That part of Section 33, Township 24 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of said Section 33, Township 24 South, Range 27 East, Orange County, Florida; thence run

of 994.86 feet to a point on the Southerly projection of the East line of Shoppes of West 192, according to the plat thereof as recorded in Plat Book 93, Pages 127 and 128, Public Records of Orange County, Florida; thence run N00°14'00"E along said Southerly projection, a distance of 100.00 feet to a point on the North right of way line of said State Road 530 (U.S. Highway No. 192); thence continue N0014'00"E along the East line of said Shoppes of West 192 and along the East line of the lands described in

Official Records Book 5526, Page 1669, Public Records of Orange County, Florida, a distance of 1037.89 feet for the Point of Beginning; thence run S8946'00"E, a distance of 43.60 feet to a point on a non-tangent curve, concave to the East, having a radius

of 91.00 feet; thence from a radial bearing of S8327'27"E run northeasterly along the arc of said curve through a central angle of 2347'55", an arc distance of 37.80 feet, having a chord bearing of N1826'30"E and a chord distance of 37.53 feet; thence run

distance of 18.93 feet; thence run N2647'29"E, a distance of 17.99 feet; thence run S8939'32"E, a distance of 227.45 feet; thence

N1826'28"E, a distance of 59.31 feet; thence run S8936'22"E, a distance of 269.13 feet; thence run N0011'30"E along the East line of said Southeast 1/4 of Section 33, a distance of 414.43 feet; thence run N8939'32"W along the South line of lands described in Official Records Book 5526, Page 1669, a distance of 993.64 feet; thence run S0014'00"W along the aforesaid East line of the lands

177.16 feet; thence run N3754'25"E, a distance of 53.22 feet; thence run S6656'12"E, a distance of 65.35 feet; thence run

described in Official Records Book 5526, Page 1669, a distance of 530.38 feet to the Point of Beginning.

S8956'28"W along the South line of said Section 33, also being the centerline of State Road 530 (U.S. Highway No. 192), a distance

LEGAL DESCRIPTION

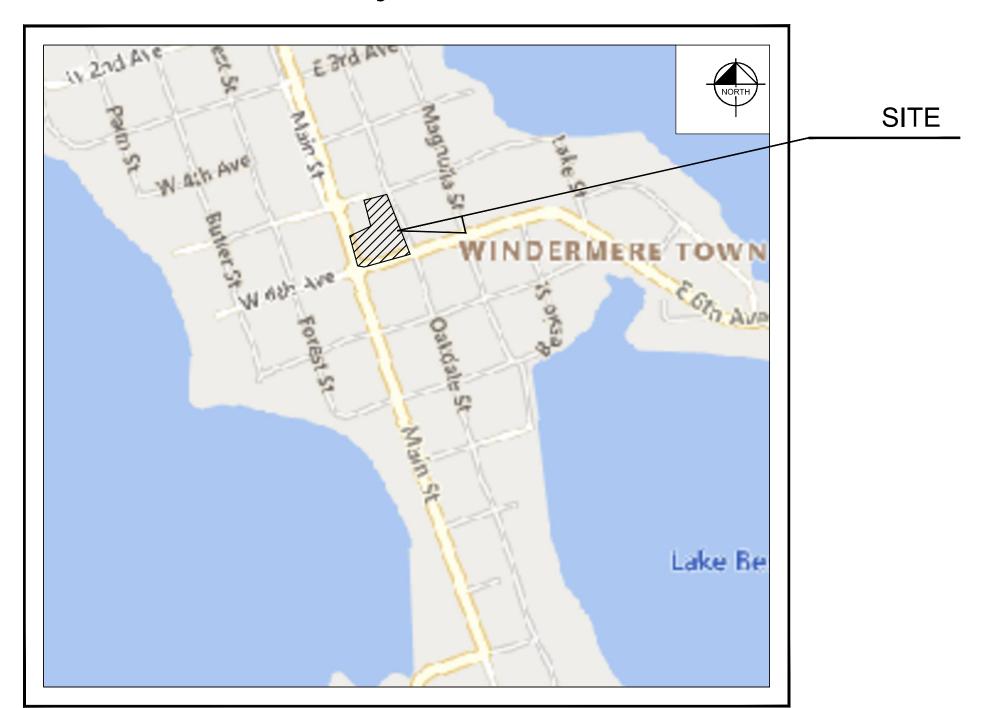
Contains 2.17 acres, more or less

# CONSTRUCTION PLANS FOR

# WINDERMERE DOWNTOWN PROPERTY

PARCEL ID #'s: 17-23-28-9336-02-430, 17-23-28-9336-02-470, 17-23-28-9336-02-490, 17-23-28-9336-02-500, 17-23-28-9336-02-510, 17-29-28-9336-02-520

# TOWN OF WINDERMERE, FL February 10, 2023



SECTION 17, TOWNSHIP 23S, RANGE 28E **LOCATION MAP** 

# OWNER/DEVELOPER WINDERMERE DOWNTOWN PROPERTY, LLC

PROJECT TEAM

496 S. HUNT CLUB BOULEVARD APOPKA, FL 32703 **CONTACT: BRETT DARGIS** PHONE: (407)848-1663 EMAIL: brett@v3capgroup.com

**ENGINEER** 

KIMLEY-HORN AND ASSOCIATES, INC. 189 S. ORANGE AVENUE, SUITE 1000 ORLANDO, FL 32801 CONTACT: JONATHAN A. MARTIN, P.E. PHONE: (407) 898-1511 EMAIL: jonathan.martin@kimley-horn.com

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 189 S. ORANGE AVENUE, SUITE 100 ORLANDO, FL 32801 CONTACT: SCOTT MINGONET, PLA, AICP PHONE: (407) 898-1511

EMAIL: scott.mingonet@kimley-horn.com SURVEYOR

ACCURIGHT SURVEYS OF ORLANDO, INC. 2012 E. ROBINSON STREET ORLANDO, FL 32803 CONTACT: PHONE: (407)894-6314 EMAIL: ACCU@ACCURIGHTSURVEYS.NET WATER: ORANGE COUNTY UTILITIES 9150 CURRY FORD ROAD ORLANDO, FL 32802 CONTACT: DAVID SHORETTE EMAIL: DAVID.SHORETTE@OCFL.NET EMAIL: KENNETTA.DOUGLAS@DUKE-ENERGY.COM PHONE: (407) 836-5515

N.T.S.

CABLE/INTERNET/ TELEPHONE: **CHARTER COMMUNICATIONS** 3767 ALL AMERICAN BLVD.

ORLANDO, FL 32810

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LAKE APOPKA NATURAL GAS DISTRICT 1320 WINTER GARDEN-VINELAND ROAD WINTER GARDEN, FL 34787 CONTACT: EVERETT HOLMES EMAIL: EHOLMES@LANGD.ORG CONTACT: TRACEY DOMOSTOY PHONE: (407) 410-7024

**UTILITY PROVIDERS** 

POWER:

**DUKE ENERGY** 

452 E CROWN POINT ROAD

CONTACT: KENNETTA DOUGLAS

WINTER GARDEN, FL 34787

PHONE: (407)905-3371

PHONE: (407) 351-8190 INTERNET:

33 N. MAIN STREET WINTER GARDEN, FL 34787 CONTACT: EV'NS CENAFILS PHONE: (407) 814-5373

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MARCUS I. GEIGER, P.E.

FL. P.E. NO. 89199

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SHEET NUMBER C0.0

- 2. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE EXISTING UTILITY INFORMATION SHOWN IS BASED ON THE TOPOGRAPHIC SURVEY PROVIDED BY PEC SURVEYING AND MAPPING, LLC. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS AREA PRIOR TO CONSTRUCTION WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OF THE SURVEY. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, WHICH WOULD APPRECIABLY AFFECT THE EXECUTION OF THESE PLANS, THE CONTRACTOR SHALL HALT CONSTRUCTION AND NOTIFY THE OWNER, ENGINEER, AND APPLICABLE GOVERNING AGENCY IMMEDIATELY.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING (HORIZONTALLY AND VERTICALLY) ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES (DURING STANDARD BUSINESS HOURS) TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, TEMPORARY DISTRIBUTION SERVICE, OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. THE CONTRACTOR SHALL COOPERATE WITH UTILITY COMPANY (DURING STANDARD BUSINESS HOURS) DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED. CONTRACTOR SHALL CALL "SUNSHINE ONE" AT 811 TO HAVE EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 4. ALL DISTURBED AREAS (ON-SITE AND/OR OFF-SITE) NOT DESIGNED OR NOTED TO BE LANDSCAPED OR SODDED, SHALL BE SODDED.
- 5. THE CONTRACTOR SHALL NOT EXCAVATE, REMOVE, OR OTHERWISE DISTURB ANY MATERIAL, STRUCTURE, OR PART OF A STRUCTURE WHICH IS LOCATED OUTSIDE THE LINES, GRADES, OR GRADING SECTIONS ESTABLISHED FOR THIS PROJECT, EXCEPT WHERE SUCH EXCAVATION OR REMOVAL IS PROVIDED FOR IN THE CONTRACT, PLANS, OR SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
- 6. ALL WORK AND MATERIALS FURNISHED SHALL BE IN CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS, AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT PLANS OR SPECIFICATIONS.
- 7. ALL SPECIFICATIONS AND DOCUMENTS REFERENCED HEREIN SHALL BE OF THE LATEST REVISION, AS APPLICABLE AT THE TIME ALL PERMITS HAVE BEEN OBTAINED.
- 8. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- 9. THE GRAPHIC INFORMATION DEPICTED ON THESE PLANS HAS BEEN COMPILED TO PROPORTION BY SCALE AS ACCURATELY AS POSSIBLE. HOWEVER, DUE TO REPRODUCTIVE DISTORTION, REDUCTION, AND/OR REVISIONS, INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE SCALED FOR CONSTRUCTION PURPOSES.
- 10. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR REVIEW PRIOR TO ORDERING AND/OR INSTALLATION. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 11. CONTRACTOR TO COORDINATE WITH THE APPLICABLE ELECTRIC UTILITY SUPPLIER REGARDING ANY NECESSARY RELOCATION(S) OF UNDERGROUND AND/OR OVERHEAD ELECTRIC FACILITIES, AND FOR THE LOCATION AND INSTALLATION OF TRANSFORMER PAD(S) AND ASSOCIATED ELECTRIC FACILITIES.
- 12. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION.
- 13. THE CONTRACTOR SHALL COMPLY WITH THE LEGAL LOAD RESTRICTIONS IN HAULING OF MATERIALS IN PUBLIC ROADS BEYOND THE LIMITS OF WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR THE DAMAGE WHICH MAY RESULT FROM THE MOVING OF MATERIAL AND EQUIPMENT.
- 14. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A LICENSED LAND SURVEYOR CURRENTLY REGISTERED IN THE STATE OF FLORIDA.
- 15. CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- 16. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE THE LATEST EDITION OF F.D.O.T. "DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM" (ED. 2014) FOR DETAILS AND SPECIFICATIONS OF ALL CURB AND GUTTERS CALLED FOR IN THESE PLANS WITHIN PUBLIC RIGHTS OF
- 17. WHERE ASPHALT PAVING MEETS CONCRETE PAVING SUCH AS AT CONCRETE CURBING, THE ASPHALT SHOULD BE FINISHED 1/2" TO 1/2" ABOVE THE CONCRETE SURFACE TO ALLOW FOR FURTHER TRAFFIC COMPACTION OF THE ASPHALT.
- 18. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE SOIL AND/OR PAVEMENT TESTING WITH THE GEOTECHNICAL ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE GEOTECHNICAL SOILS REPORT. UPON COMPLETION OF WORK, THE GEOTECHNICAL ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- 19. CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- 20. SITEWORK SHALL COMPLY WITH 2012 FLORIDA BUILDING CODE AND FLORIDA ACCESSIBILITY CODE.
- 21. ANY EXISTING WELLS (I.E. ARTESIAN, IRRIGATION, DRINKING, ETC.) DISCOVERED ON—SITE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL APPLICABLE JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED. ANY WELL DISCOVERED DURING EARTHWORK OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES, OWNER, AND OWNER'S ENGINEER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.

# SAFETY

- 1. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- 2. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL PROVIDE FOR THE SAFETY AND CONTROL OF LOCAL TRAFFIC DURING CONSTRUCTION. ADDITIONAL INFORMATION MAY BE REQUIRED IF LANE CLOSURE DURATIONS ARE LONGER THAN DAYTIME OPERATIONS.

# TREES AND VEGETATION

- 1. THE CONTRACTOR IS TO MINIMIZE THE REMOVAL OF VEGETATION TO THE GREATEST EXTENT PRACTICAL. NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT OWNER'S APPROVAL. TREES IN CLOSE PROXIMITY TO CONSTRUCTION SHALL BE PROTECTED BY ORANGE FENCING.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE BUFFERS AND RETENTION AND DETENTION FACILITIES UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER. ALL DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- 3. REFER TO TREE MITIGATION PLANS AND BIOTECH ENVIRONMENTAL ASSESSMENT FOR DETAILS REGARDING TREE REMOVAL AND TREE PRESERVATION.

- 1. A GEOTECHNICAL ENGINEERING INVESTIGATION REPORT HAS BEEN PREPARED, OF WHICH COPIES ARE AVAILABLE THROUGH THE OWNER OR THEIR SOIL TESTING COMPANY. A GEOTECHNICAL ENGINEER SHALL BE RETAINED BY THE CONTRACTOR TO PROVIDE ON—SITE INSPECTIONS DURING EXCAVATION/FILL OPERATIONS AND TESTING OF THE COMPACTED FILL (SITE WORK, PONDS, FRONTAGE ROAD, EVERGREEN WOODS TRAIL) SO THAT PROPER DOCUMENTATION OF THE REQUIRED COMPACTING CRITERIA CAN BE PROVIDED.
- 2. CONTRACTOR TO FOLLOW THE GUIDANCE OF THE REFERENCED GEOTECHNICAL ENGINEERING INVESTIGATION REPORT OR INDICATE WHETHER ON—SITE GEOTECHNICAL ENGINEER SHALL DETERMINE DEPTH OF DEMUCKING AND/OR REMOVAL OF UNSUITABLE FILL.
- 3. ALL EXISTING DEBRIS (ABOVE OR BELOW GROUND), CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS IN A LEGAL MANNER.
- 4. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES. FINAL GRADES SHOWN INCLUDE SOD HEIGHT. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.
- 5. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER OR THEIR SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- 7. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO
- 8. THE CONTRACTOR SHALL INSURE THAT PROPER SOIL DENSITIES ARE ACHIEVED FOR PLACEMENT OF ALL HEADWALL/ENDWALL FOOTINGS, RETAINING WALL FOOTINGS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT SOILS TESTING HAS BEEN PERFORMED PRIOR TO FINAL INSTALLATION OF IMPROVEMENTS.
- 9. ANY UNSUITABLE ORGANIC SOIL SHALL BE EXCAVATED TO A MINIMUM MARGIN OF 6 FEET BEYOND ITS PERIPHERY EXCAVATED TO EXPOSE THE UNDERLYING NON-ORGANIC FINE SAND.
- 10. IF DETERMINED NECESSARY, DEWATERING DURING EXCAVATING/BACKFILLING OPERATIONS MAY BE ACCOMPLISHED BY DITCHING AND THE USE OF SUMP PUMPS AND/OR OTHER METHODS (WELL POINTS), AS NECESSARY. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR DEWATERING ACTIVITIES THAT MAY BE REQUIRED.
- 11. UPON APPROVAL OF THE GEOTECHNICAL ENGINEER, THE EXCAVATED AREAS MAY BE BACKFILLED WITH CLEAN FINE SAND FREE OF UNSUITABLE OR DELETERIOUS MATERIAL. HOWEVER, THE FILL SHOULD NOT BE PLACED IN MORE THAN 6 INCHES OF STANDING WATER. ONCE THE FILL IS AT LEAST 2 FEET ABOVE THE DEWATERED LEVEL, BACKFILLING MAY PROCEED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 12. SEDIMENT CONTROL MEASURES SHOULD BE EMPLOYED DURING THE CONSTRUCTION PROCESS TO KEEP THE POND FROM RECEIVING SIGNIFICANT AMOUNTS OF STORMWATER RUNOFF FROM THE SURROUNDING CONSTRUCTION SITE. THIS RUNOFF IS LIKELY TO CONTAIN SUSPENDED FINE—GRAINED SOIL PARTICLES THAT CAN IMPEDE THE INFILTRATION CAPACITY OF THE PONDS IF ALLOWED TO SETTLE OUT ON THE POND BOTTOMS. IF DEWATERING EFFLUENT OR STORMWATER RUNOFF FROM THE ACTIVE CONSTRUCTION SITE IS DISCHARGED TO THE POND, CONTRACTOR SHALL SCRAPE AND REMOVE FINE—GRAINED SEDIMENTS THAT HAVE ACCUMULATED ON THE POND BOTTOM, AND REPLACE WITH SUITABLE SOIL TO THE PLAN SPECIFIED GRADE ELEVATIONS. REQUIRED DEPTH OF SCRAPE AND REMOVAL SHALL BE DETERMINED BY GEOTECHNICAL ENGINEER.

# DEWATERING NOTES

- 1. DURING THE EXCAVATION OF THE STORMWATER FACILITIES, AND IF GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONSTRUCT A SEDIMENT BASIN TO PROVIDE A DISCHARGE POINT FOR DEWATERING. THE SEDIMENT BASIN CAN BE CELL IN THE PROPOSED EXCAVATION AREA OF A POND OR IT CAN BE A BERMED AREA ABOVE GROUND. ALL DEWATERING MUST BE HELD IN THE SEDIMENT AREA UNTIL THE WATER IS CLEAN SUCH THAT THERE WOULD BE NO TURBID DISCHARGE. AFTER THE WATER IN THE SEDIMENT BASIN IS CLEAN, THE WATER MAY BE RELEASED INTO THE ON-SITE POND PROVIDED THERE IS NO ADVERSE IMPACT TO THE EXISTING WATER QUALITY.
- 2. UNDER NO CIRCUMSTANCES WILL THE DISCHARGE FROM THE ON-SITE DEWATERING BE DIRECTLY DISCHARGED OFFSITE.
- 3. IF CONTRACTOR ENCOUNTERS SILTY/CLAY SAND, WHICH CAUSES THE WATER TO BECOME TURBID, HE/SHE SHALL TREAT THE SEDIMENT BASIN WITH CHEMICAL ADDITIVE SUCH AS ALLUM IN ORDER TO PROMOTE THE COAGULATION OF THE PARTICLES WHICH ALLOW THE TO SETTLE AND THE WATER TO BECOME LESS TURBID. IF TURBID WATER ENCOUNTERED DURING EXCAVATION OF THE PONDS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO DETERMINE THE COURSE OF ACTION THAT IS APPROPRIATE TO ELIMINATE THE TURBIDITY AND ALLOW DISCHARGE THAT MEETS WATER QUALITY STANDARDS.
- THE CONTRACTOR SHALL SEQUENCE THE EXCAVATION OF THE STORMWATER PONDS SUCH THAT A SEDIMENT BASIN WILL BE AVAILABLE AT ALL TIMES. THE SEDIMENT BASIN CAN BE RELOCATED AS NECESSARY SUBJECT TO THE WATER WITHIN THE SEDIMENT BASIN BEING NON-TURBID AND ACCEPTABLE FOR DISCHARGE OFF-SITE.

# DEMOLITION

- 1. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
- 2. EXTENT OF SITE CLEARING IS SHOWN ON DRAWINGS.
- 3. CONTRACTOR SHALL CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- 4. CONTRACTOR SHALL PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED ON PLAN "EXISTING TO REMAIN".
- 5. CONTRACTOR SHALL RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- 6. CONTRACTOR SHALL REMOVE WASTE MATERIALS AND UNSUITABLE AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.
- 7. CONTRACTOR SHALL DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES "TO BE REMOVED".
- 8. CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.

- 1. THE LATEST EDITION OF F.D.O.T. "STANDARD PLANS" (ED. 2019/2020) IS REFERRED TO FOR THE STRUCTURAL DESIGN OF DRAINAGE STRUCTURES SPECIFIED IN THESE PLANS, AS REFERENCED BY STANDARD INDEX. ALL SPECIALTY DRAINAGE STRUCTURES REQUIRE SEPARATE STRUCTURAL DESIGN, WHICH IS NOT INCLUDED IN THESE PLANS. STATION OFFSETS ARE TO THE CENTERLINE OF THE STRUCTURE TOP (I.E. DITCH BOTTOM INLET OR CURB INLET TOP), AS OPPOSED TO THE STRUCTURE BASE.
- 2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
- 3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURES, WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS. LENGTHS OF PIPE SHOWN WHICH TERMINATE WITH MITERED END OR FLARED END SECTIONS ARE MEASURED TO THE DOWNSTREAM INVERT OF THE MITERED END OR FLARED END SECTION.
- 4. ALL DRAINAGE STRUCTURE GRATES AND COVERS, EITHER EXISTING OR PROPOSED SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- 5. CONSTRUCTION OF THE STORM WATER MANAGEMENT SYSTEM MUST BE COMPLETE AND ALL DISTURBED AREAS STABILIZED IN ACCORDANCE WITH THE PERMITTED PLANS AND CONDITIONS PRIOR TO ANY OF THE FOLLOWING: ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY; INITIATION OF INTENDED USE OF THE INFRASTRUCTURE; OR TRANSFER OF RESPONSIBILITY FOR MAINTENANCE OF THE SYSTEM TO A LOCAL GOVERNMENT OR OTHER RESPONSIBLE ENTITY.
- 6. STORM WATER PIPES, STRUCTURES, MINIMUM COVER, AND INSTALLATION PROCEDURES TO BE IN ACCORDANCE WITH FDOT STANDARD PLANS AND SPECIFICATIONS (LATEST ED.) AND ORANGE COUNTY STANDARDS AND SPECIFICATIONS.
- 7. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER AS TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.
- 8. ALL DRAINAGE PIPES SHALL BE FILTER FABRIC WRAPPED PER FDOT STANDARD PLANS (ED. 2019/2020) INDEX 430-001.
- 9. THE CONTRACTOR SHALL MAINTAIN AND PROTECT THE STORMWATER COLLECTION SYSTEM (INLETS, PIPES) FROM EXCESSIVE MUD, SILT, DIRT, DEBRIS, TRASH, ETC. UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE INSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL CLEAN AND FLUSH STORM PIPES AND INLETS OF ALL EXCESSIVE SILT, DEBRIS, ETC.

# PAVING, GRADING AND DRAINAGE

1. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE GEOTECHNICAL ENGINEER OF RECORD OR THE OWNERS ENGINEERS. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS AND PER THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.

3. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS.

4. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.

5. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.

6. CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.

7. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE 2015/2016 EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS.

8. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE SOILS ENGINEER FOR APPROVAL.

9. CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (STRUCTURES, OTHER POURED)

10. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX #711-001.

11. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.

12. THE CONTRACTOR SHALL RESTORE OFF—SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION.

13. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.

14. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR AT CONTRACTORS EXPENSE.

15. FINAL GRADES SHOWN INCLUDE SOD HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.

16. LIME ROCK AS-BUILTS ARE TO BE APPROVED BY OWNER'S ENGINEER PRIOR TO PAVING.

17. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND JURISDICTIONAL PERMITTING AGENCIES.

18. ALL WORK SHALL COMPLY WITH THE GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC. ON NOVEMBER 18, 2019.

# GRADING TESTING AND INSPECTION

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- 2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND GEOTECHNICAL REPORT, THE VARIOUS AGENCIES AND PERMIT CONDITIONS. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THESE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.

Always call 811 two full business days before you dig to have underground utilities located and marked.

INC. FL 32801 5106 No.

© 2023 KIMLEY-HORN AND ASSOCIATES,

PHONE: 407-898-1511

ARCUS I. GEIGER, P.E. FL LICENSE NUMBER 89199

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SIGNED BY MIC
AWN BY CML

O2/09
SCALE AS
DESIGNED E

GENERAL NOTE

MINDERMERE
DOWNTOWN

CONTRACTOR'S AS-BUILT	
1. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH. THE OWNER'S ENGINEER WITH COMPLETE AS-BUILT INFORMATION, CERTIFIED BY A LOCKED LAND SUPPLYOR COMPLETION OF THE PROPERTY OF T	
	SSIONAL
	PROJECT LICENSED PROFES
	KHA P
	WINDERMERE

DOWNTOWN PROPERTY Always call 811 two full business days before you dig to have underground utilities located and marked.

