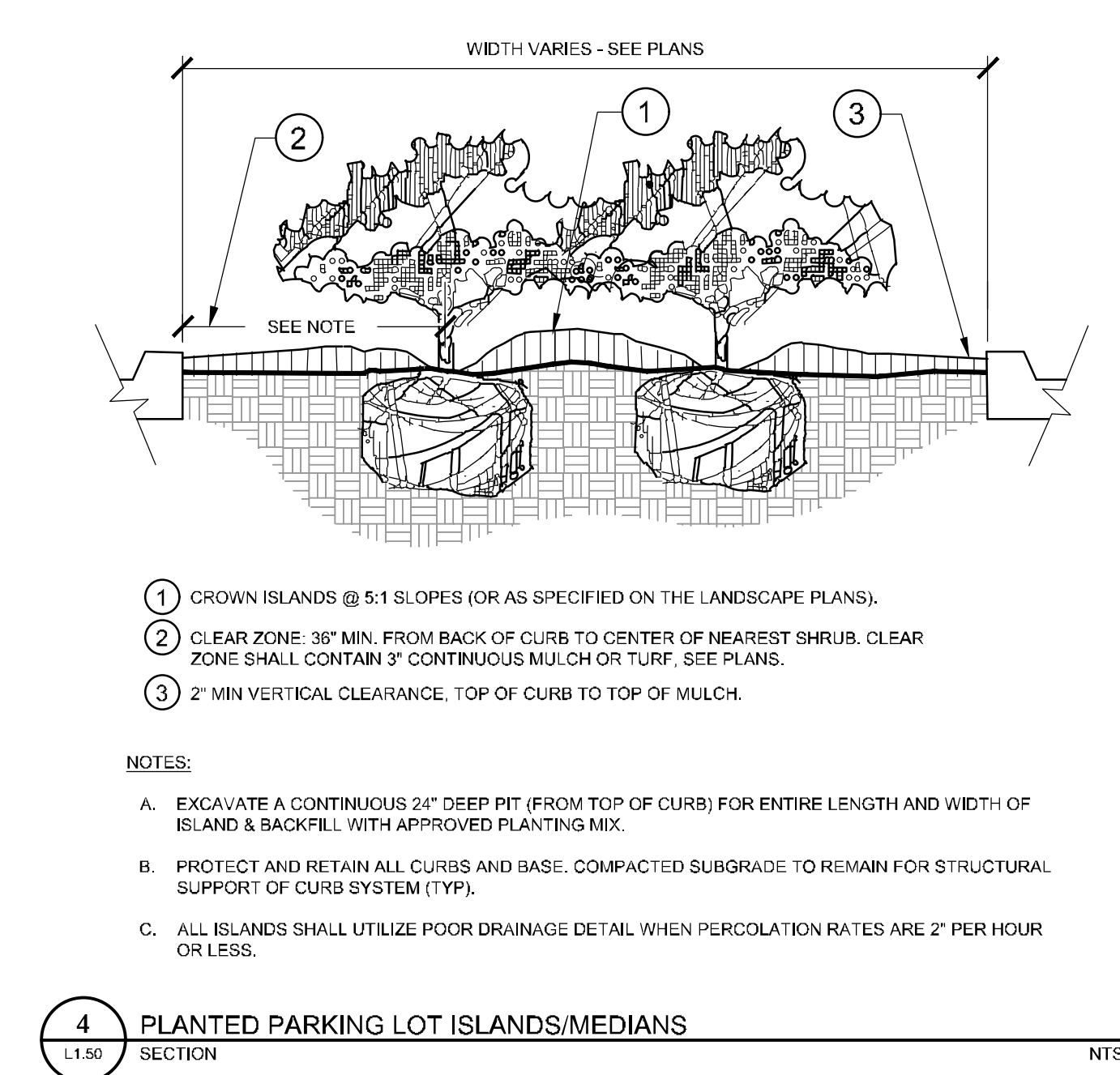