SHEET NUMBER
C1.1

GENERAL NOTES

# STORMWATER POLLUTION PREVENTION PLAN

### SITE DESCRIPTION

PROJECT NAME AND LOCATION
WINDERMERE DOWNTOWN PROPERTY
TAX PARCELS: 17-23-28-9336-02-430, 17-23-28-9336-02-470, 17-23-28-9336-02-490, 17-23-28-9336-02-500, 17-23-28-9336-02-510, 17-29-28-9336-520
TOWN OF WINDERMERE, FL

\*SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME AND ADDRESS
WINDERMERE DOWNTOWN PROPERTY, LLC
496 S. HUNT CLUB BOULEVARD
APOPKA, FL 32703
CONTACT: BRETT DARGIS
PHONE: (407)848-1663
EMAIL: brett@v3capgroup.com

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF PROPOSED COMMERCIAL BUILDINGS ON A 2.17 ACRE SITE.

THIS SITE IS LOCATED ON THE CORNER OF MAIN STREET AND 6TH AVENUE.

STORMWATER RUNOFF FORM THE PROPOSED SITE WILL BE MANAGED BY MULTIPLE BMP'S, INCLUDING A PROPOSED WET DETENTION POND, PERVIOUS PAVERS, AND DRY RETENTION POND TO PROVIDE THE REQUIRED TREATMENT (QUALITY) AND ATTENUATION (QUANTITY) VOLUMES. THE STORMWATER MANAGEMENT SYSTEM WAS DESIGNED TO MEET OR EXCEED ALL THE REQUIREMENTS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), RCID, AND ORANGE COUNTY.

PROJECT AREA: ±2.17 ACRES

CONTRIBUTING DRAINAGE AREA: ±2.17 ACRES

CONTROL STRUCTURES : CS-A

LONGITUDE: W 81° 32' 01.47" LATITUDE: N 28° 29' 41.33"

CONTROL STRUCTURES : CS-B LONGITUDE : W 81° 32' 03.73" LATITUDE: N 28° 29' 44.99"

ULTIMATE RECEIVING WATERS: LAKE BUTLER

ACTIVITIES THAT REQUIRE EROSION CONTROL

SITE CLEARING AND GRUBBING; PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; EXCAVATION FOR THE RETENTION POND; SITE GRADING; INSTALLATION OF STORM WATER, SANITARY SEWER, AND WATER STRUCTURES; CURB, ROADWAYS, AND PARKING FACILITIES.

\*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SOIL PARAMETERS

SOIL TYPES:

SERIES NAME	HYDROLOGIC GROUP
POMELLO FINE SAND	A
SANIBEL MUCK	D
IMMOKALEE FINE SAND	B/D
BASINGER FINE SAND	A/D
TAVARES FINE SAND	A

# SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF CONSTRUCTION IS AS FOLLOWS:

1. PROVIDE STABILIZED CONSTRUCTION ENTRANCE

- 2. INSTALL SILT FENCES AND OTHER EROSION CONTROL METHODS
- 3. CLEAR AND GRUB FOR SEDIMENT BASIN AND EARTH DIKE
- 4. CONSTRUCT EARTH DIKE AND SEDIMENT BASIN
- 5. FINISH CLEARING AND GRUBBING
- 6. REMOVE AND STORE TOPSOIL
- 7. PROVIDE INITIAL GRADING AS REQUIRED
- 8. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
- 9. INSTALL UTILITIES, STORM SEWER, CURB AND GUTTER
- 10. INSTALL BASE TO ROAD AND PARKING AREA
- 11. FINISH GRADING ENTIRE SITE
- 12. CONSTRUCT FINAL PAVING
- 13. REMOVE ACCUMULATED SEDIMENT
- 14. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

# TIMING OF CONTROL MEASURES

THE INSTALLATION OF SILT FENCE (AND OTHER EROSION CONTROL MEASURES), A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTIVITY. AFTER CONSTRUCTION IS COMPLETE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE AREAS SHALL BE REGRADED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

### **EROSION AND SEDIMENT CONTROLS**

BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN-OFF. THE LOCATION AND DETAILS OF EROSION CONTROL METHODS ARE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING THESE CONTROL METHODS AS SHOWN ON THE PLANS OR AS REQUIRED. HE/SHE SHALL ALSO PROVIDE THE REQUIRED EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW

### STORM WATER MANAGEMENT

STORMWATER RUNOFF FORM THE PROPOSED SITE WILL BE MANAGED BY AN EXFILTRATION/PAVE DRAIN SYSTEM TO PROVIDE THE REQUIRED TREATMENT (QUALITY) AND ATTENUATION (QUANTITY) VOLUMES. THE STORMWATER MANAGEMENT SYSTEM WAS DESIGNED TO MEET OR EXCEED ALL THE REQUIREMENTS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), TOWN OF WINDERMERE, AND ORANGE COUNTY.

STABILIZATION PRACTICES:

TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL. AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.66A, 1.66B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY. ALL RETENTION/DETENTION BASINS SHALL BE SODDED AT LEAST TO THE NORMAL WATER LINE. ALL EXPOSED AREAS WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE SOLID SODDED, OTHER AREAS WITH SLOPES STEEPER THAN 4:1 SHALL BE SODDED.

### STRUCTURAL PRACTICES:

EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

# WASTE DISPOSAL

WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.

HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.

# OFF-SITE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPAULIN.

# DUST & DEBRIS CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL WITHIN THE CONSTRUCTION LIMITS AS WELL AS ALONG HAUL ROUTES AND ROADWAYS USED BY THE EQUIPMENT AND VEHICLES. THE CONTRACTOR SHALL ENSURE THAT EXCESSIVE DUST IS NOT TRANSPORTED BEYOND THE LIMITS OF CONSTRUCTION IN POPULATED AREAS. THE CONTRACTOR MAY CONTROL DUST FOR EMBANKMENTS OR OTHER CLEARED OR UNSURFACED AREAS BY APPLYING WATER. INSTALL MULCH, SEED, SOD, OR TEMPORARY PAVING AS EARLY AS PRACTICAL. CONTROL DUST DURING STORAGE AND HANDLING OF DUSTY MATERIALS BY WETTING, COVERING, OR OTHER MEANS AS APPROVED BY THE ENGINEER.

DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON THE PROJECT SITE.

### ITEMS REQUIRING POLLUTION PREVENTION

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE:

-ASPHALT -CLEANING SUPPLIES
-CONCRETE -DETERGENTS
-FERTILIZERS -MASONARY BLOCK/BRICKS
-METAL PIECES -PAINT
-PETROLEUM BASED PRODUCTS -WOOD

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOUNTERED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE:

-UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION
-WATER FROM WATER LINE FLUSHING
-PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

### SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

### GOOD HOUSEKEEPING

-SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.

-STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.

-ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.

-ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

-PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

-ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

### **HAZARDOUS PRODUCTS**

-MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.

-PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

# PRODUCT SPECIFIC PRACTICES

-PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

-THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

-PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.

-CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

# SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

-SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.

-THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.

# -ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.

-WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.

-TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.

-AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.

-THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

### **MAINTENANCE AND INSPECTION PRACTICES**

THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR:

-ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE CHECKED DAILY AND AFTER EACH 0.5 INCH OR GREATER RAINFALL BY THE SUPERINTENDENT OR SOMEONE UNDER HIS/HER DIRECT SUPERVISION.

-ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD CONDITION. REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.

-THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE.

-THE SILT FENCE SHALL BE CLEARED OF SEDIMENT WHEN SEDIMENT MEASURES ONE-THIRD THE HEIGHT OF THE FENCE.

-THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. THEY SHALL BE CLEANED WHEN SEDIMENT REACHES 10% OF TOTAL CAPACITY AND AFTER CONSTRUCTION IS COMPLETE.

-DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

-ALL SEEDING SHALL BE CHECKED FOR PROPER GROWTH AND UNIFORMITY. UNSTABALIZED AREAS SHALL BE RE-SODDED.

-A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

-THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

# **CONTRACTOR'S CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FORM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

SIGNATURE AND DATE	NAME AND TITLE, COMPANY / ADDRESS AND TELEPHONE NUMBER	RESPONSIBILITY

M REGISTRY No. 35106

© 2023 KIMLEY-HORN
189 S. ORANGE AVENUE, SUIT
PHONE: 407
WWW.KIMLEY-HORN.COM

MARCUS I. GEIGER,
MIG FL LICENSE NUMBE
CML 89199

SCALE AS SHOW
DESIGNED BY MIDRAWN BY CM

NPP NOTES

WINDERMERE DOWNTOWN PROPERTY

STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYC
 LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.

THICKNESS - NOT LESS THAN SIX (6) INCHES.
 WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.

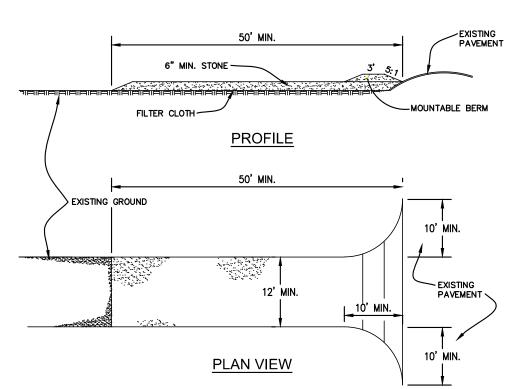
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA, PRIOR TO PLACING OF STONE.

6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

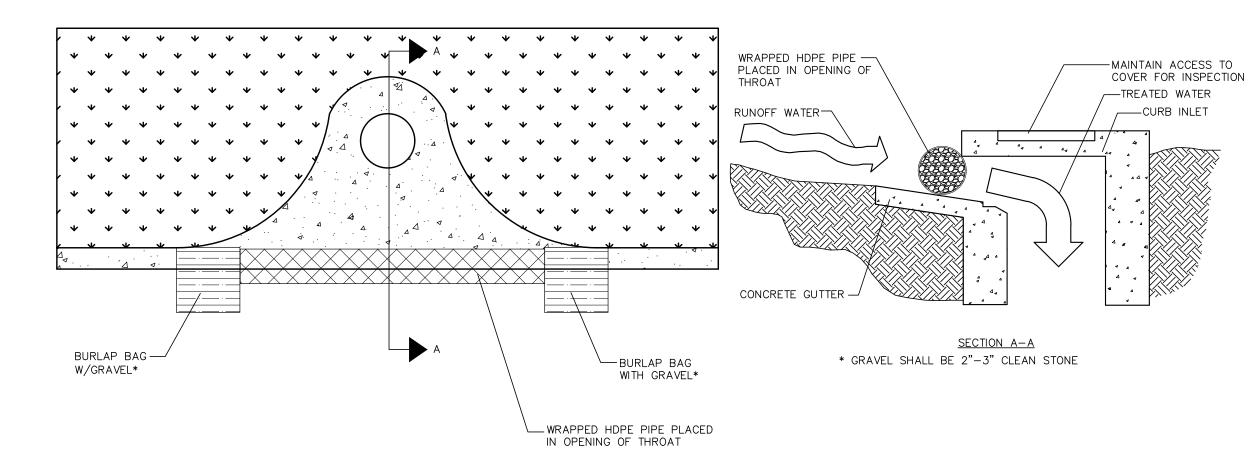
7. MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS—OF—WAY MUST BE REMOVED

8. WASHING — WHEELS SHALL BE CLEANED TO REMOVED SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS—OF—WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT

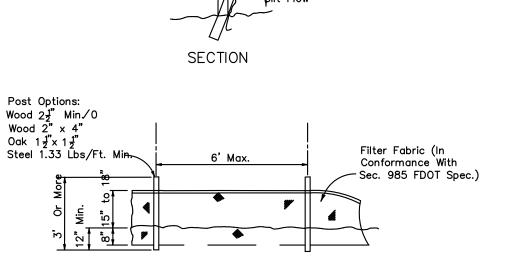
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



STABILIZED CONSTRUCTION ENTRANCE DETAIL



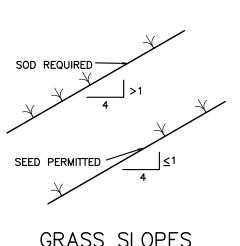
SOCK DRAIN INLET SEDIMENT FILTER



Principle Post Position
(Canted 20° Toward Flow)

TYPE III SILT FENC

ELEVATION

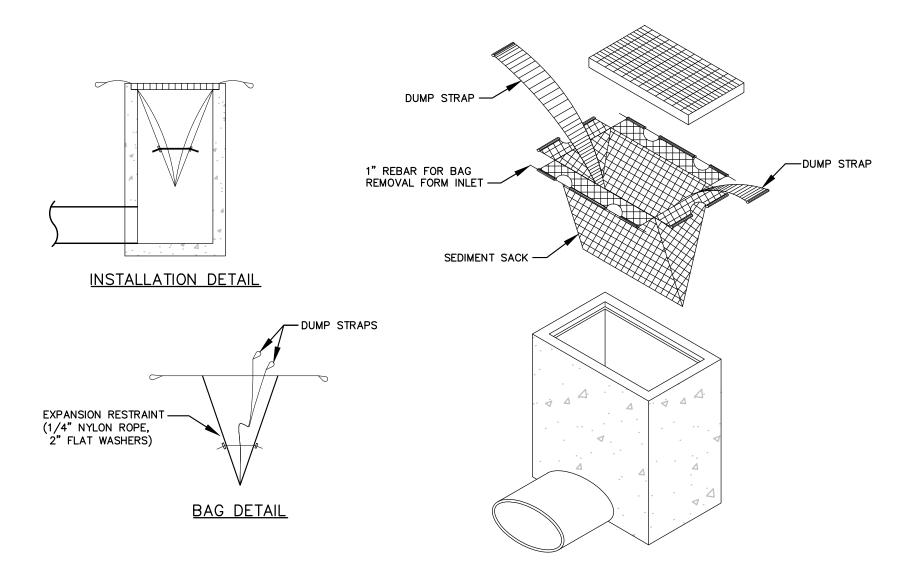


Optional Post Positions

GRASS SLOPES

NTS

FIGURE 8



STANDARD INLET SEDIMENT CONTROL DEVICE

# BARRICADES PLACED AT 6' RADIUS OR DRIPLINE MINIMUM

TREE PROTECTION DETAIL
NTS

- 1. ORANGE CONSTRUCTION FENCING CAN BE USED IN LIEU OF WOOD FENCE PER ENGINEER'S REVIEW AND APPROVAL.
- 2. NO STOCKPILING OF MATERIAL, TRASH OR DEBRIS SHALL BE PERMITTED WITHIN THE BARRIER. CONTRACTOR SHALL ADJUST AND MAINTAIN BARRIER LIMITS AS NECESSARY TO ACCOMMODATE ADJACENT CONSTRUCTION AS DIRECTED BY OWNER. REMOVE PROTECTION AFTER OWNER'S FINAL ACCEPTANCE OF THE PROJECT.

# NOTES:

1) CONTRACTOR TO MAINTAIN DEBRIS ON—SITE, VEHICLES SHALL BE FREE OF EXCESS DEBRIS PRIOR TO ENTERING COUNTY RIGHT—OF—WAYS.

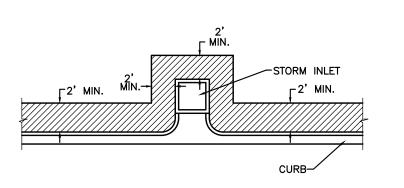
2) DURING ALL TIME OF CONSTRUCTION, THE CONTRACTOR MUST PROVIDE FILTER

FABRIC AT ALL EXIST. OR PROP. CATCH BASIN TO PREVENT SYSTEM POLLUTION.

3) CONTRACTOR SHALL PROVIDE TRUCK WASH RACKS TO REMOVE CONSTRUCTION DEBRIS FROM VEHICLES PRIOR TO EGRESS.

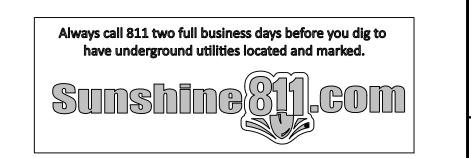
4) DURING ALL TIME OF CONSTRUCTION, THE CONTRACTOR MUST PROVIDE SILT SCREENS AT CONSTRUCTION PERIMETER

5) UPON COMPLETION OF CONSTRUCTION, SYSTEM IS TO BE CLEANED BY
"CAMELVAC" OR OTHER APPROVED SYSTEM TO THE SATISFACTION OF THE PROJECT
ENGINEER AND COUNTY ENGINEER WHEN OR AFTER THE OVERALL SYSTEM IS CLEANED.
6) THE CONTRACTOR SHALL MAINTAIN THE FULL SET OF PLANS INCLUDING THESE
POLLUTION PREVENTION REQUIREMENTS ON—SITE AT ALL TIMES.



SOD ALONG CURB AND AROUND INLET

FIGURE 7



AVENUE, SUITE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511
Y-HORN.COM REGISTRY No. 35106
No.