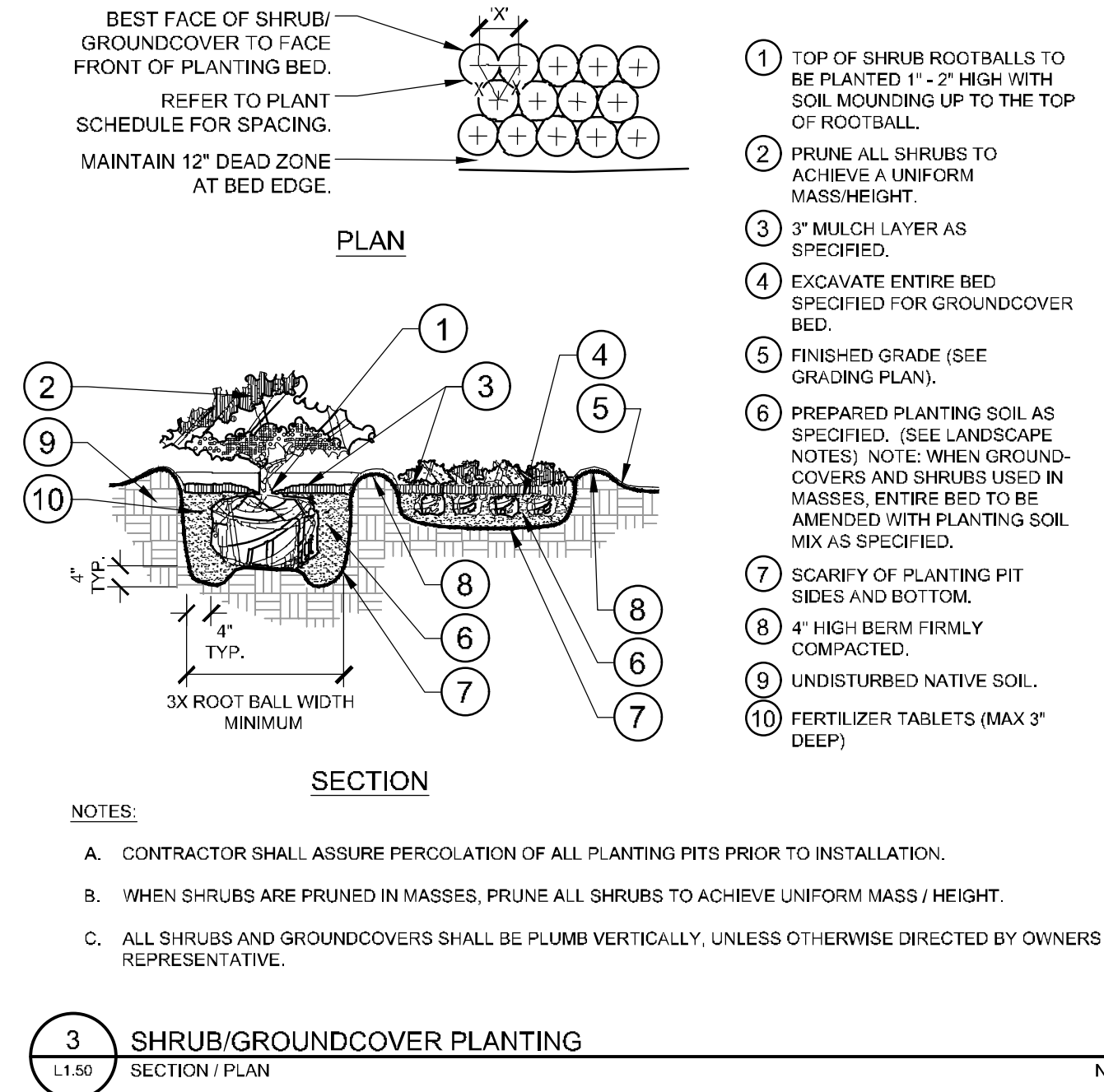