MARCUS I. GEIGER, P.E.
FL LICENSE NUMBER
89199

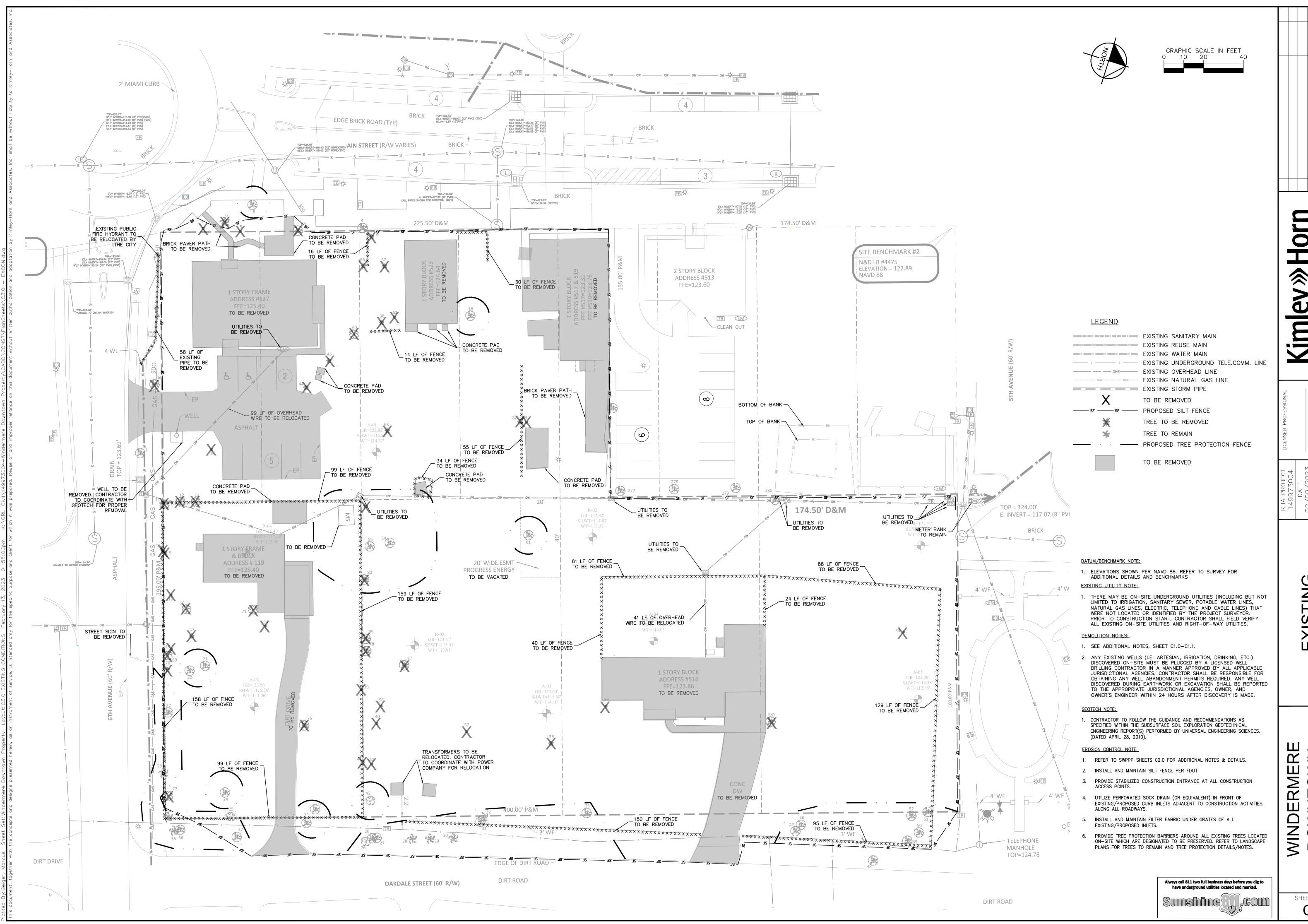
O2/09/2023

SCALE AS SHOWN
DESIGNED BY MIG
DRAWN BY CML

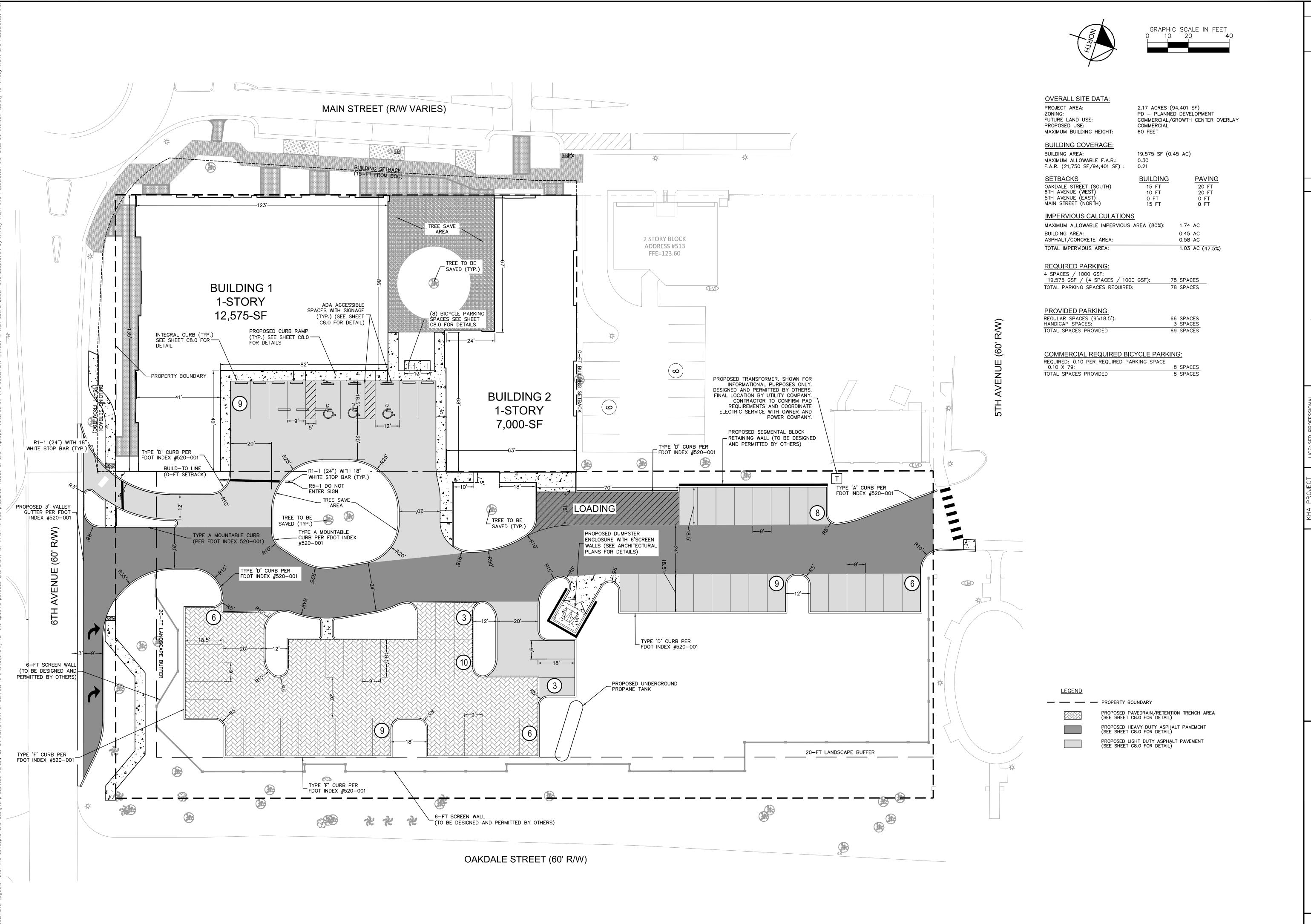
ROSION CONTRO DETAIL

/INDERMERE JOWNTOWN

SHEET NUMBER
C2.1



EXISTING CONDITIONS



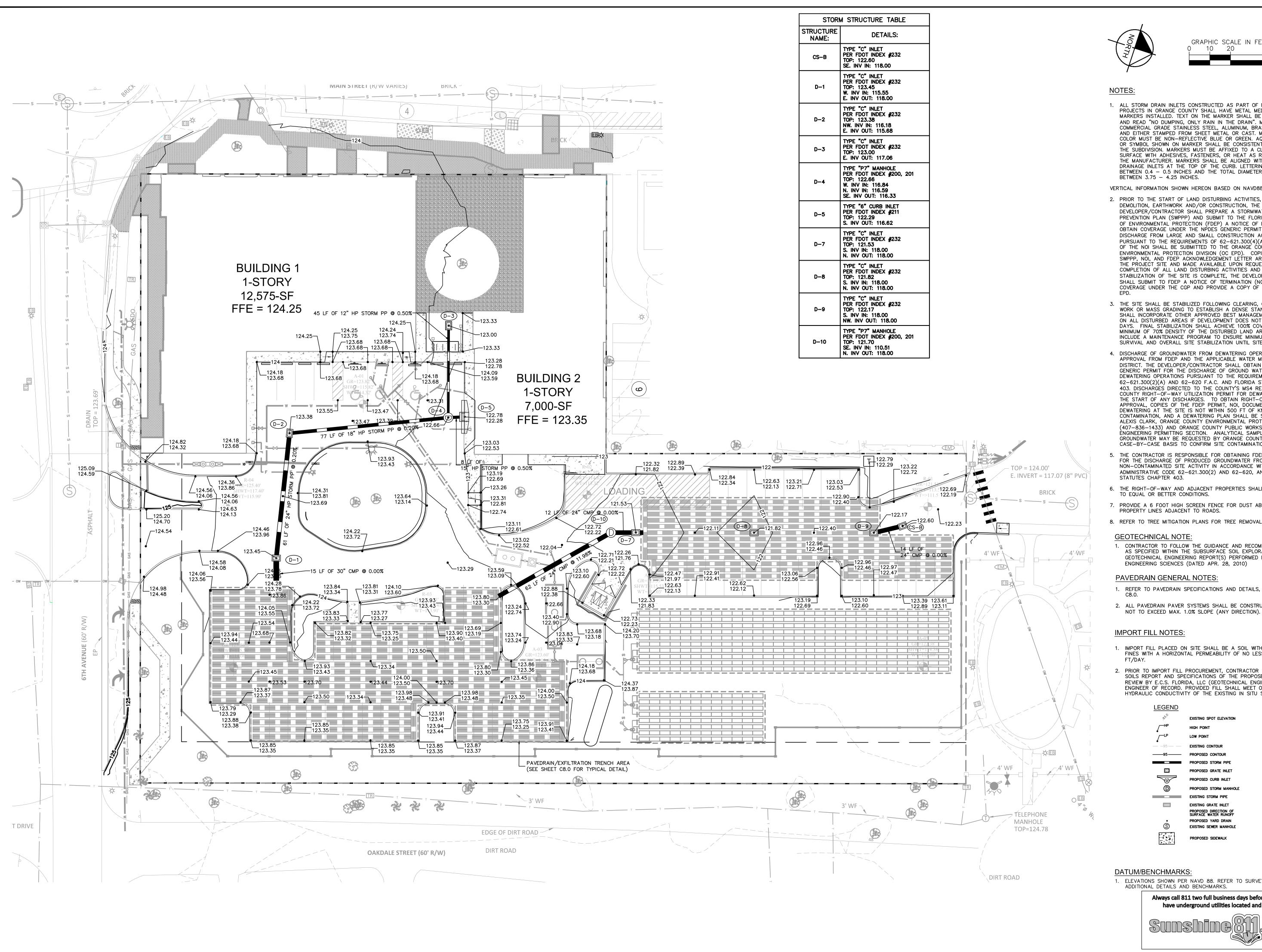
149973004 DATE 02/09/2023 MAR(

**(U)** 

SITE PLAN

WINDERMERE DOWNTOWN PROPERTY

SHEET NUMBER
C4.0





1. ALL STORM DRAIN INLETS CONSTRUCTED AS PART OF NEW DEVELOPMENT PROJECTS IN ORANGE COUNTY SHALL HAVE METAL MEDALLION INLET MARKERS INSTALLED. TEXT ON THE MARKER SHALL BE EVENLY SPACED AND READ "NO DUMPING, ONLY RAIN IN THE DRAIN". MARKERS MUST BE COMMERCIAL GRADE STAINLESS STEEL, ALUMINUM, BRASS OR BRONZE AND EITHER STAMPED FROM SHEET METAL OR CAST. METAL MARKER COLOR MUST BE NON-REFLECTIVE BLUE OR GREEN. AQUATIC CREATURE OR SYMBOL SHOWN ON MARKER SHALL BE CONSISTENT THROUGHOUT THE SUBDIVISION. MARKERS MUST BE AFFIXED TO A CLEAN, PREPARED SURFACE WITH ADHESIVES, FASTENERS, OR HEAT AS RECOMMENDED BY THE MANUFACTURER. MARKERS SHALL BE ALIGNED WITH THE CENTER OF DRAINAGE INLETS AT THE TOP OF THE CURB. LETTERING MUST BE BETWEEN 0.4 - 0.5 INCHES AND THE TOTAL DIAMETER OF THE MARKER BETWEEN 3.75 - 4.25 INCHES.

### VERTICAL INFORMATION SHOWN HEREON BASED ON NAVD88.

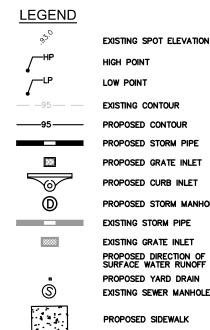
- 2. PRIOR TO THE START OF LAND DISTURBING ACTIVITIES, WHICH INCLUDES DEMOLITION, EARTHWORK AND/OR CONSTRUCTION, THE DEVELOPER/CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A NOTICE OF INTENT (NOI) TO OBTAIN COVERAGE UNDER THE NPDES GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) PURSUANT TO THE REQUIREMENTS OF 62-621.300(4)(A) F.A.C. A COPY OF THE NOI SHALL BE SUBMITTED TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (OC EPD). COPIES OF THE SWPPP, NOI, AND FDEP ACKNOWLEDGEMENT LETTER ARE TO BE KEPT ON THE PROJECT SITE AND MADE AVAILABLE UPON REQUEST. UPON COMPLETION OF ALL LAND DISTURBING ACTIVITIES AND AFTER FINAL STABILIZATION OF THE SITE IS COMPLETE, THE DEVELOPER/CONTRACT SHALL SUBMIT TO FDEP A NOTICE OF TERMINATION (NOT) TO END THEIR COVERAGE UNDER THE CGP AND PROVIDE A COPY OF THE NOT TO OC
- 3. THE SITE SHALL BE STABILIZED FOLLOWING CLEARING, GRUBBING, EARTH WORK OR MASS GRADING TO ESTABLISH A DENSE STAND OF GRASS, OR SHALL INCORPORATE OTHER APPROVED BEST MANAGEMENT PRACTICES, ON ALL DISTURBED AREAS IF DEVELOPMENT DOES NOT BEGIN WITHIN 7 DAYS. FINAL STABILIZATION SHALL ACHIEVE 100% COVERAGE AND A MINIMUM OF 70% DENSITY OF THE DISTURBED LAND AREA AND SHALL INCLUDE A MAINTENANCE PROGRAM TO ENSURE MINIMUM COVERAGE SURVIVAL AND OVERALL SITE STABILIZATION UNTIL SITE DEVELOPMENT.
- 4. DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS REQUIRES APPROVAL FROM FDEP AND THE APPLICABLE WATER MANAGEMENT DISTRICT. THE DEVELOPER/CONTRACTOR SHALL OBTAIN AND FDEP GENERIC PERMIT FOR THE DISCHARGE OF GROUND WATER FROM DEWATERING OPERATIONS PURSUANT TO THE REQUIREMENTS OF 62-621.300(2)(A) AND 62-620 F.A.C. AND FLORIDA STATUTES CHAPTER 403. DISCHARGES DIRECTED TO THE COUNTY'S MS4 REQUIRE AN ORANGE COUNTY RIGHT-OF-WAY UTILIZATION PERMIT FOR DEWATERING PRIOR TO THE START OF ANY DISCHARGES. TO OBTAIN RIGHT-OF-WAY APPROVAL, COPIES OF THE FDEP PERMIT, NOI, DOCUMENTATION SHOWING DEWATERING AT THE SITE IS NOT WITHIN 500 FT OF KNOWN CONTAMINATION, AND A DEWATERING PLAN SHALL BE SUBMITTED TO ALEXIS CLARK, ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION (407-836-1433) AND ORANGE COUNTY PUBLIC WORKS DEVELOPMENT ENGINEERING PERMITTING SECTION. ANALYTICAL SAMPLING OF GROUNDWATER MAY BE REQUESTED BY ORANGE COUNTY ON A CASE-BY-CASE BASIS TO CONFIRM SITE CONTAMINATION STATUS
- 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 62-621.300(2) AND 62-620, AND FLORIDA
- 6. THE RIGHT-OF-WAY AND ADJACENT PROPERTIES SHALL BE RESTORED TO EQUAL OR BETTER CONDITIONS.
- 7. PROVIDE A 6 FOOT HIGH SCREEN FENCE FOR DUST ABATEMENT ON ALL PROPERTY LINES ADJACENT TO ROADS.
- 8. REFER TO TREE MITIGATION PLANS FOR TREE REMOVAL DETAILS.

# **GEOTECHNICAL NOTE:**

1. CONTRACTOR TO FOLLOW THE GUIDANCE AND RECOMMENDATIONS AS SPECIFIED WITHIN THE SUBSURFACE SOIL EXPLORATION GEOTECHNICAL ENGINEERING REPORT(S) PERFORMED BY UNIVERSAL ENGINEERING SCIENCES (DATED APR. 28, 2010)

# **PAVEDRAIN GENERAL NOTES:**

- 1. REFER TO PAVEDRAIN SPECIFICATIONS AND DETAILS, SHEETS
- 2. ALL PAVEDRAIN PAVER SYSTEMS SHALL BE CONSTRUCTED
- IMPORT FILL PLACED ON SITE SHALL BE A SOIL WITH LESS THAN 5% FINES WITH A HORIZONTAL PERMEABILITY OF NO LESS THAN 20
- 2. PRIOR TO IMPORT FILL PROCUREMENT, CONTRACTOR SHALL PROVIDE SOILS REPORT AND SPECIFICATIONS OF THE PROPOSED FILL FOR REVIEW BY E.C.S. FLORIDA, LLC (GEOTECHNICAL ENGINEER) AND ENGINEER OF RECORD. PROVIDED FILL SHALL MEET OR EXCEED THE HYDRAULIC CONDUCTIVITY OF THE EXISTING IN SITU SOILS.



# DATUM/BENCHMARKS:

1. ELEVATIONS SHOWN PER NAVD 88. REFER TO SURVEY FOR

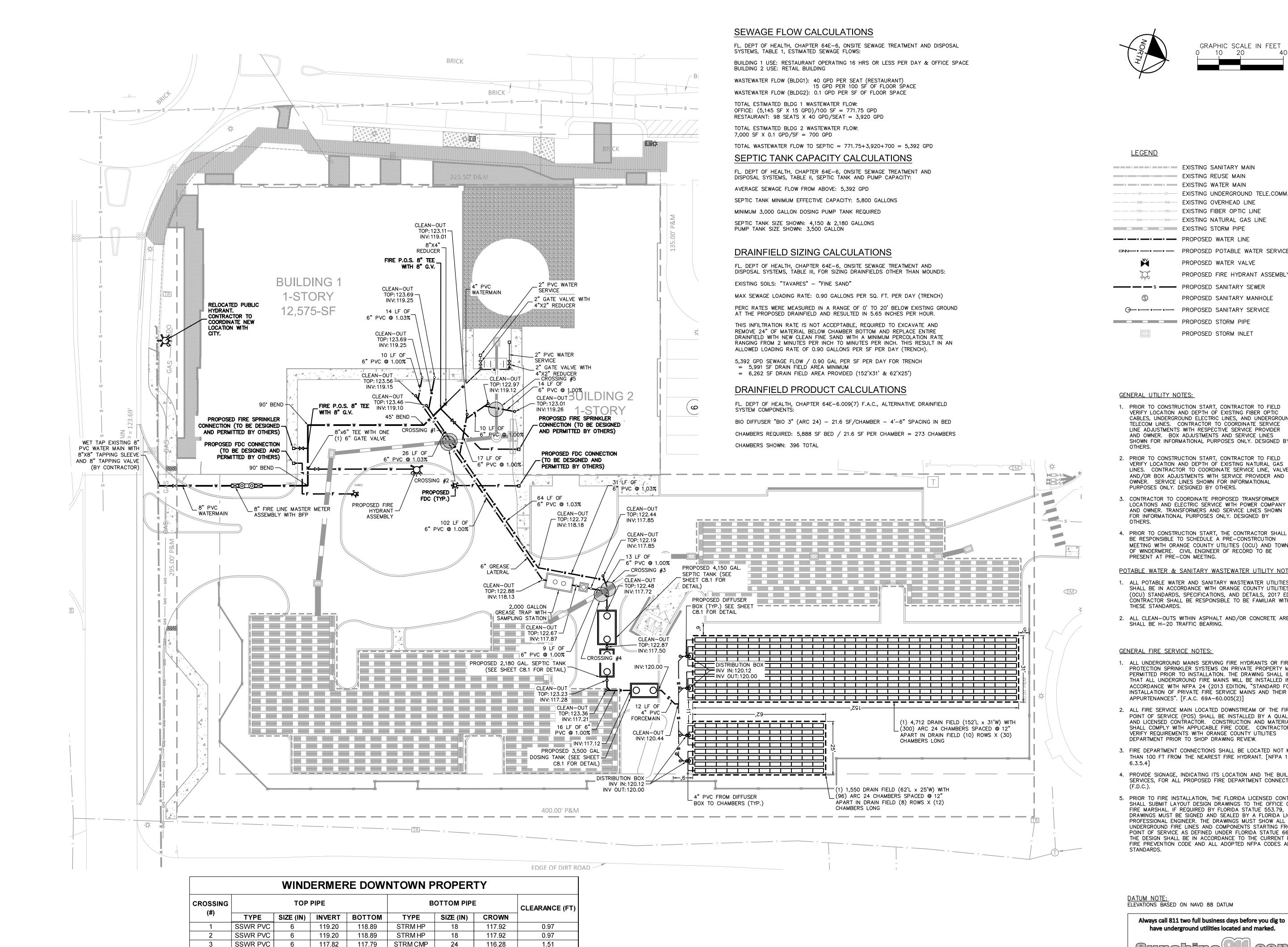


SHEET NUMBER

C5.0

AND PLA

GRADING



SSWR PVC I

STRM CMP

4

117.81

6

117.78

12 | 121.07 | 120.69 | SSWR PVC

STRM CMP

116.51

119.68

24

1.27

1.00



GRAPHIC SCALE IN FEET

### **LEGEND**

EXISTING SANITARY MAIN EXISTING REUSE MAIN EXISTING WATER MAIN EXISTING UNDERGROUND TELE.COMM. LINE ———— GAS———— GAS—— EXISTING NATURAL GAS LINE EXISTING STORM PIPE PROPOSED WATER LINE PROPOSED POTABLE WATER SERVICE PROPOSED WATER VALVE PROPOSED FIRE HYDRANT ASSEMBLY PROPOSED SANITARY SEWER PROPOSED SANITARY MANHOLE → · PROPOSED SANITARY SERVICE PROPOSED STORM PIPE PROPOSED STORM INLET

### **GENERAL UTILITY NOTES:**

- 1. PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING FIBER OPTIC CABLES, UNDERGROUND ELECTRIC LINES, AND UNDERGROUND TELECOM LINES. CONTRACTOR TO COORDINATE SERVICE LINE ADJUSTMENTS WITH RESPECTIVE SERVICE PROVIDER AND OWNER. BOX ADJUSTMENTS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
- 2. PRIOR TO CONSTRUCTION START, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING NATURAL GAS LINES. CONTRACTOR TO COORDINATE SERVICE LINE, VALVE, AND/OR BOX ADJUSTMENTS WITH SERVICE PROVIDER AND OWNER. SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
- 3. CONTRACTOR TO COORDINATE PROPOSED TRANSFORMER LOCATIONS AND ELECTRIC SERVICE WITH POWER COMPANY AND OWNER TRANSFORMERS AND SERVICE LINES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY
- BE RESPONSIBLE TO SCHEDULE A PRE-CONSTRCUTION MEETING WITH ORANGE COUNTY UTILITIES (OCU) AND TOWN OF WINDERMERE. CIVIL ENGINEER OF RECORD TO BE PRESENT AT PRE-CON MEETING.

# POTABLE WATER & SANITARY WASTEWATER UTILITY NOTES:

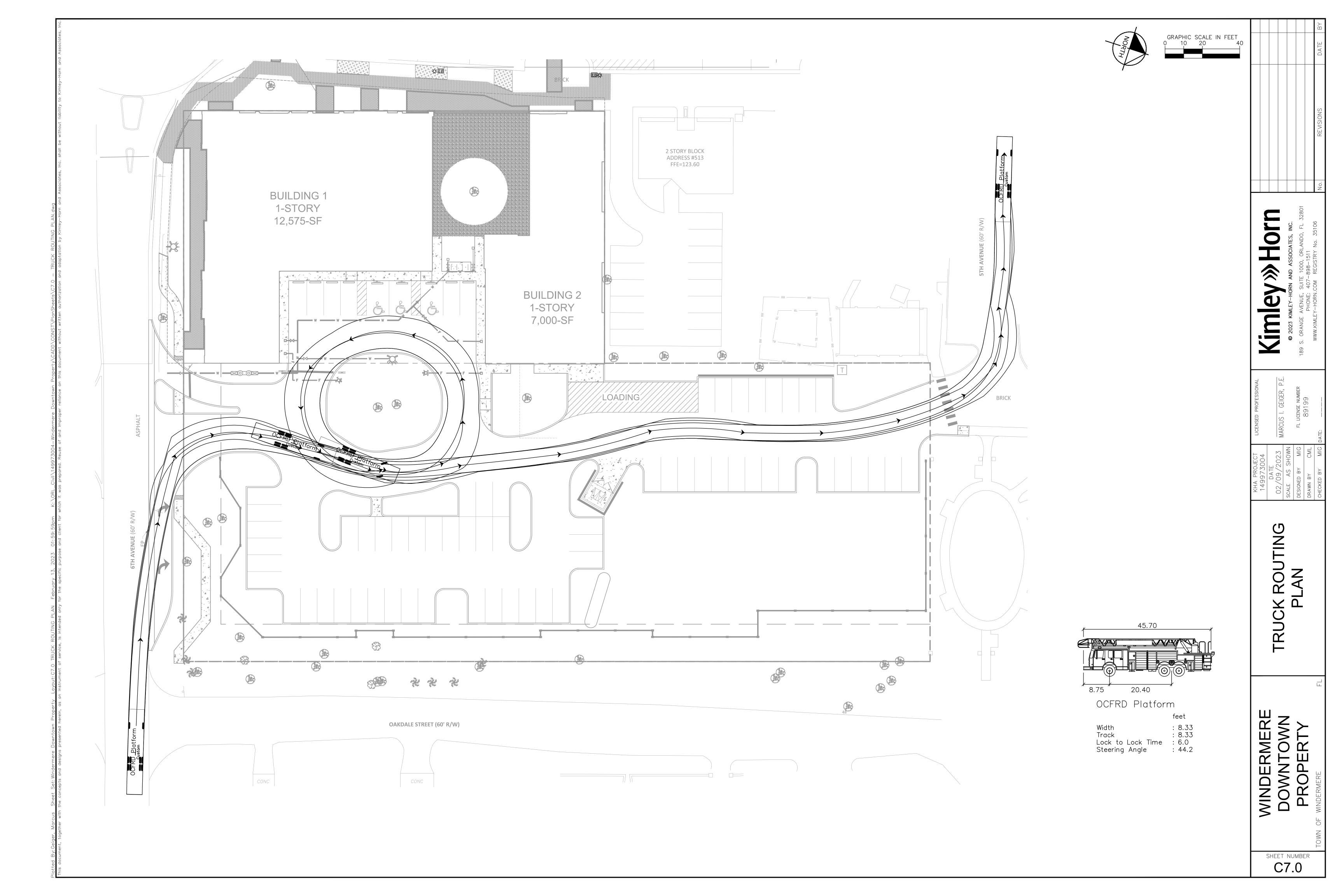
- 1. ALL POTABLE WATER AND SANITARY WASTEWATER UTILITIES SHALL BE IN ACCORDANCE WITH ORANGE COUNTY UTILITIES (OCU) STANDARDS, SPECIFICATIONS, AND DETAILS, 2017 ED.' CONTRACTOR SHALL BE RESPONSIBLE TO BE FAMILIAR WITH THESE STANDARDS.
- 2. ALL CLEAN-OUTS WITHIN ASPHALT AND/OR CONCRETE AREAS SHALL BE H-20 TRAFFIC BEARING.

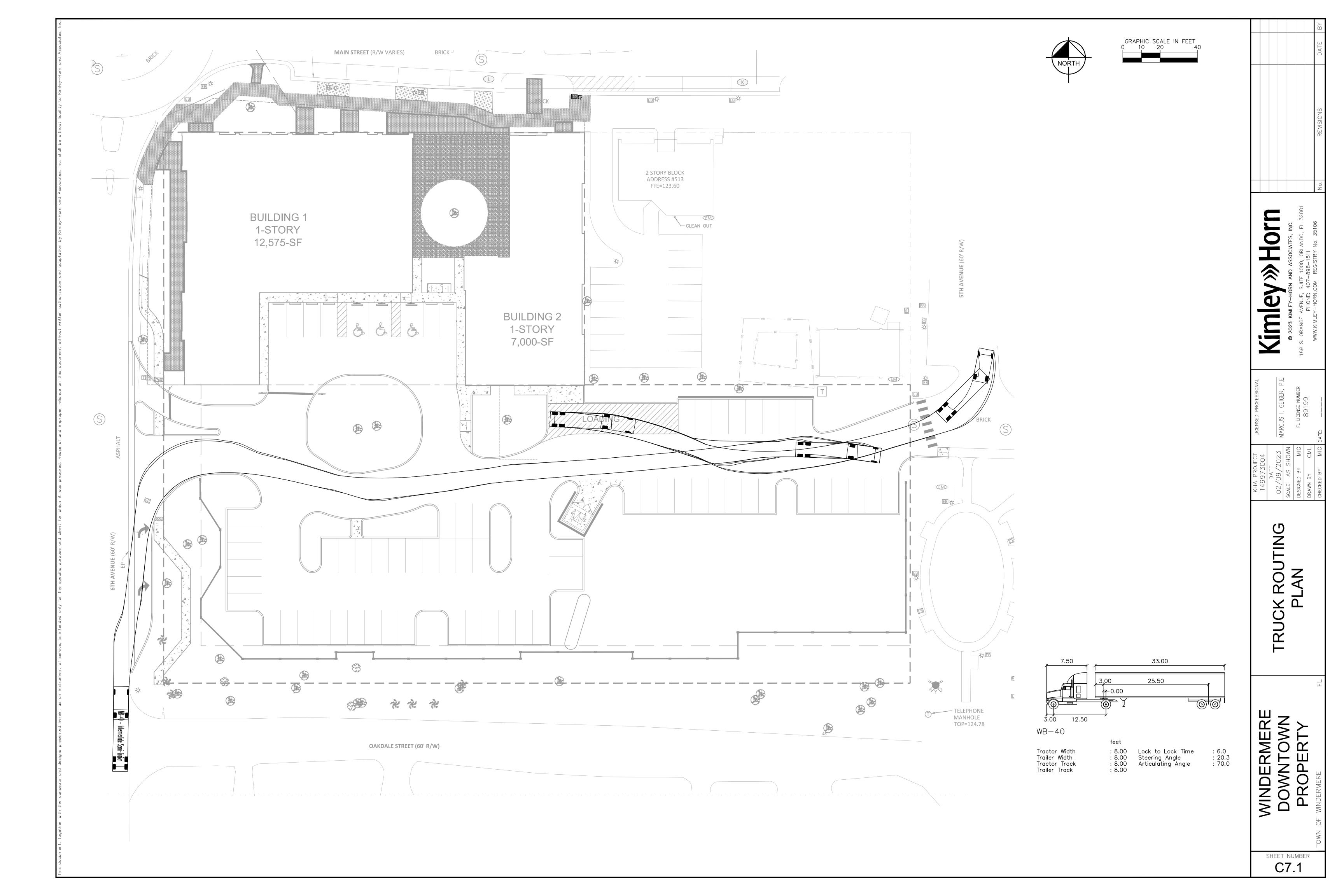
# **GENERAL FIRE SERVICE NOTES:**

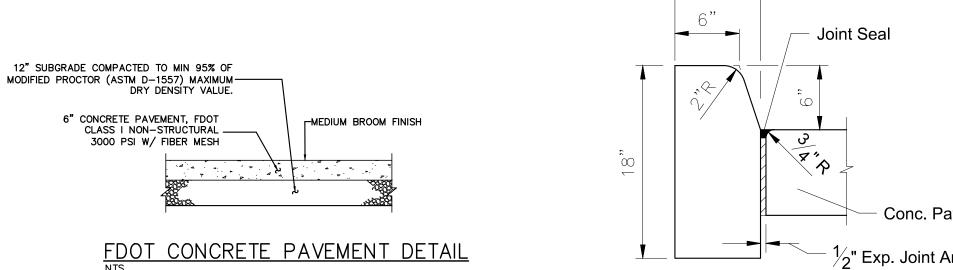
- 1. ALL UNDERGROUND MAINS SERVING FIRE HYDRANTS OR FIRE PROTECTION SPRINKLER SYSTEMS ON PRIVATE PROPERTY MUST BE PERMITTED PRIOR TO INSTALLATION. THE DRAWING SHALL INDICATE THAT ALL UNDERGROUND FIRE MAINS WILL BE INSTALLED IN ACCORDANCE WITH NFPA 24 (2013 EDITION, "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES". [F.A.C. 69A-60.005(2)]
- 2. ALL FIRE SERVICE MAIN LOCATED DOWNSTREAM OF THE FIRE POINT OF SERVICE (POS) SHALL BE INSTALLED BY A QUALIFIED AND LICENSED CONTRACTOR. CONSTRUCTION AND MATERIALS SHALL COMPLY WITH APPLICABLE FIRE CODE. CONTRACTOR TO VERIFY REQUIREMENTS WITH ORANGE COUNTY UTILITIES DEPARTMENT PRIOR TO SHOP DRAWING REVIEW.
- 3. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT FROM THE NEAREST FIRE HYDRANT. [NFPA 14: 6.3.5.4]
- 4. PROVIDE SIGNAGE, INDICATING ITS LOCATION AND THE BUILDING IT SERVICES, FOR ALL PROPOSED FIRE DEPARTMENT CONNECTIONS
- 5. PRIOR TO FIRE INSTALLATION, THE FLORIDA LICENSED CONTRACTOR SHALL SUBMIT LAYOUT DESIGN DRAWINGS TO THE OFFICE OF THE FIRE MARSHAL. IF REQUIRED BY FLORIDA STATUE 553.79, DRAWINGS MUST BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER. THE DRAWINGS MUST SHOW ALL UNDERGROUND FIRE LINES AND COMPONENTS STARTING FROM THE POINT OF SERVICE AS DEFINED UNDER FLORIDA STATUE 663.102. THE DESIGN SHALL BE IN ACCORDANCE TO THE CURRENT FLORIDA FIRE PREVENTION CODE AND ALL ADOPTED NFPA CODES AND

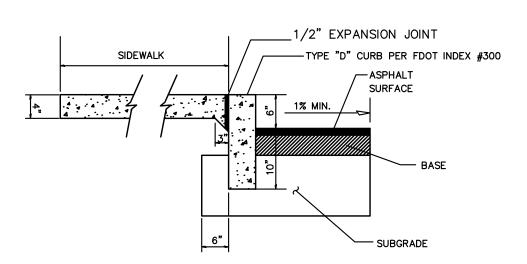


SHEET NUMBER C6.0

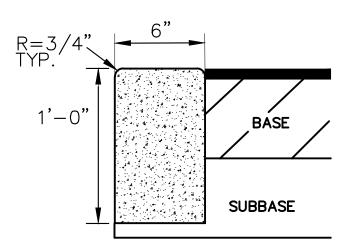








# SIDEWALK INTEGRAL CURB DETAIL

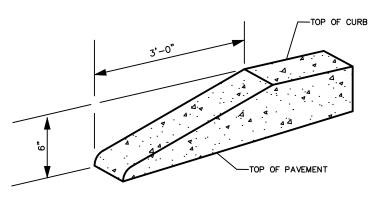


# **RIBBON CURB**

# ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 3000 P.S.I. CONCRETE

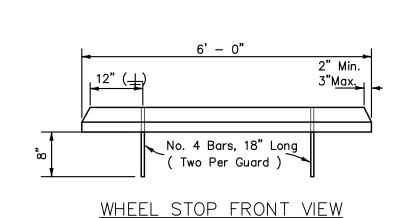
- 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 500' CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4' MINIMUM). 3. 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY BASED ON AASHTO T-180
- MODIFIED PROCTOR TEST AND SHALL BE STABILIZED TO A MINIMUM L.B.R. 40. 4. IN NO INSTANCE SHALL EXTRUDED CURBS (DEFINED AS HEADER-TYPE CURBS INSTALLED DIRECTLY ON TOP OF PAVEMENT) BE PERMITTED.

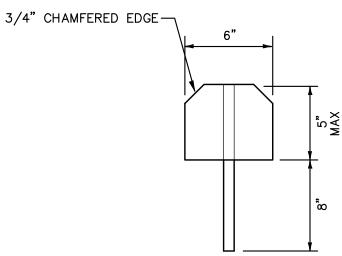
Conc. Pavt. <sub>2</sub>" Exp. Joint And Preformed Joint Filler TYPE D



**CURB TERMINUS TRANSITION DETAIL** 

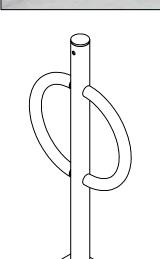
NOTE:
ALL CURBS TO HAVE STANDARD 3' TRANSITION FROM 6" HEIGHT
TO FLUSH (0" HEIGHT). A STANDARD TEMPLATE SHALL BE USED
AT ALL LOCATIONS TO PROVIDE UNIFORM CURB TRANSITION
THROUGHOUT THE PROJECT.





WHEEL STOP PROFILE (TYP.)

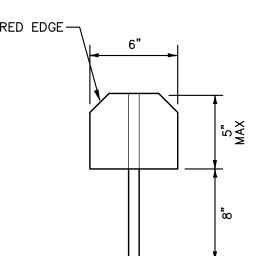
12-INCHES STABILIZED SUBGRADE COMPACTED TO 98% MAXIMUM DRY DENSITY ASTM D-1557. ALL STABILIZED SUBGRADE MATERIALS SHOULD MEET SPEC. REQUIREMENTS

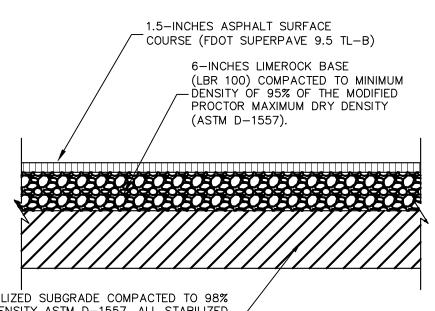


PRODUCT: DERO BIKE HITCH (OR EQUIVALENT) STAINLESS STEEL (OR OWNER APPROVED) FINISH: INSTALL PER MANUFACTURER'S SPECIFICATIONS NOTE:

WWW.DERO.COM 1-800-298-4915

STANDARD BICYCLE RACK DETAIL

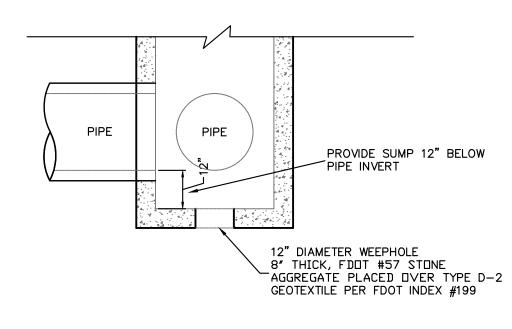




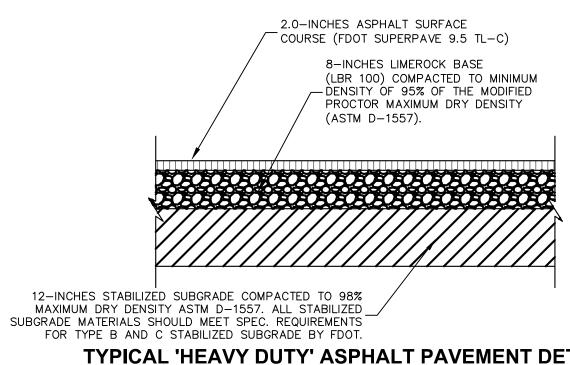
USED FOR PARKING AREAS ONLY

FOR TYPE B AND C STABILIZED SUBGRADE BY FDOT. TYPICAL 'STANDARD LIGHT DUTY' ASPHALT PAVEMENT DETAIL

1. ALTERNATIVE CRUSHED CONCRETE BASE MAY BE USED. 8-INCHES CRUSHED CONCRETE BASE SHALL MEET THE MATERIAL SPEC'S PER FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS (ED. 2022), SECTION 204 "GRADED AGGREGATE

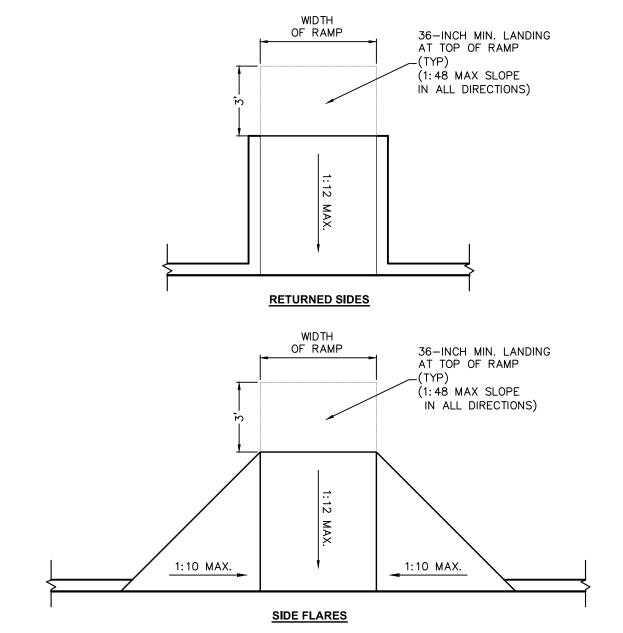


TYPICAL INLET SUMP DETAIL
PER F.D.O.T. INDEX NO. 232 N.T.S.

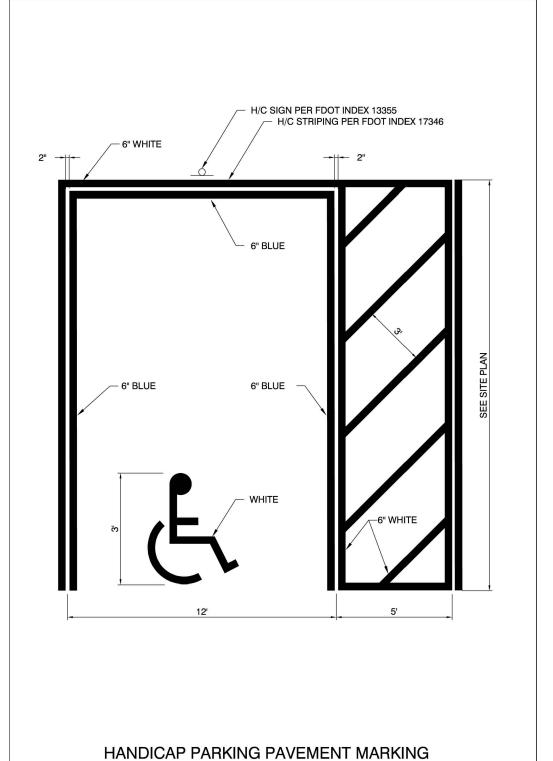


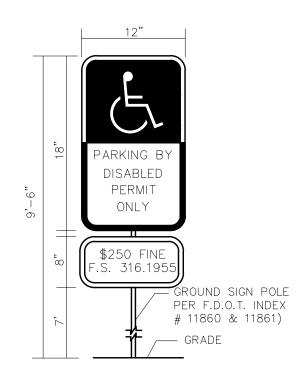
TYPICAL 'HEAVY DUTY' ASPHALT PAVEMENT DETAIL

1. ALTERNATIVE CRUSHED CONCRETE BASE MAY BE USED. 8-INCHES CRUSHED CONCRETE BASE SHALL MEET THE MATERIAL SPEC'S PER FDOT ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS (ED. 2022), SECTION 204 "GRADED AGGREGATE



### TYPICAL 'ONSITE' ACCESSIBLE CURB RAMPS CONSTRUCT PER F.A.C. 2012: CHAPTER 4, SECTION 406 REQUIREMENTS





1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD. 2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER. 4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND 5. ONE (1) SIGN REQUIRED FOR EACH PARKING 6. INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

SHEET NUMBER

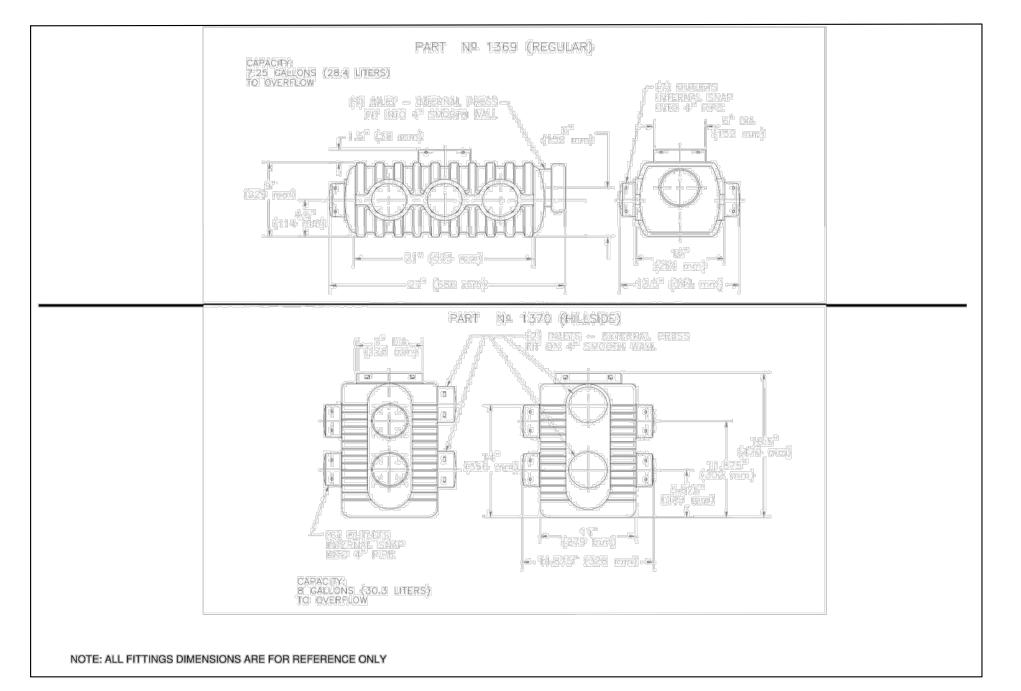
GENERAL

C8.0

### NOTES:

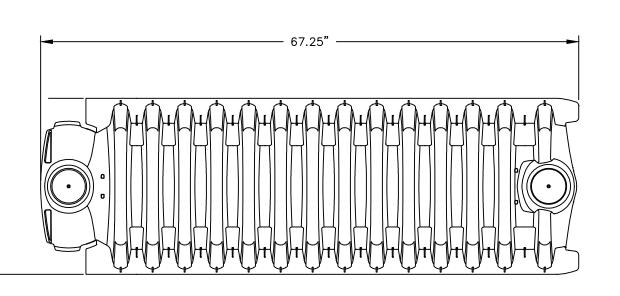
- 2. SMOOTH IRREGULARITIES IN THE EXCAVATION. A LEVEL, FLAT SURFACE IS REQUIRED.
- 3. INSTALL ARC LEACHING CHAMBERS IN ADJACENT ROWS TO COVER DESIRED AREA.
- 4. INSTALL UNIVERSAL END CAP AND SECURE IN PLACE WITH BACKFILL.
- 5. INSTALL 4" PIPE TO EACH ROW OF ARC CHAMBER USING KNOCKOUTS PROVIDED IN THE UNIVERSAL END CAPS.
- 6. ENDS OF ROWS MAY BE CONNECTED WITH

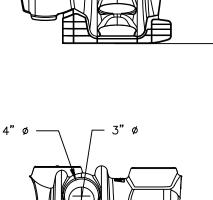
- PIPING TO IMPROVE DISTRIBUTION.
- 1. EXCAVATE AND LEVEL INSTALLATION AREAS. 7. FILL PERIMETER AND INTERIOR SIDEWALL AREAS TO TOP OF CHAMBERS AND WALK INTO PLACE. AVOID LARGE ROCKS OR DEBRIS IN COVER MATERIAL.
  - 8. COVER ARC LEACHING CHAMBERS TO A MINIMUM OF 12" OF GRANULAR OVER AFTER CONSOLIDATION FOR H-10 APPLICATIONS. AVOID LARGE ROCKS OR DEBRIS IN COVER MATERIAL. COVER HEIGHTS AND LIVE LOADING LIMITS ARE IMPACTED BY BOTH SOIL TYPE AND COMPACTION REQUIREMENTS. CONTACT ADS WHEN POOR SOILS ARE ENCOUNTERED AND FOR MAXIMUM FILL HEIGHTS. LIVE LOAD CONDITIONS ARE NOT RECOMMENDED.