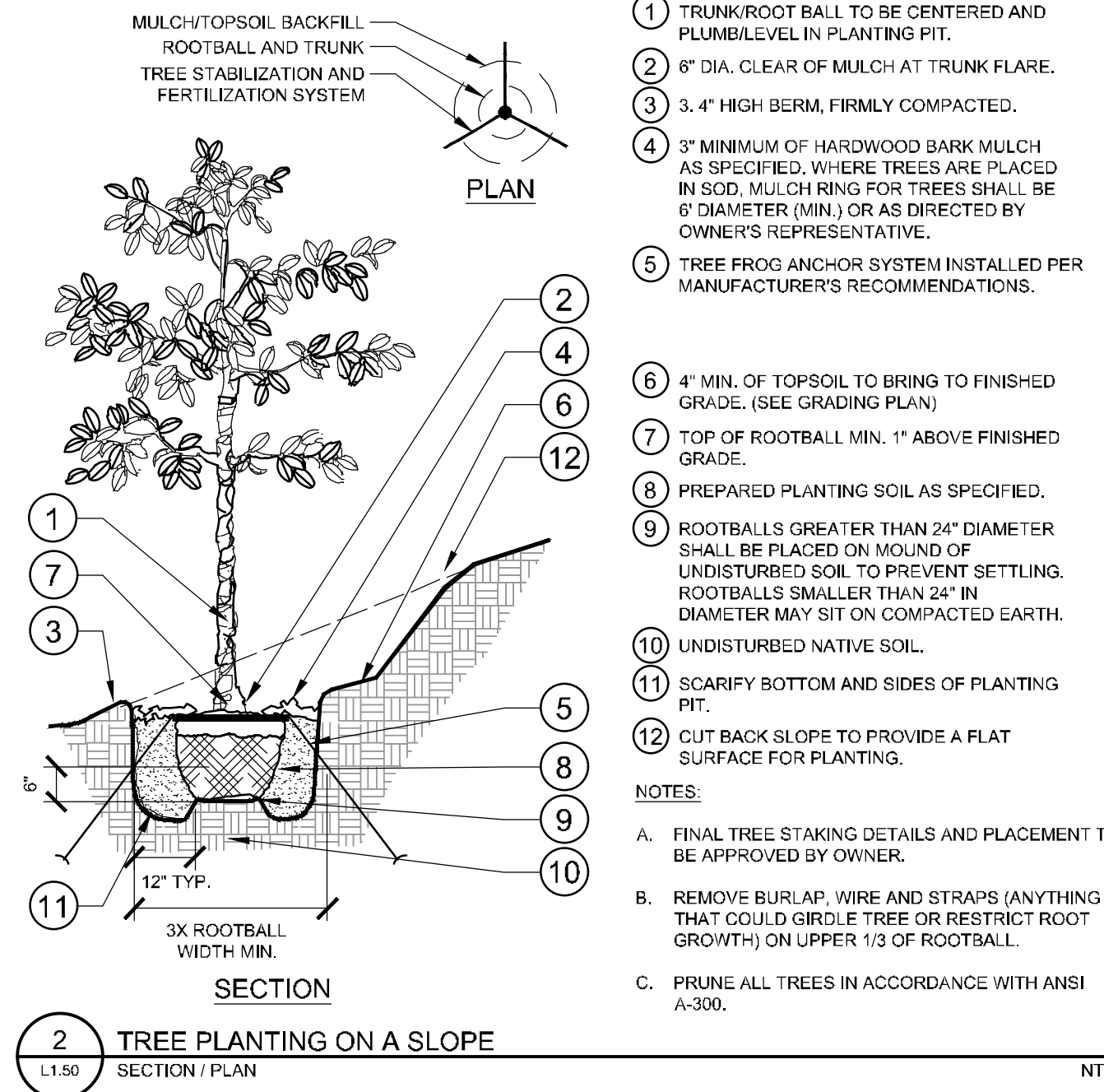