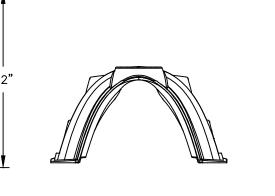


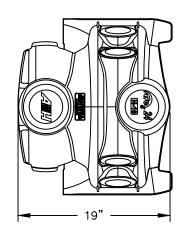
**DISTRIBUTION BOXES** 

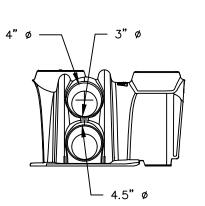
ARC 24 CLUSTER INSTALLATION

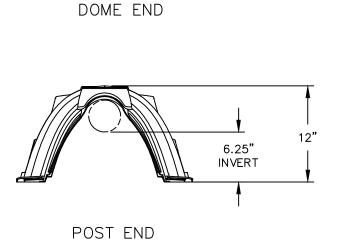


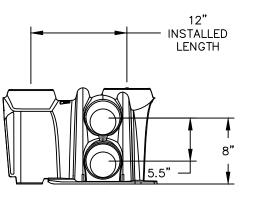




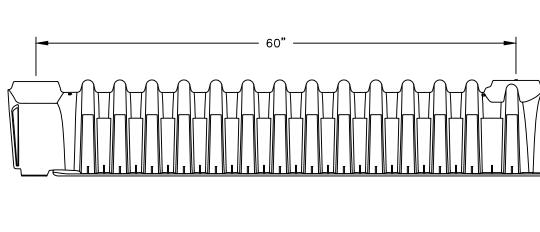




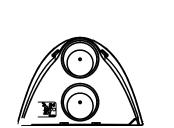




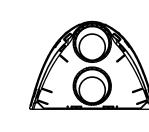
ARC 24 SIDE PORT COUPLER





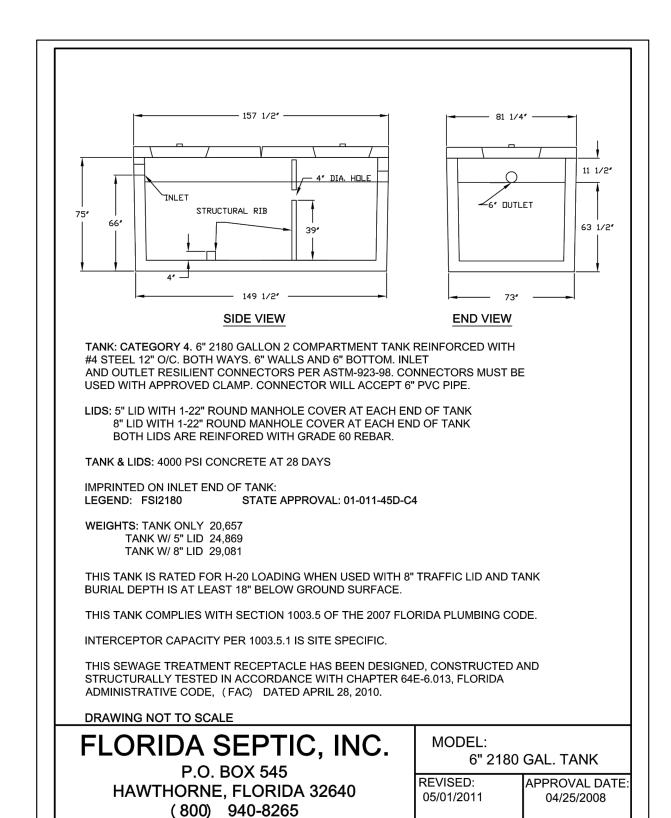


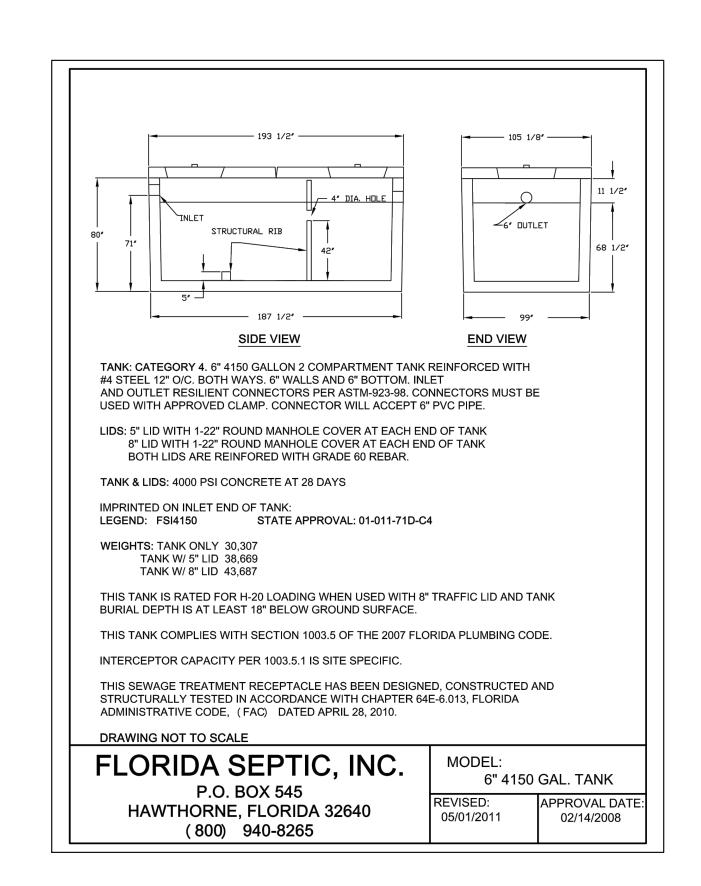




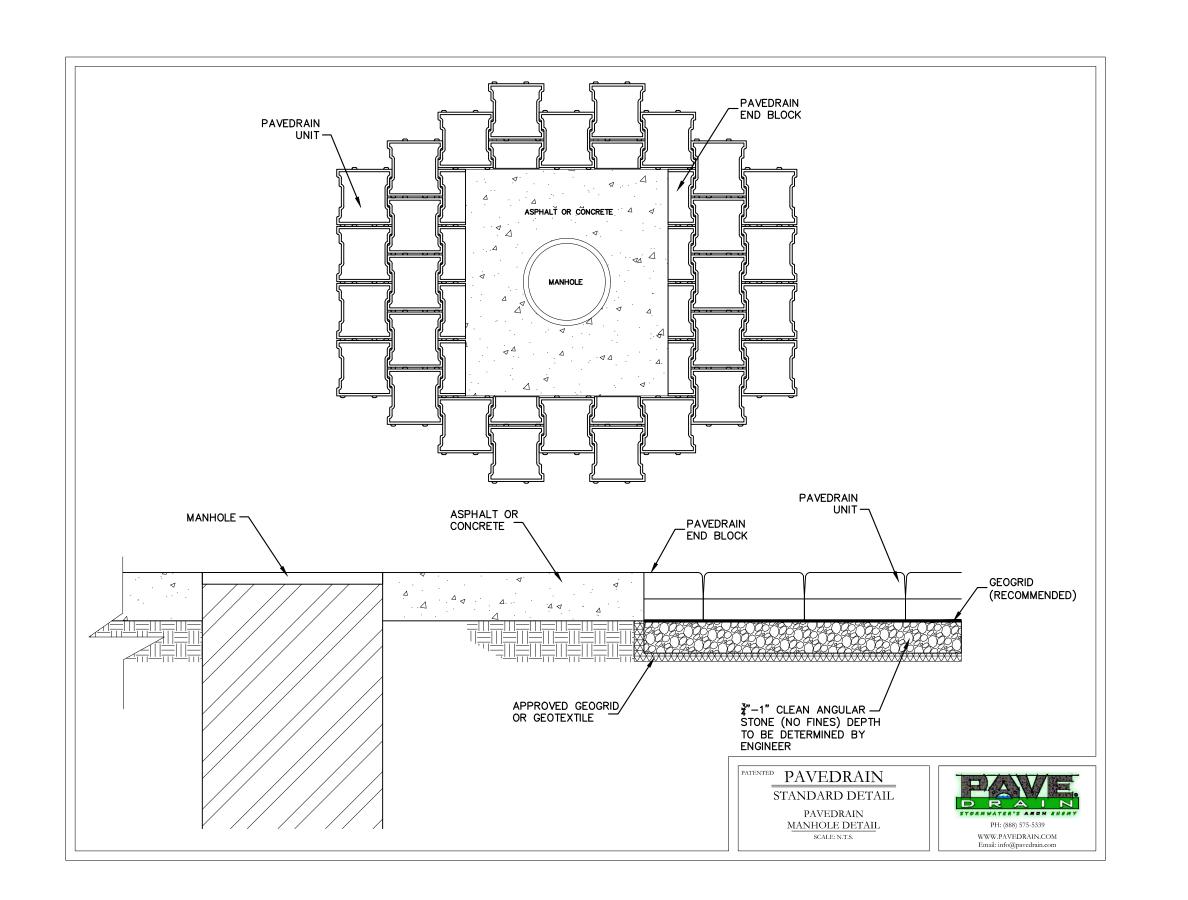
END CAPS

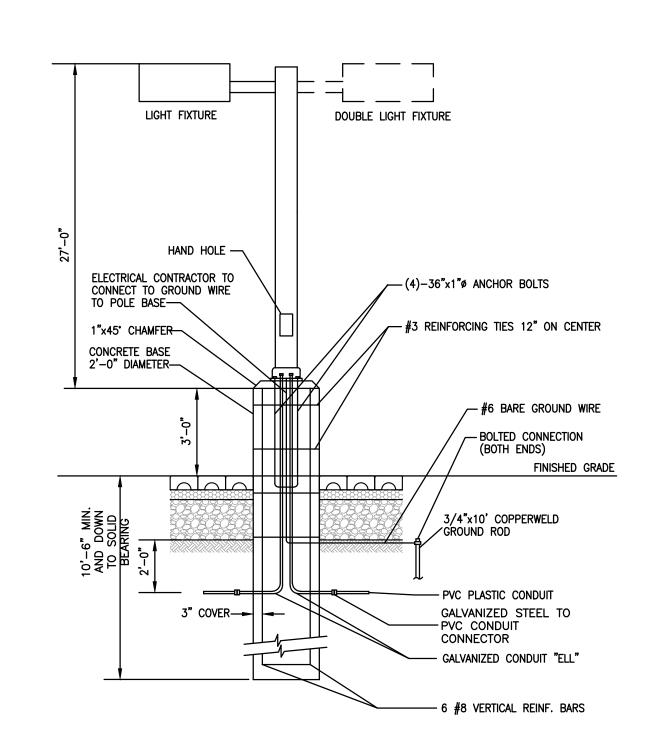
ARC 24 CHAMBER AND END CAP







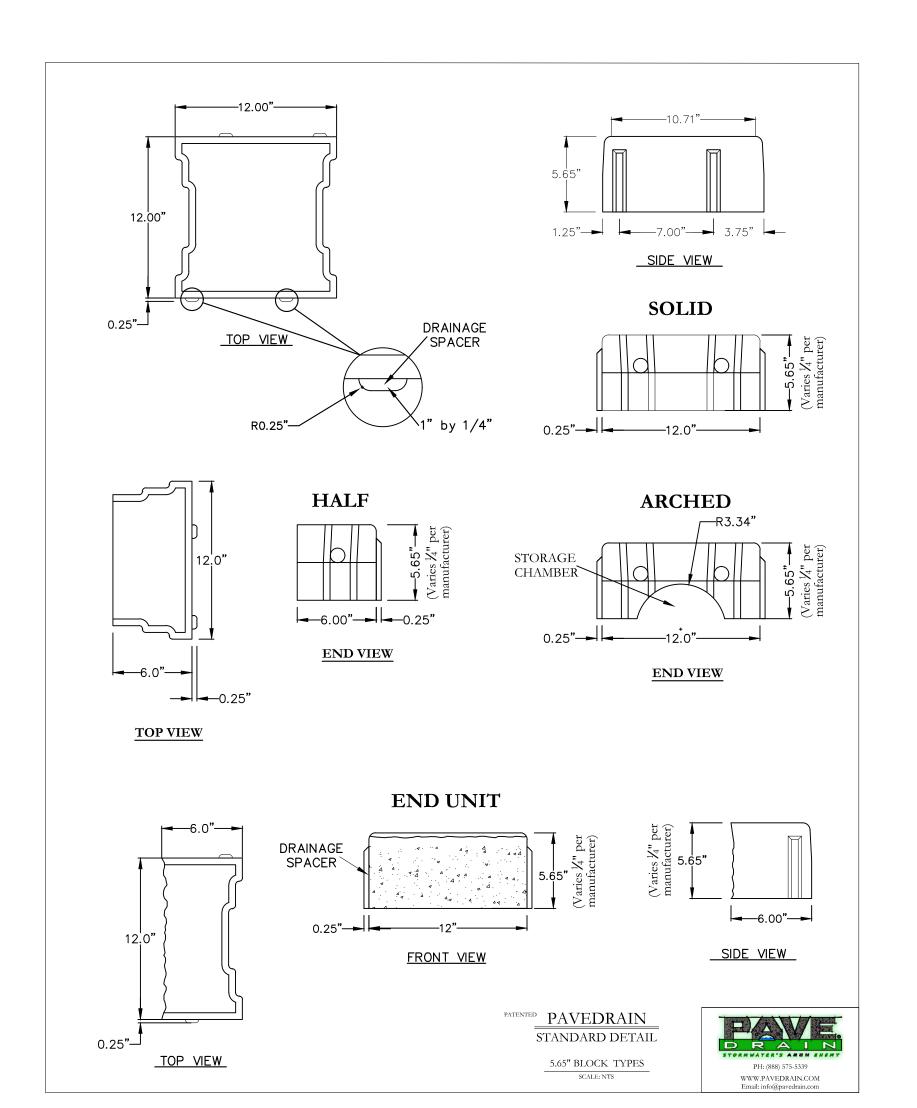


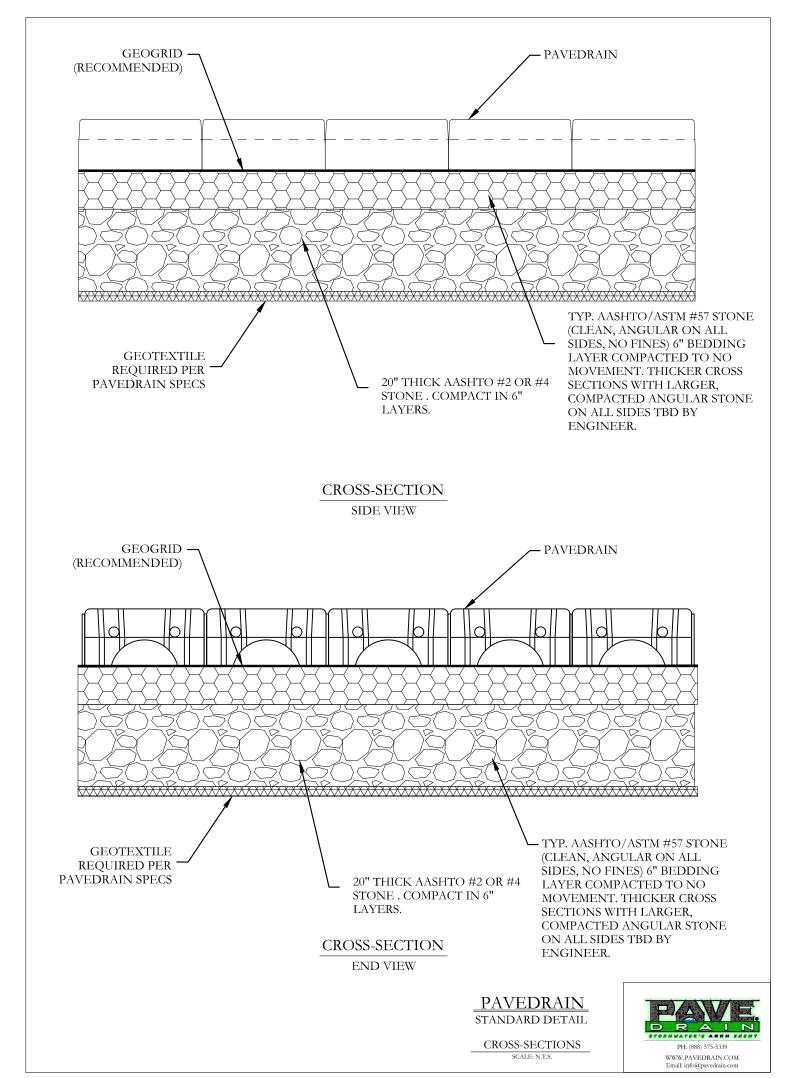


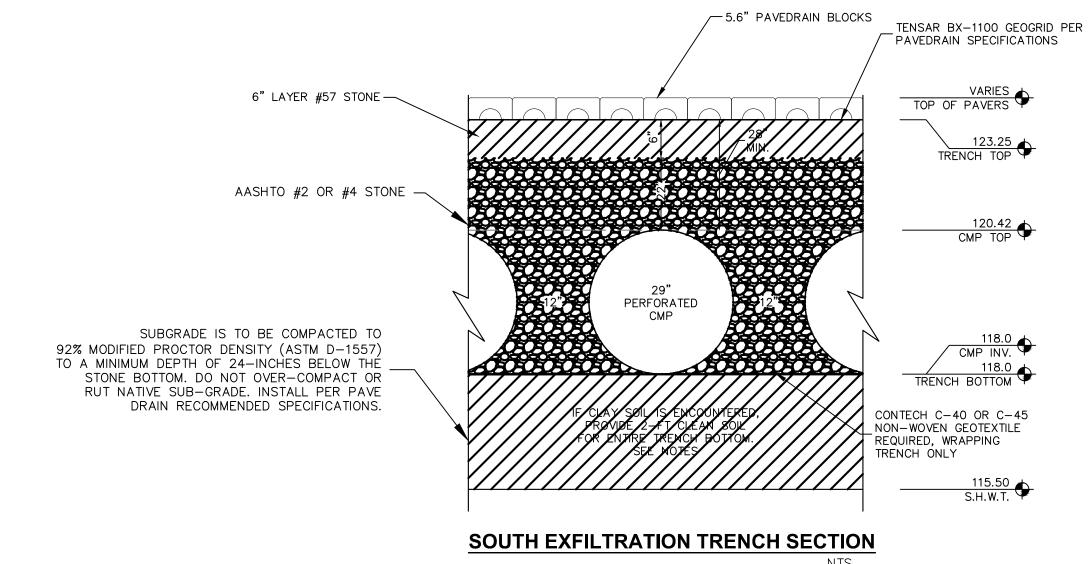
MODIFIED LIGHT POLE FOUNDATION

LOCATED IN THE PAVEDRAIN SECTIONS

NOT TO SCALE

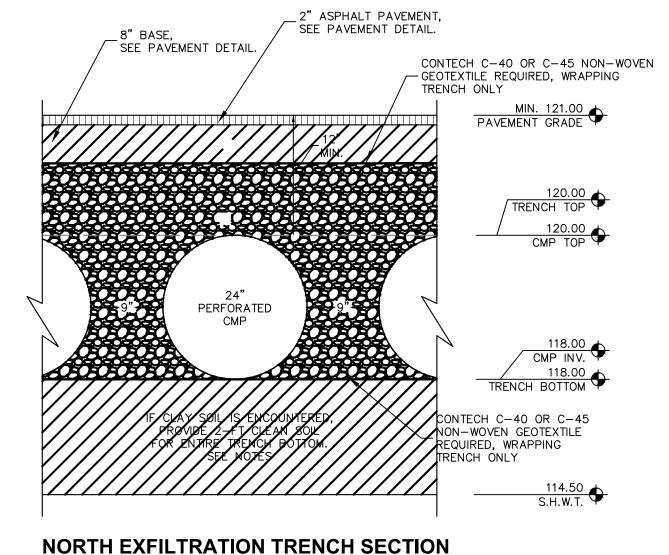






NOTE.

1. TRENCH BOTTOM FILL SHALL BE CLEAN, INORGANIC, GRANULAR SOIL (FINE SAND) WITH A FINES CONTENT OF NO MORE THAN 5 PERCENT. CARE SHOULD BE TAKEN NOT TO OVER—COMPACT THE BOTTOM DURING EXCAVATION AND GRADING.



# .... NTS

NOTE:

1. TRENCH BOTTOM FILL SHALL BE CLEAN, INORGANIC, GRANULAR SOIL (FINE SAND) WITH A FINES CONTENT

CONTRACTOR NOTE:

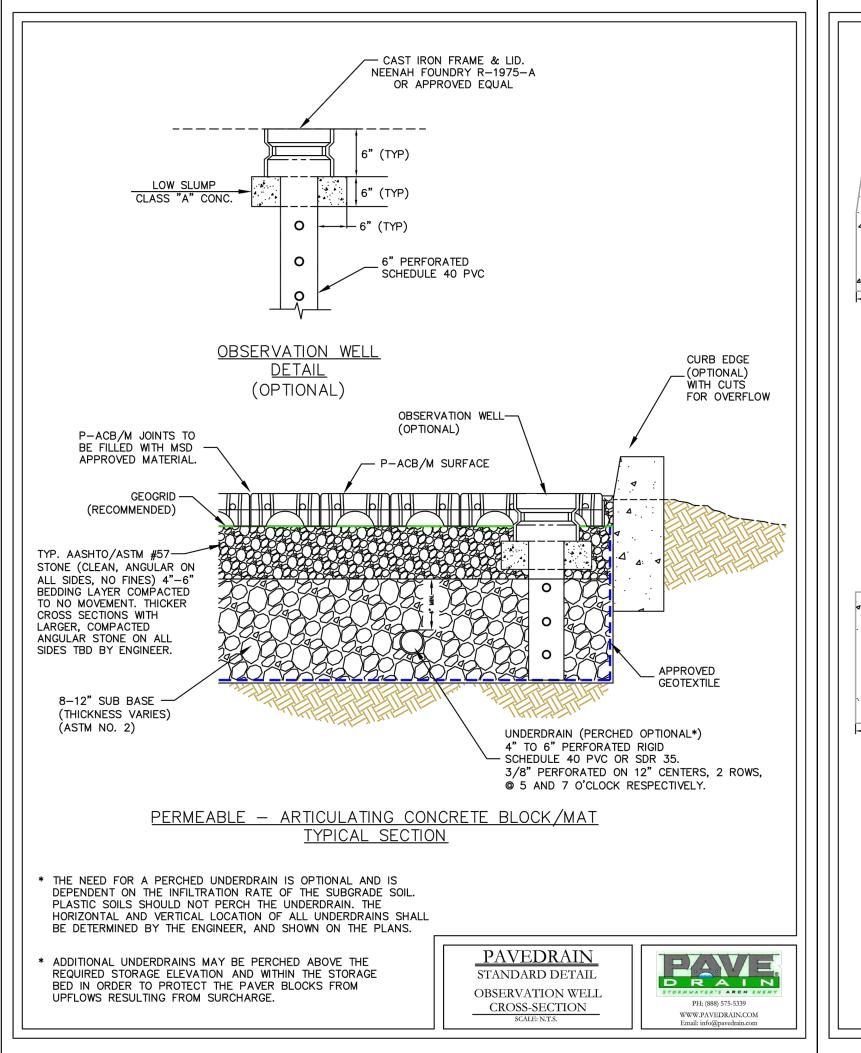
- 1. CONSTRUCTION AND INSTALLATION SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY THE PRODUCT MANUFACTURER AND/OR FAMILIAR WITH AND FOLLOWING THE RECOMMENDATIONS AND PROCEDURES STATED WITHIN THE PAVEDRAIN INSTALLATION MANUAL (LATEST ED.) AND THE PAVEDRAIN NOTES CONTAINED WITHIN SHEET C9.3.
- 2. WITHIN 2 WEEKS PRIOR TO THE INSTALLATION OF THE PAVEDRAIN P-ACB SYSTEM, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH CONTRACTOR PERFORMING INSTALLATION, ENGINEER, SUPPLIER, AND ANY OTHER APPROPRIATE REPRESENTATIVE.

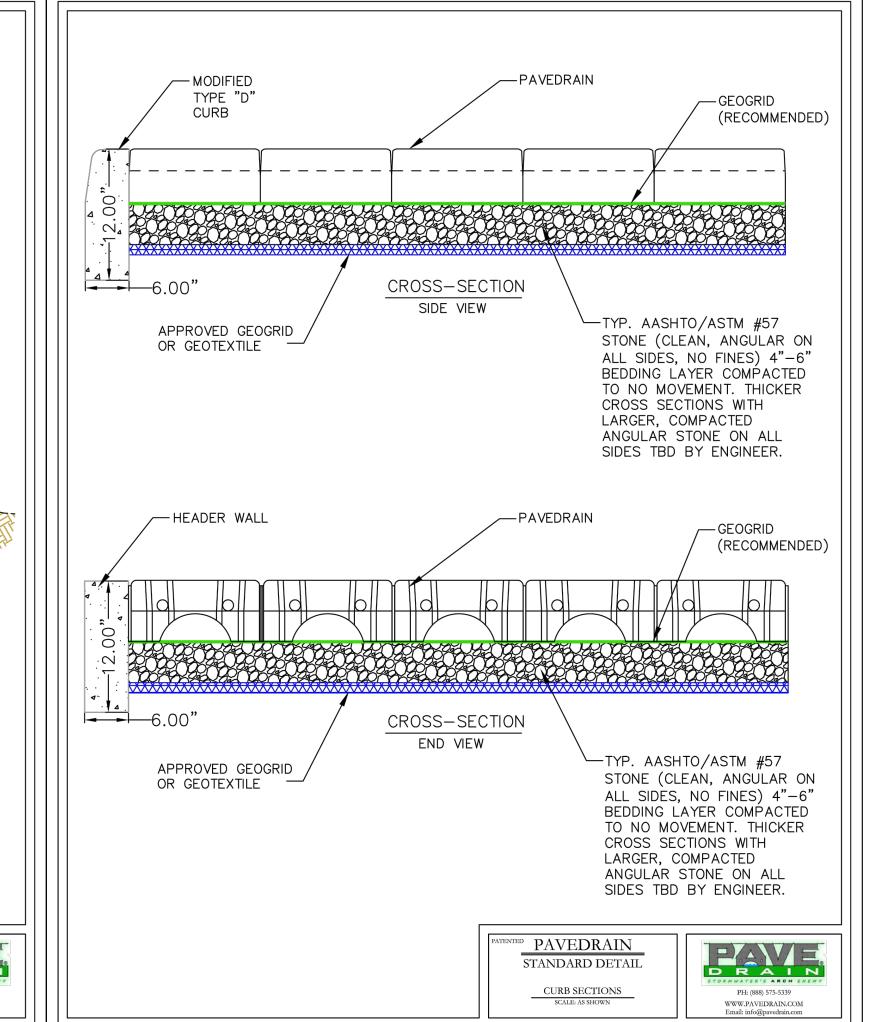
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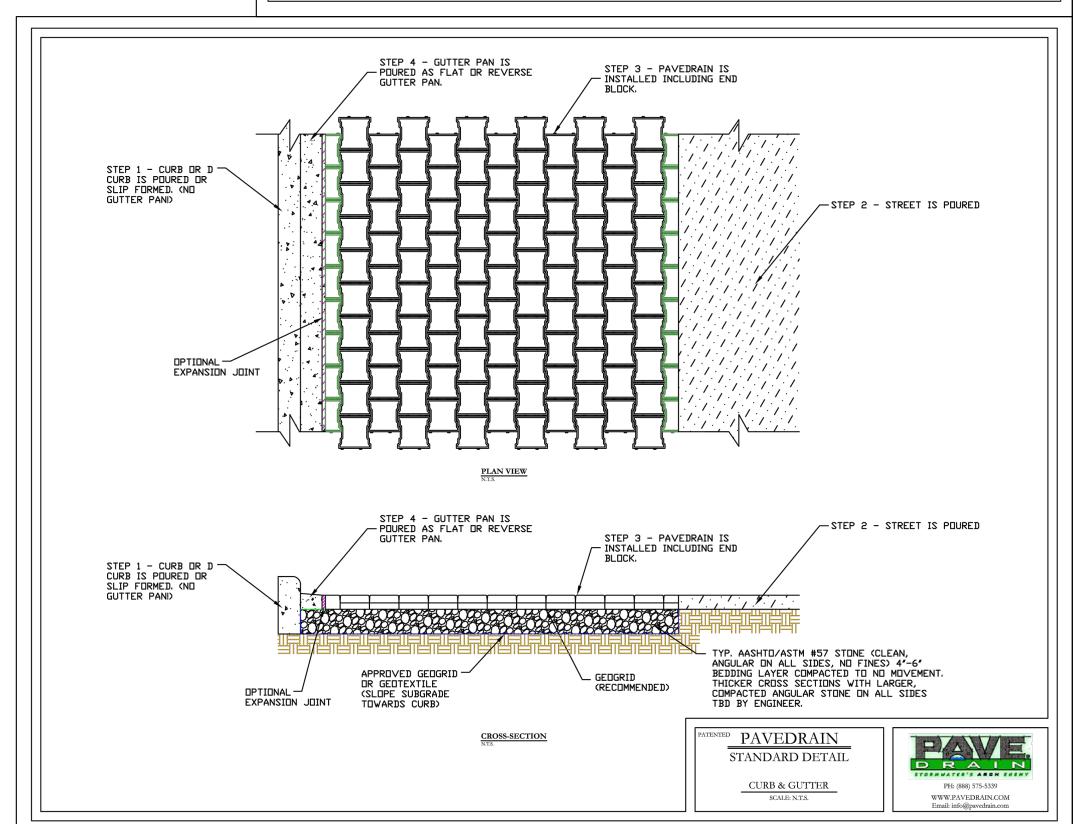
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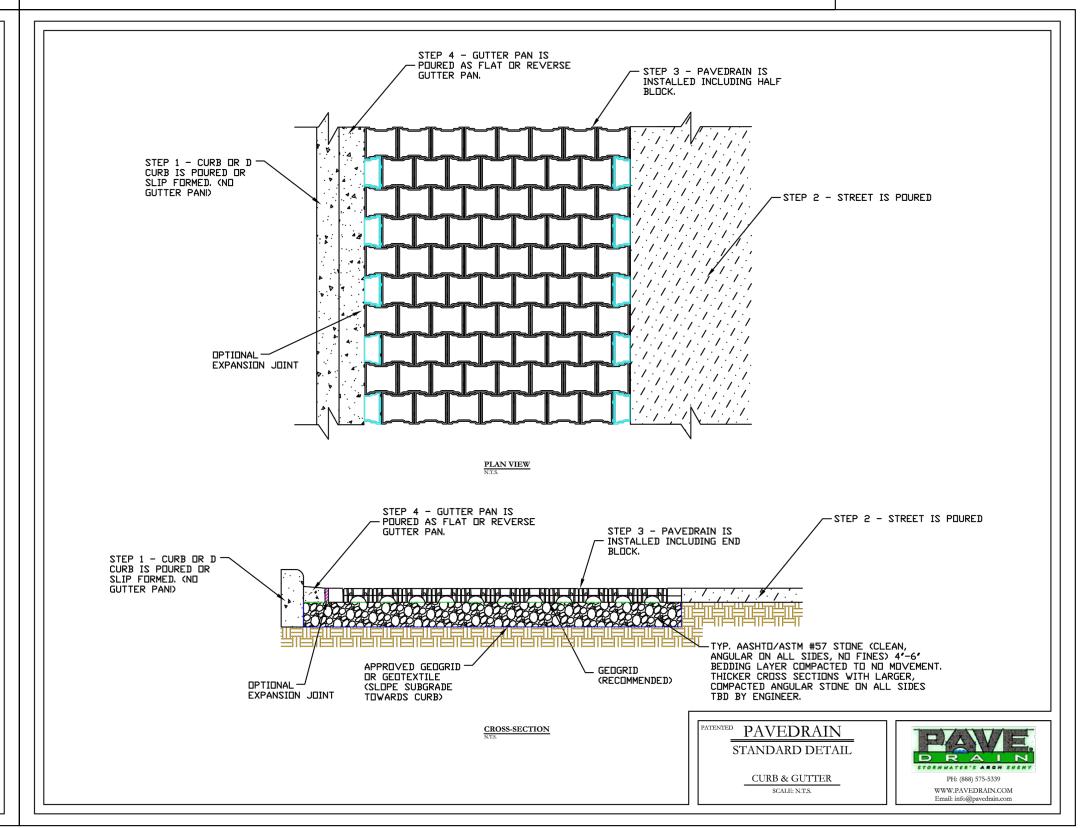
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CONTRACTOR NOTE:

- 1. CONSTRUCTION AND INSTALLATION SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY THE PRODUCT MANUFACTURER AND/OR FAMILIAR WITH AND FOLLOWING THE RECOMMENDATIONS AND PROCEDURES STATED WITHIN THE PAVEDRAIN INSTALLATION MANUAL (LATEST ED.) AND THE PAVEDRAIN NOTES CONTAINED WITHIN SHEET
- 2. WITHIN 2 WEEKS PRIOR TO THE INSTALLATION OF THE PAVEDRAIN P-ACB SYSTEM, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH CONTRACTOR PERFORMING INSTALLATION, ENGINEER, SUPPLIER, AND ANY OTHER APPROPRIATE REPRESENTATIVE.