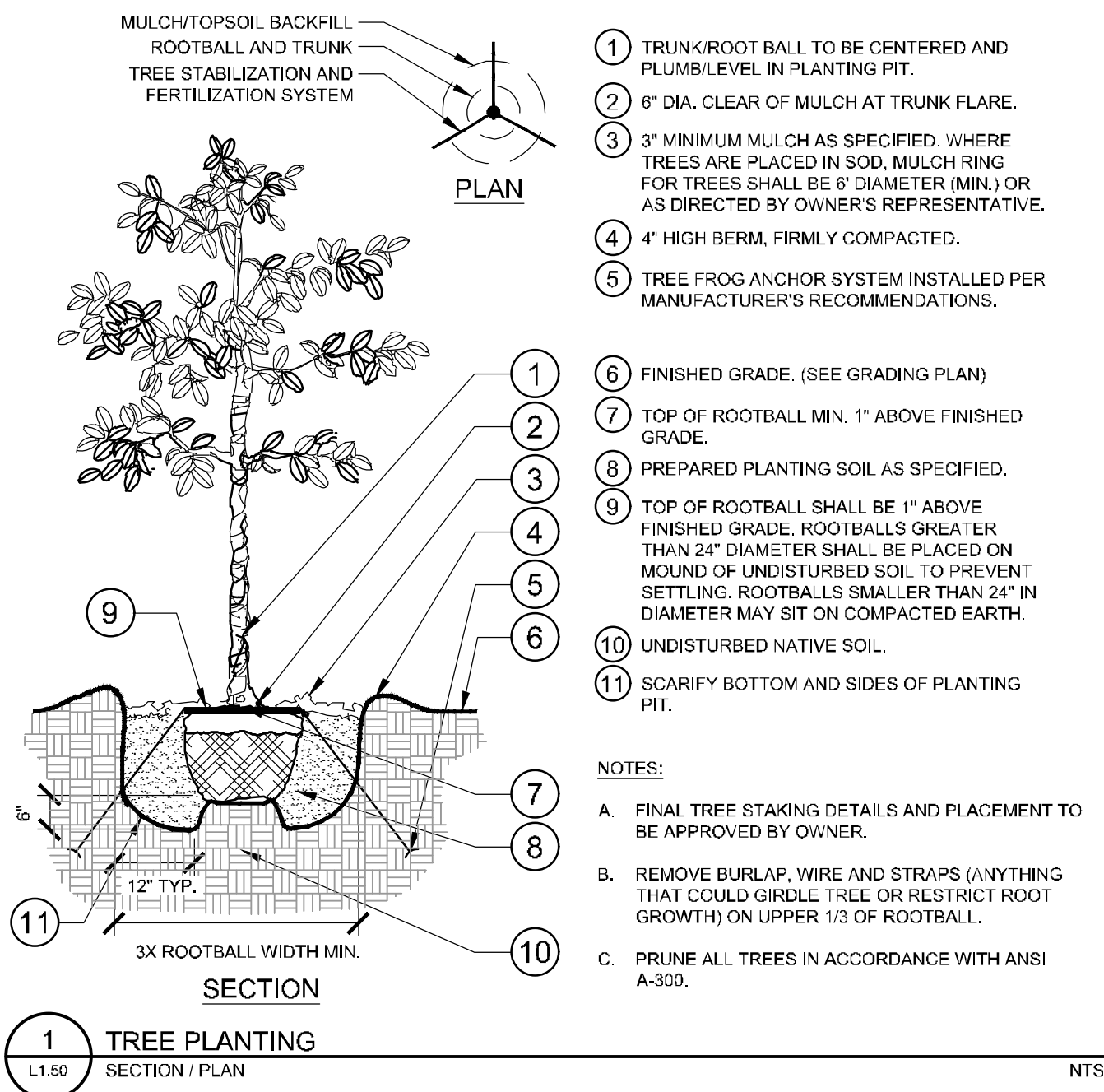
TRIE MITIGATION PLAN