 D

GENERAL

RMERE

ROPE WINDE

> SHEET NUMBER C8.3

### PAVEDRAIN SPECIFICATIONS PAVEDRAIN SPECIFICATIONS PAVEDRAIN SPECIFICATIONS 1.0 SUBMITTALS B. ACCEPTABLE MANUFACTURERS AND DISTRIBUTION PARTNERS: 3.7 POST INSTALLATION CERTIFICATION A. REFER TO SECTION 01 33 00 - SUBMITTAL PROCEDURES A. UPON COMPLETION OF THE PAVEDRAIN INSTALLATION, THE SURFACE INFILTRATION RATE OF THE PERMEABLE 1. LOCAL - ACF ENVIRONMENTAL. (800) 448-3636, SALES@ACFENVIRONMENTAL.COM PAVEMENT AREA SHALL BE VERIFIED IN ACCORDANCE WITH ASTM C1781 OR C1701 TO CONFIRM THE REQUIRED WWW.ACFENVIRONMENTAL.COM B. SHOP DRAWINGS: SUBMIT DESIGN DETAILS, UNIT DETAILS, CROSS—SECTIONS AND LAYOUTS AS PER CONTRACT INFILTRATION RATE AS PER TABLE 1 IN THIS SPECIFICATION. DOCUMENTS TO ENGINEER OF RECORD (EOR). 2. NATIONAL - PAVEDRAIN, LLC. (888) 575-5339, INFO@PAVEDRAIN.COM B. IF THE SYSTEM FAILS TO PERFORM AS REQUIRED IN TABLE 1 OF THIS SPECIFICATION, IT SHALL BE REMOVED AND WWW.PAVEDRAIN.COM C. SAMPLES: REPLACED AT THE SUPPLIER'S EXPENSE. 3. MANUFACTURER - TITAN AMERICA. CONTACT: GREG STRICKLAND 1. NATURAL GRAY: SUBMIT ONE (1) FULL-SIZED P-ACB SAMPLE. C. THE EXPENSES ASSOCIATED WITH THIS POST INSTALLATION INFILTRATION VERIFICATION ARE INCLUDED IN THE COST 561-291-3459, GSTRICKLAND@TITANAMERICA.COM OF THE PERMEABLE SYSTEM AND PROVIDED BY THE SUPPLIER. 2. COLOR: SUBMIT 4" X 4" SAMPLES REPRESENTATIVE OF COLOR(S) SELECTED WITHIN THIS SPECIFICATION OR 2.2 AGGREGATE MATERIALS NOTED ON CONTRACT DOCUMENTS 3.8 INSPECTION AND MAINTENANCE OF P-ACB SYSTEM A. OPEN-GRADED COARSE AGGREGATE: SELECT COARSE AGGREGATE SHALL BE CLEAN MATERIAL FREE FROM 3. MINIMUM 3 LB. SAMPLES OF PROPOSED SUBBASE &/OR BASE AGGREGATE MATERIALS.

ORGANIC MATERIALS AND ANGULAR ON ALL SIDES. SELECT COARSE AGGREGATE SHALL MEET THE GRADATIONS

THAT ARE LISTED IN TABLE 1 OF ASTM D448 AND BASED ON SIEVE ANALYSIS IN ACCORDANCE TO ASTM C136.

RECYCLED AGGREGATE MATERIAL IS NOT ALLOWED WITHIN THE TOP 4-6" ELEVATION DIRECTLY CONTACTING THE

1. BASE COURSE AGGREGATE: ASTM GRADE #57 STONE SHALL BE USED AS THE FINISH (TOP) 4-6" LAYER OF

2. SECONDARY SUB-BASE AGGREGATE: ASTM GRADE #2, #3 OR #4 AS DETERMINED BY ENGINEER OF RECORD,

CONTACT MANUFACTURER OR DISTRIBUTOR ABOUT LOCAL AVAILABILITY OF DIFFERENT AGGREGATE GRADES

A. TRANSITION: UTILIZE PAVEDRAIN END BLOCK. SOLID BLOCK AND HALF BLOCK SHAPES TO MAKE SMOOTH

TRANSITIONS WITH CURBS AND OTHER RIGID SURFACES AS PER SHOP DRAWINGS &/OR CONTRACT DOCUMENTS.

B. EDGE RESTRAINT: TYPE AND DIMENSIONS SHALL BE INDICATED BY EOR AS PER SHOP DRAWINGS &/OR CONTRACT

A. GEOTEXTILE: ACF M200 (OR APPROVED EQUAL), A HIGH STRENGTH, HIGH WATER FLOW, WOVEN MONOFILAMENT OR

B. GEOGRID: TENSAR BX-1100 OR SYNTEEN STF-P11 (OR APPROVED EQUAL) AS SPECIFIED BY EOR BASED ON NATIVE

A. THE CONTRACTOR SHALL VERIFY THAT THE SUBGRADE HAS BEEN EXCAVATED, SHAPED, STABILIZED AND

B. VERIFY THAT NATIVE SUBGRADE HAS BEEN COMPACTED TO A MAXIMUM OF 95% MODIFIED PROCTOR IN ACCORDANCE TO ASTM D 1557. DO NOT OVER OVER-COMPACT OR RUT NATIVE SUBGRADE. OVER-COMPACTION OF

C. IMMEDIATELY PRIOR TO PLACING THE PAVEDRAIN UNITS, THE FINAL PREPARED SUB-BASE AGGREGATE SHALL BE

A. GEOTEXTILE: THE CONTRACTOR SHALL PLACE ACF M200 (OR APPROVED EQUAL) WOVEN MONOFILAMENT OR

B. GEOGRID: INSTALL TENSAR BX-1100 OR SYNTEEN STF-P11 (OR APPROVED EQUAL) DIRECTLY ON TOP OF PROPERLY PREPARED AND LEVELED FINAL AGGREGATE BASE. REQUIREMENT OF GEOGRID SEPARATOR TO BE

A. THE THICKNESS OF THE SUB-BASE, REQUIREMENT OF MULTIPLE GRADATIONS OF OPEN-GRADED COARSE AGGREGATE AND INTERMEDIATE GEOSYNTHETIC SHALL BE INDICATED BY THE EOR AND DETAILED ON THE CONTRACT

B. ALL BASE AGGREGATES SHALL BE COMPACTED IN SIX TO EIGHT (6-8") INCH LIFTS WILL A ROLLER COMPACTOR

C. FINISHED GRADE SHALL BE A SMOOTH, PLANE SURFACE WITH NO SIGN OF MOVEMENT AND CONFORM TO THE LINES,

DOCUMENTS. THE MINIMUM THICKNESS OF OPEN-GRADED COARSE AGGREGATE IS SIX (6) INCHES. IF MORE THAN SIX (6) INCHES OF BASE AGGREGATE IS REQUIRED, ONLY THE TOP FOUR TO SIX (4-6) INCHES SHALL BE ASTM

AND FINAL GRADE LEVEL COMPACTED WITH A MINIMUM 10,000 LB. VIBRATORY PLATE COMPACTOR IN WITH AT

LEAST TWO PASSES IN BOTH THE PERPENDICULAR AND PARALLEL DIRECTIONS. OPEN-GRADED BASE AGGREGATE

1. WHEN USING MULTIPLE AGGREGATE LAYERS INCLUDING ASTM #2. #3 OR #4. THE CONTRACTOR SHALL COMPACT

1. THE CONTRACTOR SHALL DETERMINE THE BEST STARTING POINT OF THE PAVEDRAIN UNIT INSTALLATION TO

2. PLACE PAVEDRAIN UNITS TIGHT TOGETHER IN RUNNING BOND PATTERN SUCH THAT ONE UNIT IS DIRECTLY IN

CONTACT WITH ONE HALF OF THE TWO ADJACENT UNITS. PLACE UNITS IN SUCH A MANNER AS TO ENSURE THAT

3. VERIFY THAT EACH PAVEDRAIN UNIT MAKES CONTACT WITH THE GEOGRID OR OPEN—GRADED AGGREGATE

4. WHEN NECESSARY, MAKE PARTIAL UNITS FROM SAW CUTTING SOLID, ARCH—LESS PAVEDRAIN UNITS. TRANSITIONS AGAINST CURBS AND OTHER RIGID PAVEMENTS SHOULD BE MADE WITH MAXIMUM ONE-HALF (1/2)

1. MINOR ADJUSTMENTS TO PROPERLY ENGAGE PAVEDRAIN UNITS SHALL BE MADE WITH A DEAD BLOW HAMMER OR

2. ONCE ALL PAVEDRAIN UNITS HAVE BEEN INSTALLED, MINOR DIFFERENTIAL HEIGHTS BETWEEN UNITS CAN BE CORRECTED WITH A SMALL NON-VIBRATORY SINGLE OR DOUBLE BARREL ROLLER COMPACTOR OR VIBRATORY PLATE COMPACTOR. WHEN USING PLATE COMPACTOR, PROTECT UNITS WITH NONWOVEN GEOTEXTILE OR MAT TO ELIMINATE

A. NO INDIVIDUAL PAVEDRAIN UNIT SHALL PROTRUDE MORE THAN ONE-QUARTER (1/4) INCH WITHIN THE PLANE OF

A. THE JOINTS BETWEEN THE PAVEDRAIN UNITS DO NOT REQUIRE BACKFILLING WITH SMALLER AGGREGATE JOINT

MATERIAL OR SAND IN ORDER TO FUNCTION PROPERLY. THE JOINTS ARE DESIGNED TO BE LEFT OPEN; THIS

CONFORM TO THE LINES, GRADES AND ELEVATIONS SHOWN ON THE CONTRACT DOCUMENTS.

THE PATTERN REMAINS SQUARE TO CURBS, TRANSITIONS OR ADJACENT PAVEMENTS

3. INSPECT COMPLETED INSTALLATION AND REPLACE ANY CRACKED OR DAMAGED UNITS.

B. NO GAP BETWEEN THE INDIVIDUAL PAVEDRAIN UNITS SHALL EXCEED ONE-HALF (1/2) INCH.

MULTIFILAMENT GEOTEXTILE FLAT ON SUBGRADE AND VERTICAL SECTIONS OF BASE AGGREGATE FREE OF WRINKLES

AND OVERLAPPING A MINIMUM OF TWELVE (12) INCHES. BASED ON THE SOIL PROPERTIES OF THE SITE, THE

UNSATISFACTORY CONDITIONS MUST BE CORRECTED PRIOR TO INSTALLATION OF THE PAVEDRAIN UNITS.

THE NATIVE SOIL SUBGRADE COULD REDUCE THE INFILTRATION RATE OF THE NATIVE SOIL AND MUST BE MINIMIZED

INSPECTED BY THE EOR AND WITNESS TO A PROOF ROLL TEST BY A FULLY LOADED DUMP TRUCK.

COMPACTED IN ACCORDANCE TO SECTIONS 31 22 00, 31 23 00, 31 32 00 & 31 34 00 AND CONFORMS TO THE

SOIL PROPERTIES. REQUIREMENT OF GEOGRID SEPARATOR TO BE DETERMINED BY THE ENGINEER OF RECORD

MULTIFILAMENT GEOTEXTILE AS SPECIFIED BY EOR BASED ON NATIVE SOIL PROPERTIES.

GEOTECHNICAL ENGINEER SHALL DETERMINE WHAT STRENGTH GEOTEXTILE IS REQUIRED

LINES, GRADES AND CROSS-SECTIONS SHOWN ON CONTRACT DOCUMENTS.

THICKNESS AS INDICATED BY CROSS-SECTIONS ON THE SHOP DRAWINGS &/OR CONTRACT DOCUMENTS.

BOTTOM OF THE PAVEDRAIN UNITS.

2.3 TRANSITION AND EDGE RETRAINTS

DOCUMENTS.

PART 3 - EXECUTION

3.1 EXAMINATION AND INSPECTION

3.2 GEOSYNTHETIC INSTALLATION

DETERMINED BY THE ENGINEER OF RECORD

INSTALLATION SHALL NOT DAMAGE OR DISLODGE THE GEOTEXTILE.

GRADES AND CROSS-SECTIONS SHOWN ON CONTRACT DOCUMENTS.

3.4 PAVEDRAIN PERMEABLE ARTICULATING CONCRETE BLOCK INSTALLATION

A. REFER TO: PAVEDRAIN INSTALLATION MANUAL (LATEST EDITION)

SUB-BASE AND IS TIGHTLY ENGAGED WITH ADJACENT UNITS.

INCH GAPS UTILIZING SOLID, END AND HALF PAVEDRAIN UNITS.

INCLUDES FOLLOWING MAINTENANCE OF THE PAVEDRAIN SYSTEM.

B. HAND OR MECHANICAL PLACING PAVEDRAIN UNITS

A 2" LAYER OF ASTM #57 INTO THE ASTM #2, #3 OR #4.

3.3 AGGREGATE SUB BASE INSTALLATION

C. ADJUSTMENTS

SCUFFING.

3.5 TOLERANCES

3.6 FINISHING

RUBBER MALLET.

FINAL PLACED UNITS/MATS.

2.4 GEOSYNTHETIC MATERIALS

STONE DIRECTLY UNDERNEATH THE PAVEDRAIN UNITS.

- D. GEOSYNTHETIC: SUBMIT PRODUCT DATA SHEET(S) AND TEST REPORTS FOR GEOSYNTHETIC(S) PROPOSED FOR USE BY EOR WITHIN THIS SPECIFICATION OR ON CONTRACT DOCUMENTS.
- E. SUBMIT TO THE EOR MANUFACTURERS' PRINTED INSTALLATION MANUAL, LITERATURE, LAYOUT DRAWINGS, AND PRODUCT SPECIFICATIONS.
- F. CERTIFICATION OF COMPLIANCE
- TEST REPORTS INDICATE COMPLIANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS INCLUDING:
  - a. P-ACB UNIT COMPRESSIVE STRENGTH, MOISTURE CONTENT AND DENSITY ON LIKE UNITS, TESTED IN ACCORDANCE TO ASTM C140 BY INDEPENDENT LABORATORY PER UNIT REQUIREMENTS OF ASTM D6684, TABLE 1
  - b. SIEVE ANALYSIS OF ALL AGGREGATE GRADES INDICATED IN CONTRACT DOCUMENTS, SAMPLED ACCORDING TO ASTM D75 AND TESTED IN ACCORDANCE TO ASTM C136.
- c. SPECIFIED STANDARD SIZES OF COARSE AGGREGATES SHALL COMPLY WITH SIZES GIVEN IN ACCORDANCE TO ASTM D448, TABLE 1.
- 2. PERFORMANCE COMPLIANCE INDICATE COMPLIANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS INCLUDING:
- a. INFILTRATION PERFORMANCE SUBMIT INDEPENDENT LABORATORY TEST REPORT INDICATING IN-PLACE INFILTRATION PERFORMANCE OF: AVERAGE OF THREE (3) TESTS OF ONE THOUSAND (1,000) INCHES PER HOUR (IN/HR.). TEST SHALL BE PERFORMED IN ACCORDANCE TO ASTM C1781 OR C1701 AND BASED ON AN OUTDOOR WORKING SURFACE WITH TYPICAL BASE MATERIAL AND INSTALLATION.
- b. STRUCTURAL PERFORMANCE DESIGN OF THE P—ACB SHALL BE CAPABLE OF SUPPORTING AASHTO H—20, HS-20 AND HS-25 TRUCK LOADING WITH PROPER SUBGRADE AND BASE INSTALLATION. THE P-ACB'S SHALL BE ANALYZED AS UNREINFORCED CONCRETE ARCHES SUPPORTING A UNIFORM TRUCK TIRE LOAD WITH IMPACT PER AASHTO STANDARDS AS TESTED BY AN INDEPENDENT LABORATORY.
- c. MAINTAINABILITY PROVIDE MAINTENANCE STUDY BASED ON AT LEAST 24 MONTHS BY AN INDEPENDENT OR THIRD PARTY REPRESENTATIVE WHICH INCLUDES PRE AND POST INFILTRATION TESTING DOCUMENTATION IN MULTIPLE LOCATIONS IN ACCORDANCE WITH ASTM C1781 OR C1701. THE STUDY SHALL SHOW THAT AFTER MANUFACTURERS' RECOMMENDED MAINTENANCE THAT THE ORIGINAL INFILTRATION PERFORMANCE OF THE PERMEABLE SYSTEM CAN EFFECTIVELY BE RESTORED TO 80% + /-10% OF INITIAL INFILTRATION RATES.
- G. SUBSTITUTIONS 1. NO MATERIAL SHALL BE CONSIDERED AS AN EQUIVALENT TO THE P-ACB SPECIFIED HEREIN UNLESS IT MEETS
- 2. MANUFACTURER'S REQUESTING TO SUBMIT MATERIALS AS EQUIVALENT MUST PROVIDE RECORDS, DATA, INDEPENDENT LABORATORY TEST RESULTS, SAMPLES, CERTIFICATIONS, AND DOCUMENTATION MEETING ALL AREAS OF THIS SPECIFICATION WITHOUT EXCEPTION. ANY REQUESTS MUST BE SUBMITTED TO EOR 15 DAYS PRIOR TO BID <u>DATE</u>.

### 1.1 SCHEDULING

- A. CONTRACTOR SHALL CONTACT P-ACB MANUFACTURER TO DETERMINE NECESSARY LEAD TIME TO PRODUCE UNIT MATERIAL ORDER.
- B. SCHEDULE MANUFACTURE AND DELIVERY OF P-ACB'S TO COINCIDE WITH CONSTRUCTION SCHEDULE TO PREVENT STORAGE FOR EXTENDED PERIODS.
- C. APPROXIMATELY TWO (2) WEEKS PRIOR TO THE START OF THE INSTALLATION, A PRECONSTRUCTION MEETING SHALL OCCUR WITH REPRESENTATIVE(S) FROM THE DESIGN TEAM, GENERAL CONTRACTOR, SITE CONTRACTOR, INSTALLATION CONTRACTOR AND MANUFACTURERS' REPRESENTATIVE.

# 1.2 DELIVERY, STORAGE AND HANDLING

- A. P-ACB INDIVIDUAL BLOCKS MUST BE DELIVERED ON WOODEN PALLETS AND MARKED ACCORDINGLY.
- B. ALL P-ACB'S SHALL BE SOUND AND FREE OF DEFECTS THAT WOULD INTERFERE WITH PROPER PLACEMENT OR THAT WOULD IMPAIR THE STRENGTH OF LONGEVITY OF THE INSTALLATION.
- C. MINOR CRACKS INCIDENTAL TO THE USUAL METHOD OF MANUFACTURE; SCUFFING OR CHIPPING THAT RESULTS FROM CUSTOMARY METHODS OF HANDLING IN SHIPPING, DELIVERY AND PLACEMENT SHALL NOT BE DEEMED GROUNDS FOR REJECTION.

# PART 2 - PRODUCTS

2.1 MANUFACTURED PERMEABLE ARTICULATING CONCRETE BLOCK (P-ACB)

ALL AREAS OF THIS SPECIFICATION WITHOUT EXCEPTION.

- A. PAVEDRAIN® P-ACB
- 1. COLOR(S): DARK GREY TO BE REVIEWED AND APPROVED BY THE OWNER AND EOR PRIOR TO FABRICATION. 2. TYPE: CLOSED-CELL PRE-MANUFACTURED INDIVIDUAL CONCRETE BLOCKS WITH AN ARCHED STORAGE CHAMBER FOR ADDITIONAL STORMWATER RUNOFF CAPACITIES AS PER SHOP DRAWINGS &/OR CONTRACT DOCUMENTS. BLOCKS MAY BE HAND-PLACED OR MECHANICALLY INSTALLED.
- 3. PHYSICAL AND PERFORMANCE REQUIREMENTS: AT THE TIME OF DELIVERY TO THE WORK SITE, THE UNITS SHALL CONFORM TO THE REQUIREMENTS PRESCRIBED IN TABLE 1 BELOW.

# TABLE 1: PHYSICAL & PERFORMANCE CHARACTERISTICS

Item	Description	Values
Dimensional Tolerance	Length x Width x Height ASTM D6684 Section 5.3.2	12" x 12" x 5.65" (+/- 1/8")
Compressive Strength	ASTM D6684 / ASTM C140	Avg. of three units: 4,000 psi min. Individual units: 3,500 psi min.
Block Unit Weight		Arched Block: 45-50 lbs/sf Solid Block: 55-60 lbs/sf
Loading Capabilities	Truck Load Traffic Rating	AASHTO H-20,HS-20, HS-25
Joint Filler Between Blocks	Material Used	NONE Required
Percent Open Space		Surface: 7% Storage: 20%
Water Absorption (Max. %)  Density (Min. lb/ft <sup>3</sup> )	ASTM D6684 Table 1/ ASTM C140	Avg. of three units: 9.1% lb/ft <sup>3</sup> Individual units: 11.7% lb/ft <sup>3</sup> Avg. of three units: 130 lb/ft <sup>3</sup>
, , , ,		Individual units: 125 lb/ft <sup>3</sup>
Storage Capacity	Above Aggregate Within Arch	0.0833 cf/block
Post-Installation, Verified Surface Infiltration Rates	ASTM C1781 Test Method	Avg. of three tests: 1,000 in/hr min.

- A. REFER TO: PAVEDRAIN MAINTENANCE MANUAL (LATEST EDITION)
- B. THE MANUFACTURER'S REPRESENTATIVE OF THE P-ACB SHALL PROVIDE A MINIMUM 36 MONTH MAINTENANCE PROGRAM; INCLUDING A VISUAL INSPECTION REPORT WITH PHOTOS AND A RECOMMENDED CLEANING SCHEDULE WITH A VACUUM TRUCK SUCH AS THE ELGIN® WHIRLWIND® OR MEGAWIND® OR WITH THE PAVEDRAIN® VAC HEAD AND ASSOCIATED COMBINATION SANITATION VAC TRUCK. REFER TO THE PAVEDRAIN VAC HEAD INSTRUCTION MANUAL (LATEST EDITION).
- C. MAINTENANCE SHALL BE REQUIRED WHEN <u>EITHER</u> OF THE FOLLOWING TWO CONDITIONS ARE MET:
- 1. THE SURFACE INFILTRATION RATES OF MORE THAN 75% OF THE TOTAL PERMEABLE SURFACE FALLS BELOW 10% OF THE RATE REQUIRED IN TABLE 1.
- 2. SURFACE PONDING REMAINS FOR 24 HOURS IN AN AREA GREATER THAN 10 SQUARE FEET OF THE PERMEABLE SURFACE.

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CONTRACTOR NOTE:

- 1. CONSTRUCTION AND INSTALLATION SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY THE PRODUCT MANUFACTURER AND/OR FAMILIAR WITH AND FOLLOWING THE RECOMMENDATIONS AND PROCEDURES STATED WITHIN THE PAVEDRAIN INSTALLATION MANUAL (LATEST ED.) AND THE PAVEDRAIN NOTES CONTAINED WITHIN SHEET
- 2. WITHIN 2 WEEKS PRIOR TO THE INSTALLATION OF THE PAVEDRAIN P-ACB SYSTEM. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH CONTRACTOR PERFORMING INSTALLATION. ENGINEER. SUPPLIER. AND ANY OTHER APPROPRIATE REPRESENTATIVE.

STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A

FIGURE GN

### OCU GENERAL NOTES:

DATE: February 11, 2011

- 1. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- 2. SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
- 3. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
- 4. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
- 5. THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- 6. ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- 7. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
- 8. THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- 9. ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
- 10. CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	RESTRAINED PIPE TABLE WATER AND RECLAIMED WATER MAINS	FIGURE A104-1

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)										
					PIPE	SIZE				
TYPE			PVC					DIP		
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	25	36	46	55	64	65	77	89	105	120
45° BEND	10	15	19	23	26	27	32	37	44	50
22-1/2° BEND	5	8	9	11	13	13	15	18	21	24
11-1/4° BEND	3	4	5	6	8	7	8	9	10	12
PLUG OR BRANCH OF TEE	53	74	97	117	135	138	166	194	231	265
VALVE	27	38	49	59	68	69	83	97	116	133
REDUCER	11	VARIES BY SIZE; TO BE DETERMINED BY THE DESIGN ENGINEER.								

- 1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
- 2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
- 3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH
- THAT YIELDS THE LONGEST RESTRAINT DISTANCE. 4. ALL INLINE VALVES SHALL BE RESTRAINED.
- 5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE
- PAINTED RED. 6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH
- PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:
- WORKING PRESSURE: 150 PSI SOIL DESIGNATION: SM (SAND SILT) LAYING CONDITIONS: DEPTH OF COVER: 3 FT
- SAFETY FACTOR: 1.5
- CONVERSION FACTOR FOR PVC PIPE: 1.25
- THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC SOIL DESIGNATIONS, LAYING CONDITIONS, PIPE MATERIAL, ETC. FOR DIP ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF

- 11. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- 12. ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
- 13. THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- 14. FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
- 15. FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

APPENDIX A	STANDARD DRAWINGS	GENERAL
DATE: February 11, 2011	RESTRAINED PIPE TABLE WASTEWATER FORCE MAINS	FIGURE A104-2

TVDE		PVC PIPE SIZE								
TYPE	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	18	24	31	38	43	55	65	75	88	100
45° BEND	8	10	13	15	18	23	26	31	38	43
22-1/2° BEND	4	5	6	8	9	11	13	15	18	20
11-1/4° BEND	2	3	4	5	6	8	9	10	11	13
PLUG OR BRANCH OF TEE	38	50	65	79	90	117	139	163	194	223
	1									

| 19 | 25 | 32 | 40 | 45 | 59 | 70 | 82 | 98 | 112 |

VARIES BY SIZE; TO BE DETERMINED BY THE

VALVE

REDUCER

1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.

DESIGN ENGINEER.

- 2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
- 3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH
- THAT YIELDS THE LONGEST RESTRAINT DISTANCE. 4. ALL INLINE VALVES SHALL BE RESTRAINED.
- 5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
- 6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:

WORKING PRESSURE: 100 PSI SOIL DESIGNATION: SM (SAND SILT) LAYING CONDITIONS:

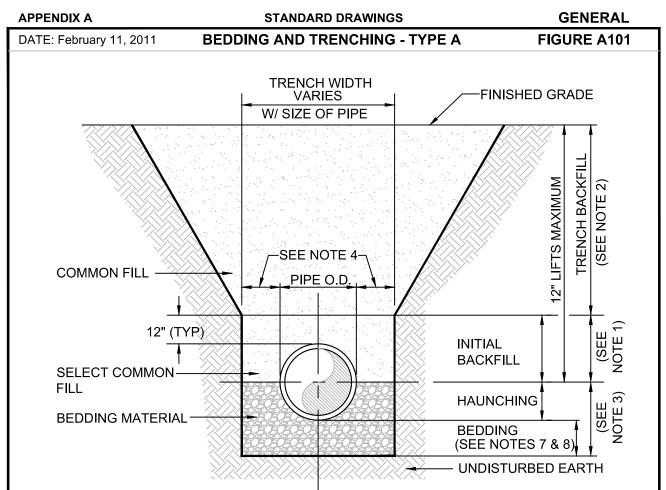
DEPTH OF COVER: 3 F

SAFETY FACTOR: 1

CONVERSION FACTOR FOR PVC PIPE: 1.25

THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC PARAMETERS, SUCH AS SOIL DESIGNATIONS AND LAYING CONDITIONS.

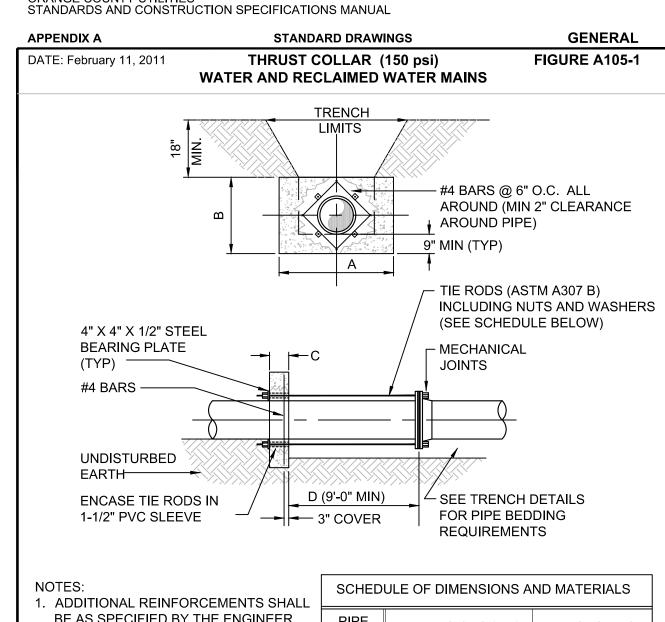
STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



- . INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- . TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE. 4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE
- DIAMETER 24" AND LARGER. 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE
- BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
- . DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF
- UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION. . FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF R/W UTILIZATION

ORANGE COUNTY UTILITIES

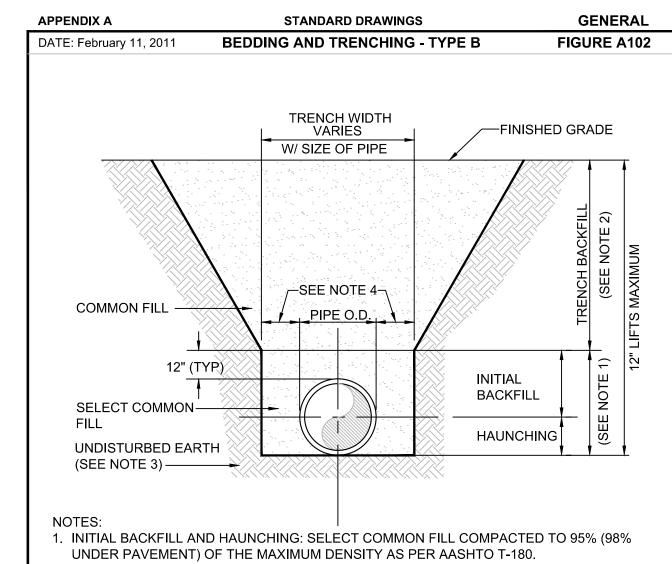
REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.



### BE AS SPECIFIED BY THE ENGINEER. DIMENSIONS (FT.) | TIE RODS REQ'D 2. MINIMUM COMPRESSIVE STRENGTH |(INCHES)|| A | B | C | D | DIA. | NO. FOR CONCRETE SHALL BE 3000 PSI. 3. BEDDING, BACKFILL AND COMPACTION $\begin{vmatrix} 6 & 2.0 & 2.0 & 1.0 & 3/4 & 2 \end{vmatrix}$ SHALL BE AS SPECIFIED ELSEWHERE IN THE STANDARD DRAWINGS. 8 2.5 2.5 1.0 3/4 2 10 3.5 3.0 1.0 3/4 4 4. ALL FORM BOARDS SHALL BE REMOVED 12 5.0 3.0 1.0 3/4 4

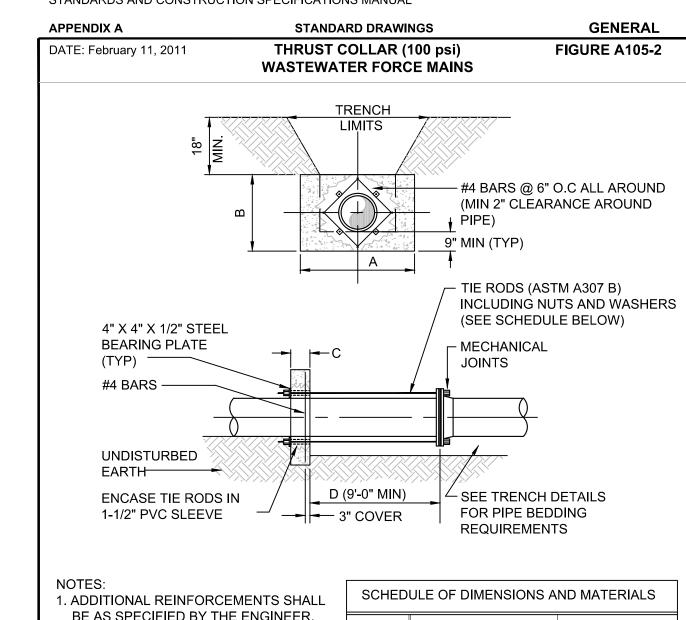
- PRIOR TO BACKFILL. 5. NO ALLOWANCE SHALL BE MADE FOR FRICTION BETWEEN THE PIPE WALL AND THE THRUST COLLAR.
- 6. DESIGN PRESSURE: 150 PSI. REQUIRED FOR LINE STOPS.
- 16 | 6.0 | 4.0 | 1.5 | 3/4 | 4 20 8.0 5.0 1.5 3/4 6 24 9.0 6.0 1.5 3/4 8 NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING.

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



- 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY
- 4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION. 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE
- . FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL
- APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



BE AS SPECIFIED BY THE ENGINEER. 2. MINIMUM COMPRESSIVE STRENGTH FOR SIZE CONCRETE SHALL BE 3000 PSI. 3. BEDDING, BACKFILL, AND COMPACTION SHALL BE AS SPECIFIED ELSEWHERE IN

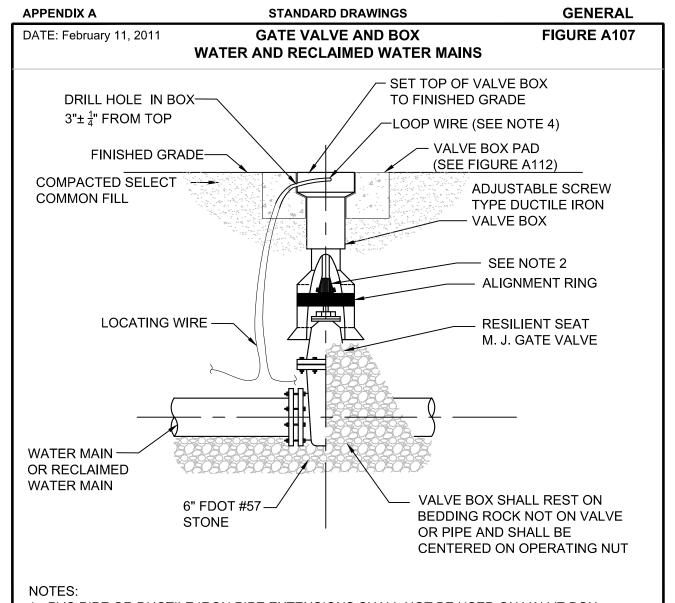
- THE STANDARD DRAWINGS. 5. NO ALLOWANCE SHALL BE MADE FOR
- THE THRUST COLLAR.
- 6. DESIGN PRESSURE: 100 PSI. 7. REQUIRED FOR LINE STOPS.

DIMENSIONS (FT.) | TIE RODS REQ'D (INCHES) A B C D DIA. NO. 6 | 2.0 | 2.0 | 1.0 | 3/4 | 2 8 | 2.5 | 2.5 | 1.0 | 3/4 | 4. ALL FORM BOARDS SHALL BE REMOVED 10 3.0 2.5 1.0 3/4 4 PRIOR TO BACKFILL. 12 4.0 3.0 1.0 3/4 4 16 | 5.5 | 3.5 | 1.5 | 3/4 | 4 FRICTION BETWEEN THE PIPE WALL AND 20 7.5 4.0 1.5 3/4 4 24 | 8.5 | 5.0 | 1.5 | 3/4 | 6 NOTE: THRUST COLLAR AREAS TO BE COMPUTED ON BASIS OF 2000 LBS/SF SOIL RESTRAINT BEARING.

SHEET NUMBER

C9.0

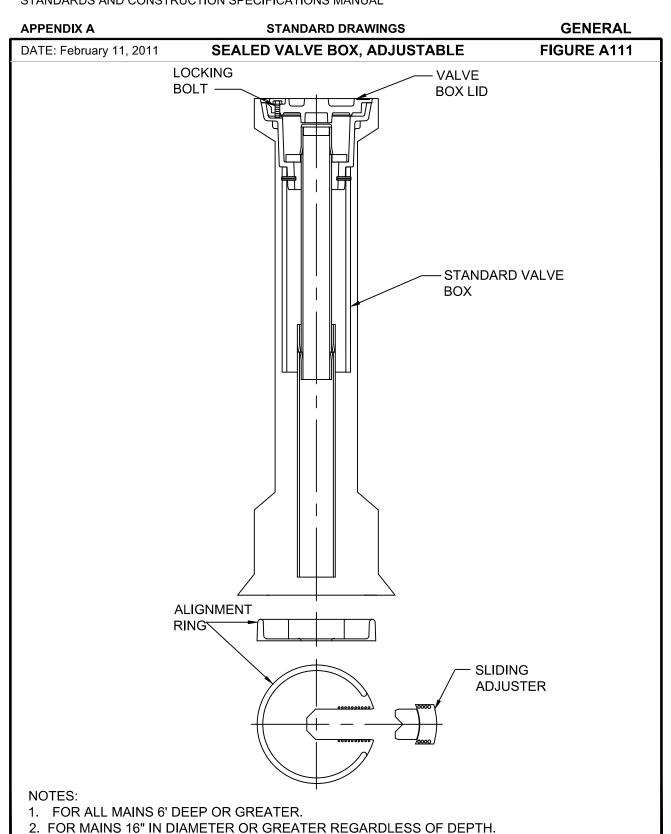
### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



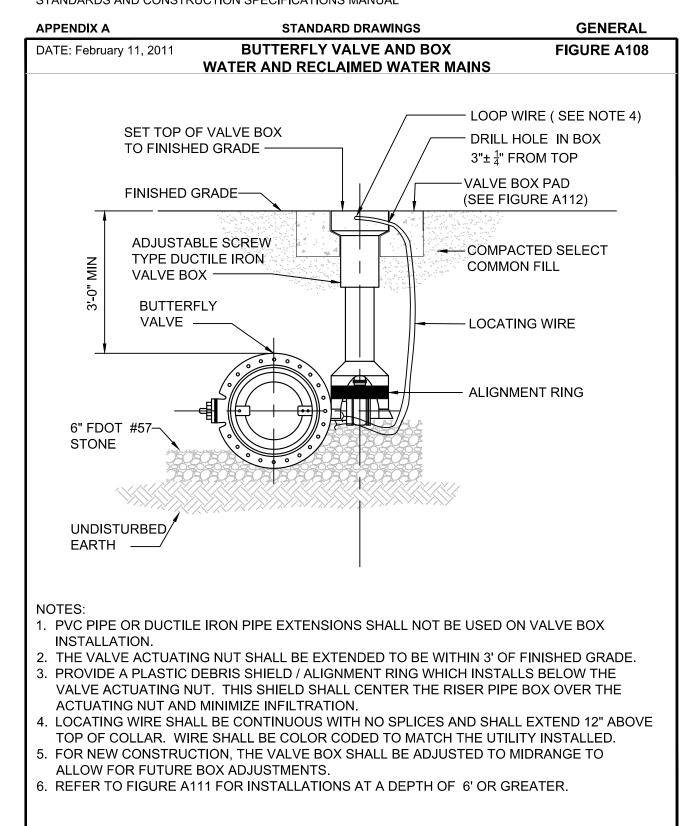
### 1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.

- 2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3' OF FINISHED GRADE. 3. PROVIDE A PLASTIC DEBRIS SHIELD / ALIGNMENT RING WHICH INSTALLS BELOW THE VALVE ACTUATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE ACTUATING NUT AND MINIMIZE INFILTRATION.
- 4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.
- 5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS. 6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.

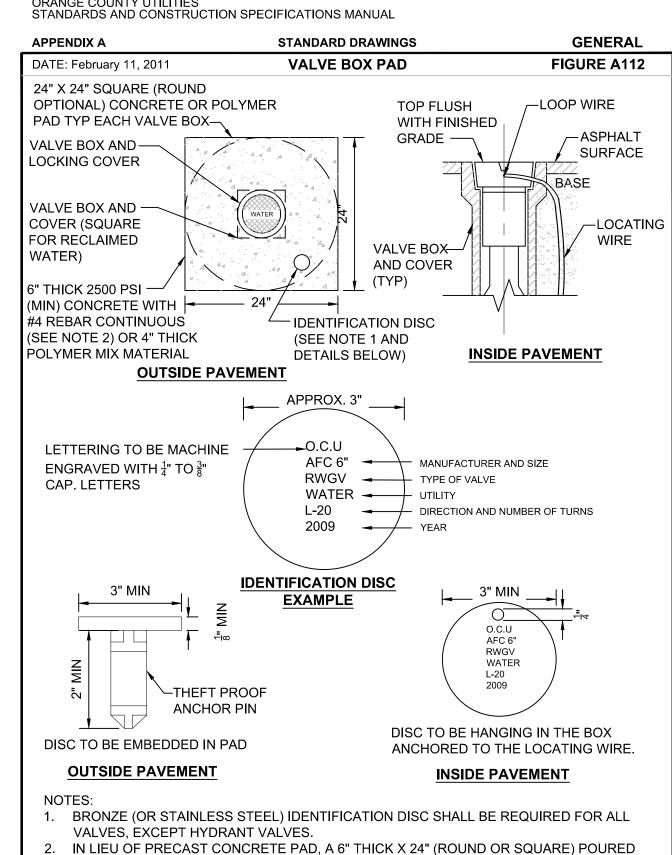
### **ORANGE COUNTY UTILITIES** STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

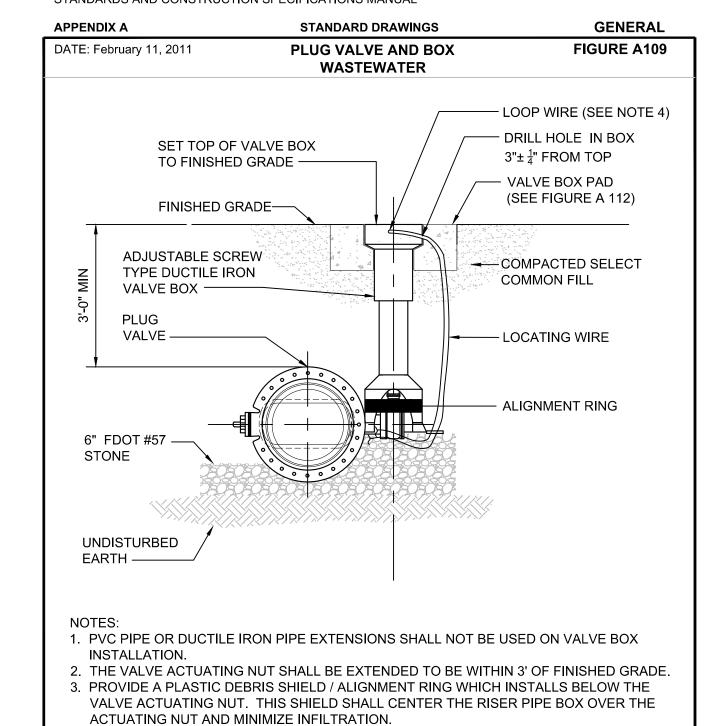


# ORANGE COUNTY UTILITIES



CONCRETE PAD WITH TWO #4 REBAR AROUND PERIMETER MAY BE USED.

# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



4. LOCATING WIRE SHALL BE CONTINUOUS WITH NO SPLICES AND SHALL EXTEND 12" ABOVE

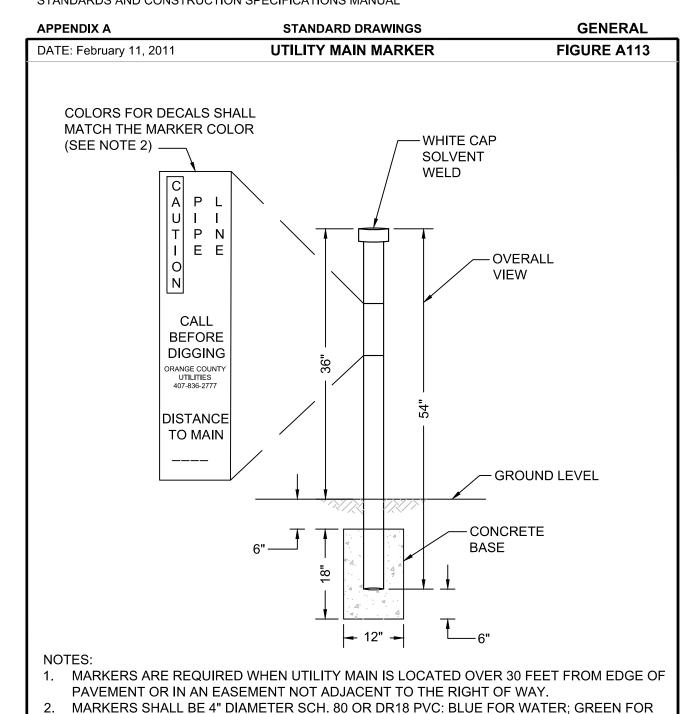
TOP OF COLLAR. WIRE SHALL BE COLOR CODED TO MATCH THE UTILITY INSTALLED.

5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO

6. REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.

### ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

ALLOW FOR FUTURE BOX ADJUSTMENTS.

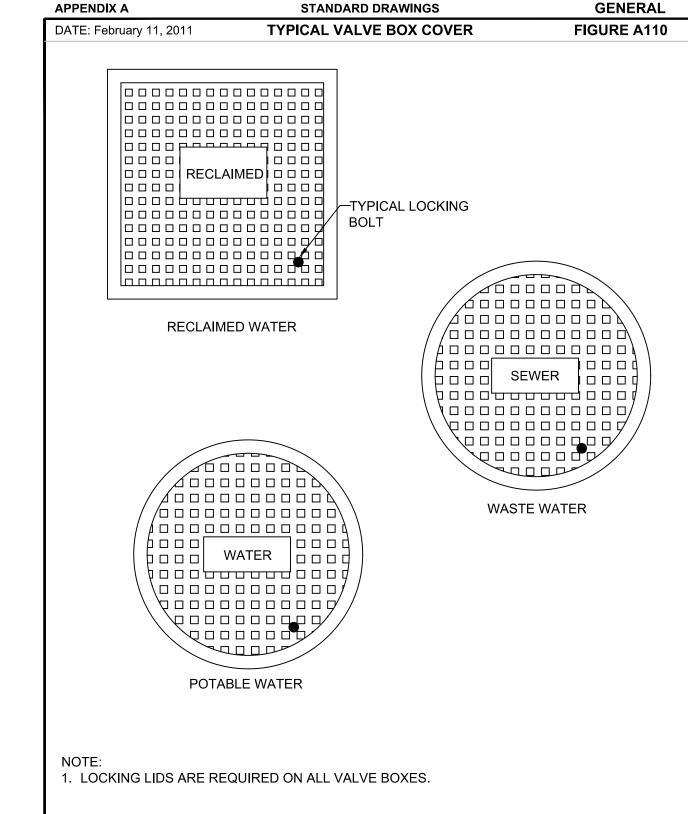


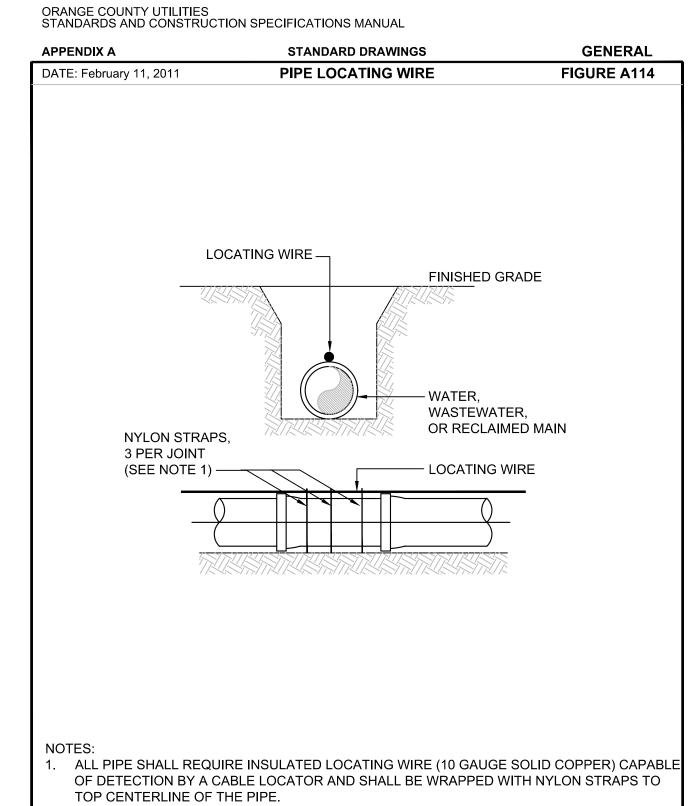
WASTEWATER; AND PANTONE PURPLE 522C FOR RECLAIMED WATER

MARKERS SHALL BE PLACED AT ALL DIRECTIONAL CHANGES AND AT ALL VALVES EXCEPT

WATER VALVES NEAR FIRE HYDRANTS. ADDITIONAL MARKERS SHALL BE INSTALLED AS

NEEDED SO THAT THE DISTANCE BETWEEN MARKERS DOES NOT EXCEED 1000 FEET.