Kimley-Horn

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 189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
 PHONE: 407-698-1511
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

KHA PROJECT 149973004	DATE 02/09/2023	SCALE AS SHOWN
DESIGNED BY AKP	CHECKED BY AKP	DATE:
LICENSED PROFESSIONAL REGISTRY No. 35106		

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 PHONE: 407-698-1511
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LANDSCAPE DETAILS

WINDERMERE DOWNTOWN PROPERTY

SHEET NUMBER **L1.50**

PROJECT	149973004
DATE	02/09/2023
SCALE	AS SHOWN
DESIGNED BY	AKP
DRAWN BY	AKP
CHECKED BY	AKP

REVISIONS: _____ DATE: _____

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HEREIN.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.

3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FOOT DESIGN STANDARDS, INDEX 600, IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED. THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN 10 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. WHEN A DIRECT APPLICATION OF FOOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A FLORIDA PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY FDOT FOR APPROVAL BY THE COUNTY ENGINEER'S REPRESENTATIVE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE TRAILER, AND SPRINKLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRAINAGE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

Table with 2 columns: MATERIAL, SAMPLE SIZE. Rows include MULCH, TOPSOIL MIX, and PLANTS.

2. PLANT MATERIALS

a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNERS REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.

b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER, IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:

2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC WATER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.

b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). MULCH SHALL BE "FLORIMULCH", EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.

2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6" MINIMUM) PLANTED UNDER THIS CONTRACT.

I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILT-TRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED (BB&B) AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

4. RPG= "ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS, BEING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY, INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WOULD IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STOCK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

13. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BALLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A646.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL. BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

P. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE Laid UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS. A 24 INCH STONE MILLCRIP STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZER INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL GRODDED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADEING IF NECESSARY).

b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATER/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

S. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

T. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

CALL 2 WORKING DAYS BEFORE YOU DIG 811 IT'S THE LAW! DIAL 811 Know what's below. Call before you dig. SUNSHINE STATE ONE CALL OF FLORIDA, INC.

WINDERMERE DOWNTOWN PROPERTY LANDSCAPE SPECIFICATIONS SHEET NUMBER L1.51 KIMLEY-HORN & ASSOCIATES, INC. LICENSED PROFESSIONAL KHA PROJECT 149973004 DATE 02/09/2023 SCALE AS SHOWN DESIGNED BY AKP DRAWN BY AKP CHECKED BY AKP DATE: REVISIONS: NO. DATE BY

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FOOT DESIGN STANDARDS, INDEX 600, IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED. THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN 10 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION, WHEN A DIRECT APPLICATION OF FOOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A FLORIDA PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY FDOT FOR APPROVAL BY THE COUNTY ENGINEER'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE TRAILER, AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRAINAGE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISAPPEAR AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

Table with 2 columns: MATERIAL, SAMPLE SIZE. Rows include MULCH (ONE (1) CUBIC FOOT), TOPSOIL MIX (ONE (1) CUBIC FOOT), PLANTS (ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY))

2. PLANT MATERIALS

- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNERS REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER, IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC WATER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.
b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
2. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

- 1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). MULCH SHALL BE "FLORIMULCH," EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.
2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6" MINIMUM) PLANTED UNDER THIS CONTRACT.

I. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-TRUP" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED (BB&B) AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

J. CONTAINER GROWN STOCK

- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
4. RPG="ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

N. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS, BURNING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY, INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

O. PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WOULD IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STOCK" OR EQUAL IS RECOMMENDED.
8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
13. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BALLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A640.
14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN IN PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL, BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING

a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE Laid UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS. A 24 INCH STONE MILLCRIP STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZER INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

d. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL GRODDED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADE IF NECESSARY).

b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATER/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

S. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

T. WARRANTY

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

Table with 2 columns: NO., REVISIONS. Includes a grid for tracking revisions.

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HARDSCAPE DETAILS

WINDERMERE DOWNTOWN PROPERTY logo and sheet number information.