LOCATING WIRE SHALL BE CONTINUOUS INSIDE VALVE BOXES AND SHALL EXTEND 12"

ABOVE TOP OF COLLAR. . WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

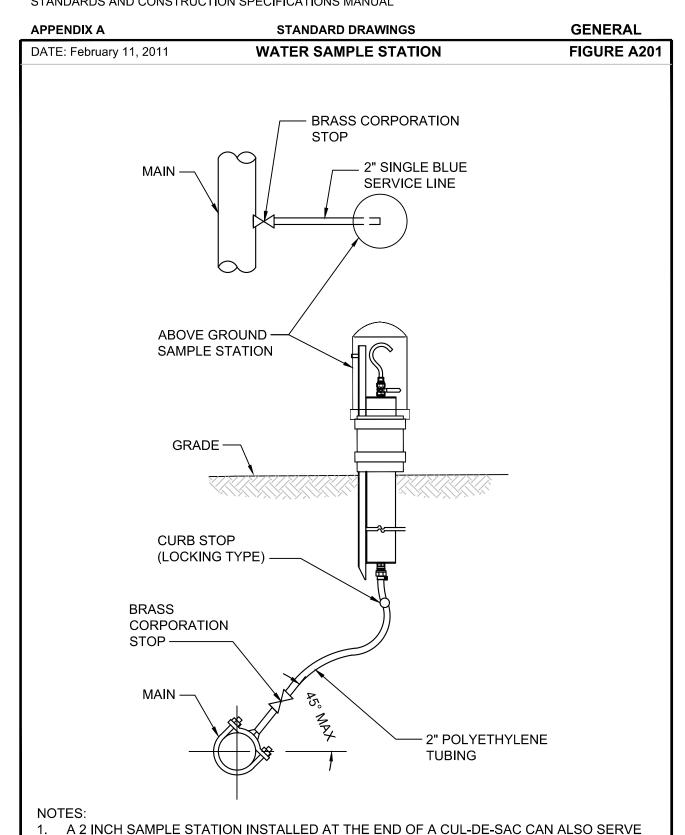
SHEET NUMBER C9.1

### GENERAL STANDARD DRAWINGS SEPARATION REQUIREMENTS FOR DATE: February 11, 2011 FIGURE A116 WATER, WASTEWATER AND RECLAIMED WATER MAINS

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS									
PROPOSED	POTABLE WATER		RECLAIMED WATER		1	WATER TY & FM)	STORM SEWER		
UTILITY	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	
POTABLE WATER	3' NOTE 1	12"	3' NOTE 1 & 3	12" NOTE 3	6' NOTE 3	12" NOTE 3	3' NOTE 1 & 3	<b>12"/18"</b> NOTE 2 & 3	
RECLAIMED WATER	3' NOTE 1 & 3	12" NOTE 3	3' NOTE 1	12"	3' NOTE 1	12"	3' NOTE 1	12"/18" NOTE 2	
WASTEWATER (GRAVITY AND FM)	6' NOTE 3	12" NOTE 3	3' NOTE 1	12"	3' NOTE 1	12"	3' NOTE 1	12"/18" NOTE 2	
RIGHT OF WAY	3' NOTE 1	N/A	3' NOTE 1	N/A	3' NOTE 1	N/A	N/A	N/A	

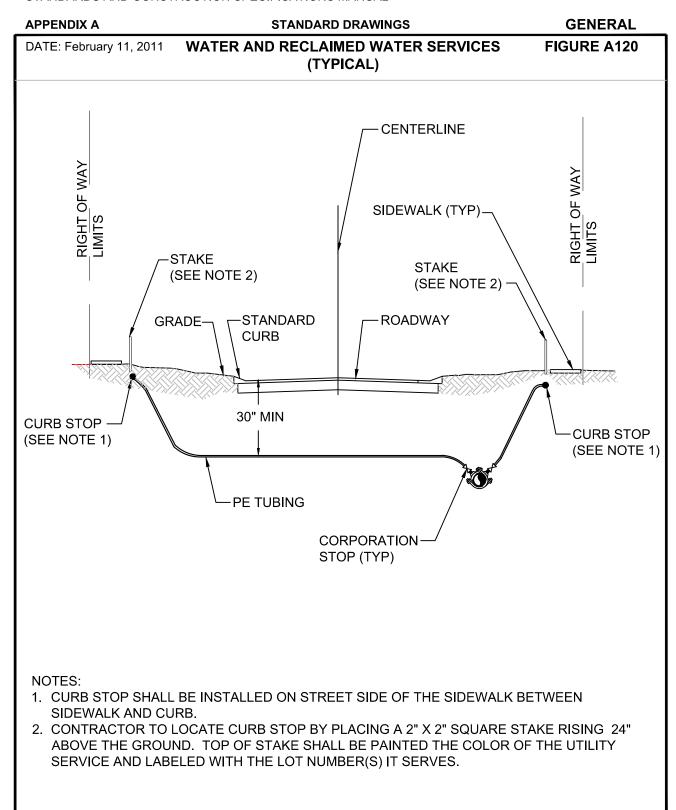
- THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTHS, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
- THE 18-INCH SEPARATION REQUIREMENT APPLIES WHEN THE STORM PIPE CROSSES ABOVE THE OCU MAIN, AND WHEN THE STORM PIPE HAS A DIAMETER EQUAL TO OR GREATER THAN 24 INCHES. OTHERWISE, THE REQUIRED SEPARATION IS 12 INCHES.
- THIS SEPARATION REQUIREMENT COMPLIES WITH MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.314, FAC. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314(5), FAC AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND OCU.
- DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

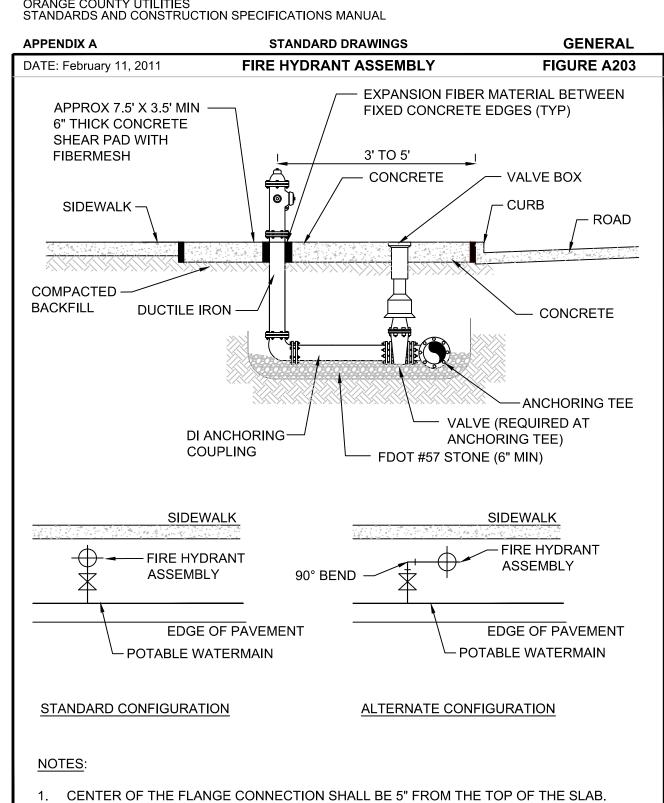


AS A BLOW -OFF VALVE WHEN BOTH ARE REQUIRED.

# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



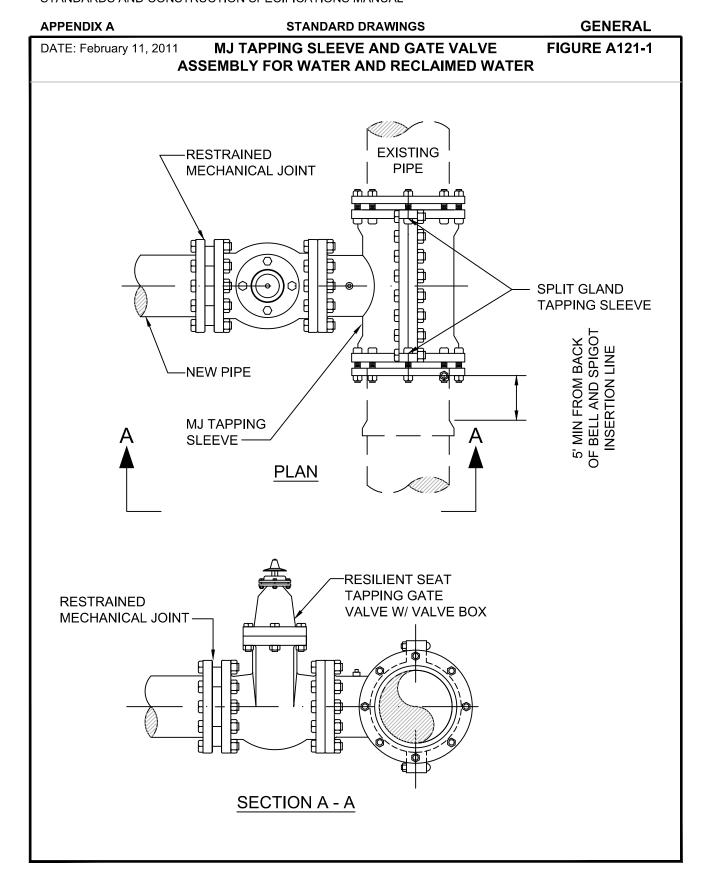
# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



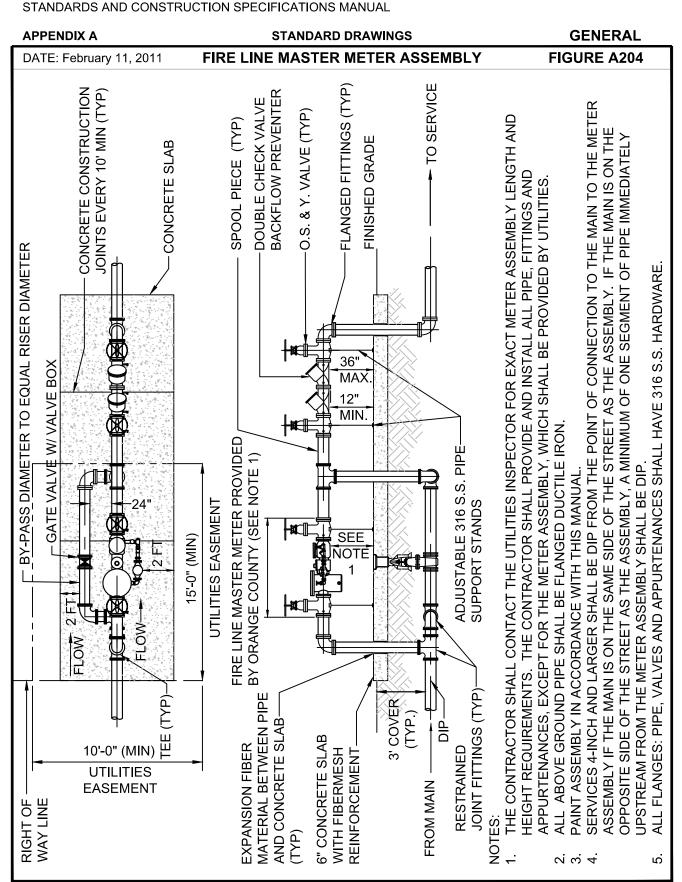
BARREL COLORS: PRIVATE HYDRANTS - RED; PUBLIC HYDRANTS - SILVER.

BONNET COLORS: TO BE DETERMINED BY FLOW TEST.

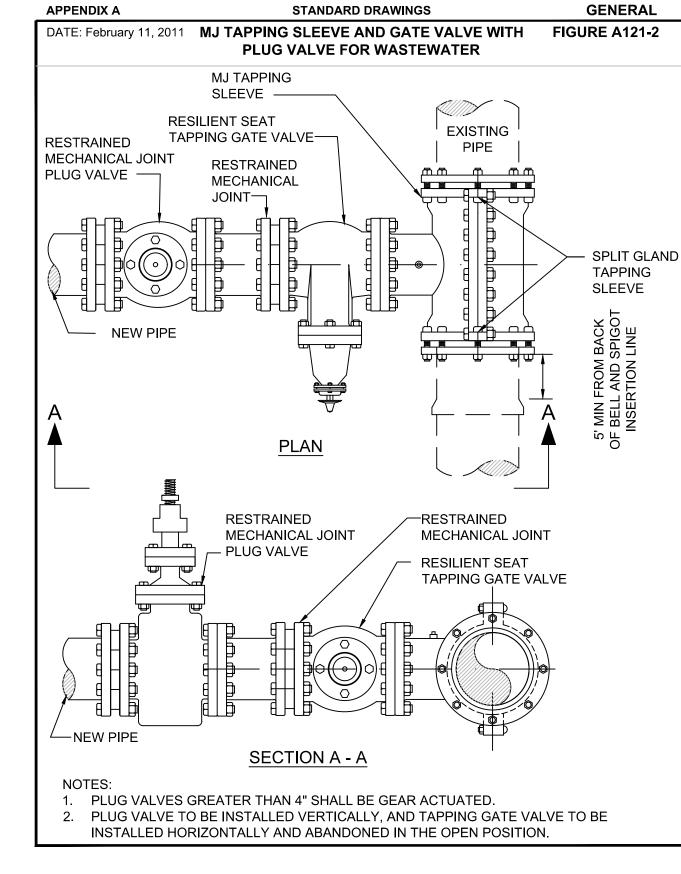
# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL

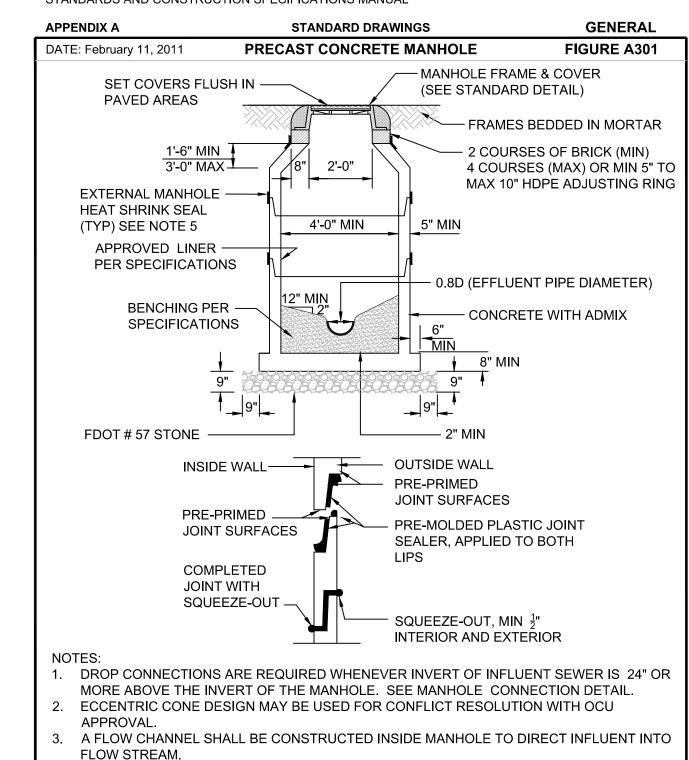


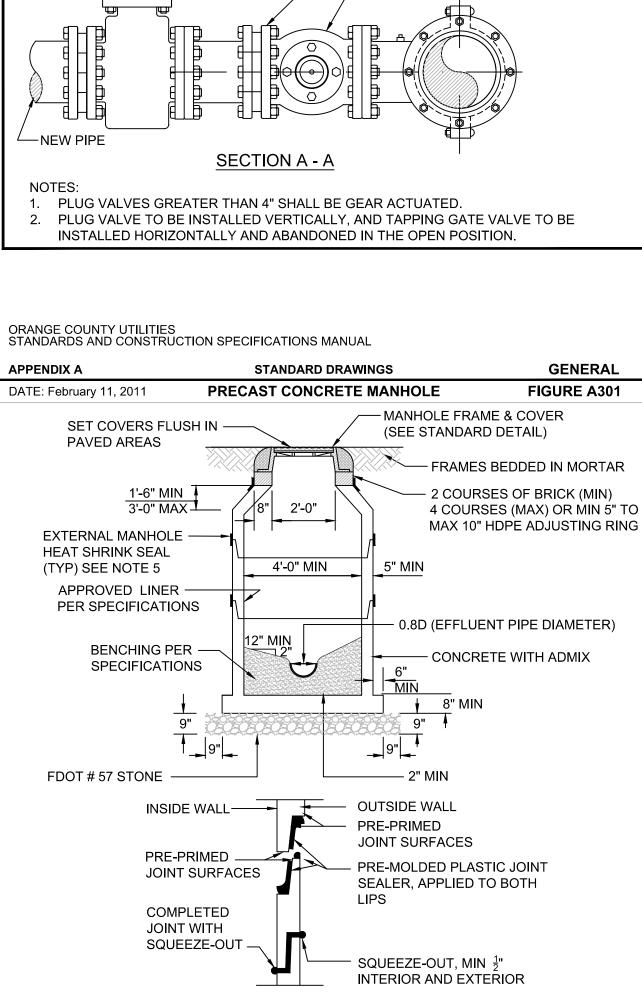
# ORANGE COUNTY UTILITIES



# ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL







FLOW STREAM.

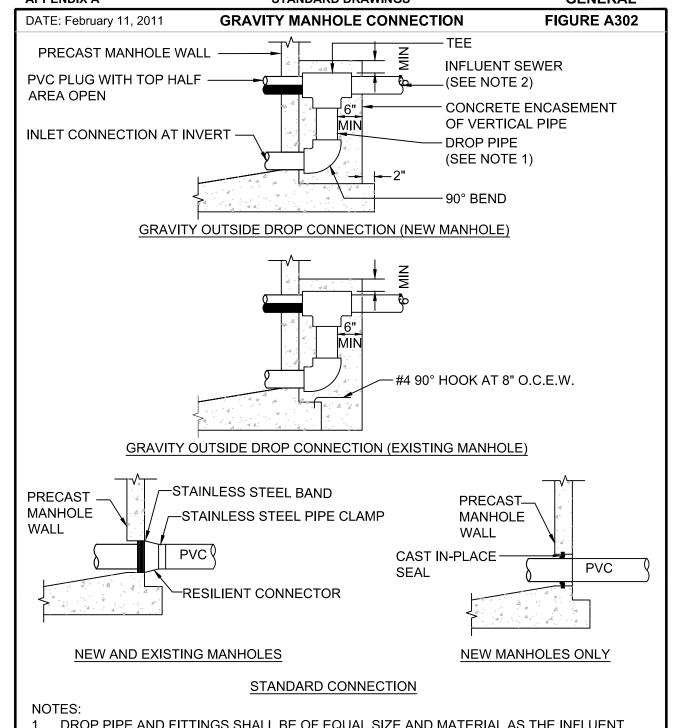
LIFT HOLES THROUGH STRUCTURE ARE NOT PERMITTED.

WRAP TIGHTLY AROUND CASTING JOINTS AND APPLY HIGH INTENSITY PROPANE TORCH TO EFFECTIVELY SEAL THEM FROM GROUND WATER INFILTRATION. HDPE ADJUSTING RINGS MAY BE SUBSTITUTED FOR BRICK RISERS.

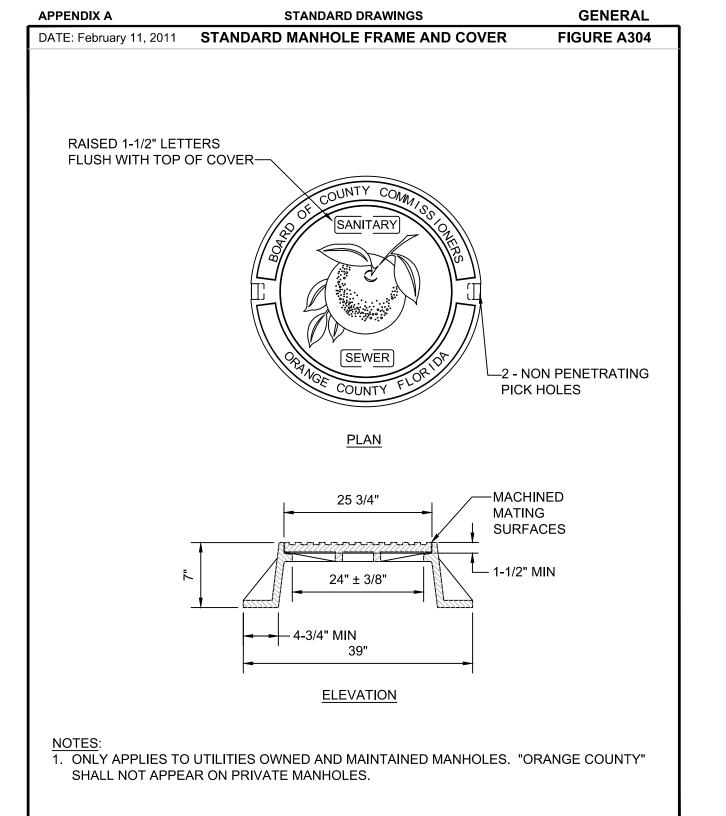
SECTION HEIGHTS VARY AS REQUIRED, AND AS AVAILABLE, FROM APPROVED MANUFACTURERS LISTED IN APPENDIX D.

RMERE ITOWN PERTY MIND

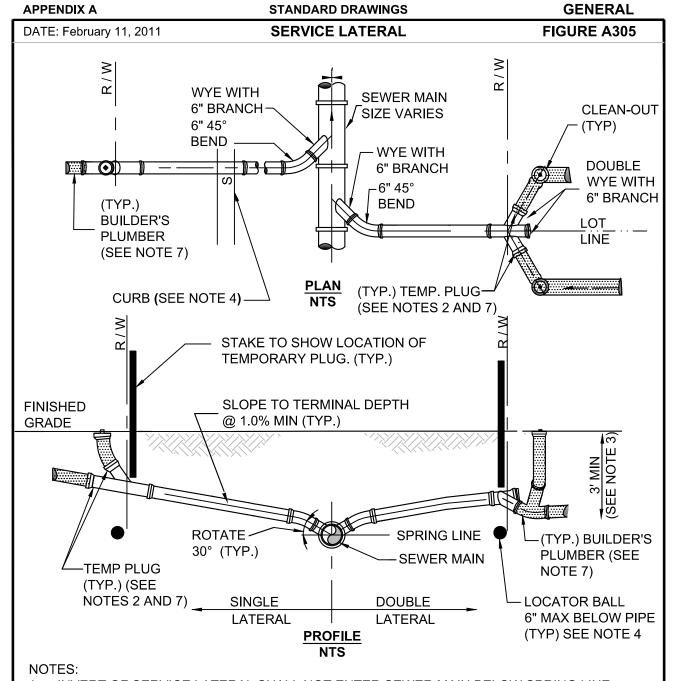
SHEET NUMBER C9.2



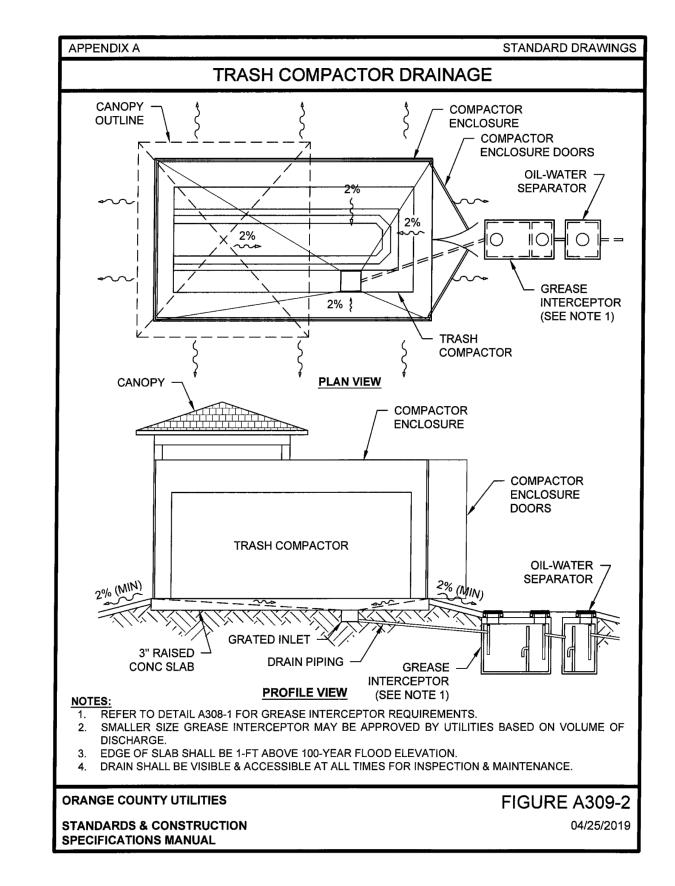
ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL



BUILDER'S PLUMBER WILL REMOVE PLUG, INSTALL CLEANOUT, AND CONNECT SERVICE



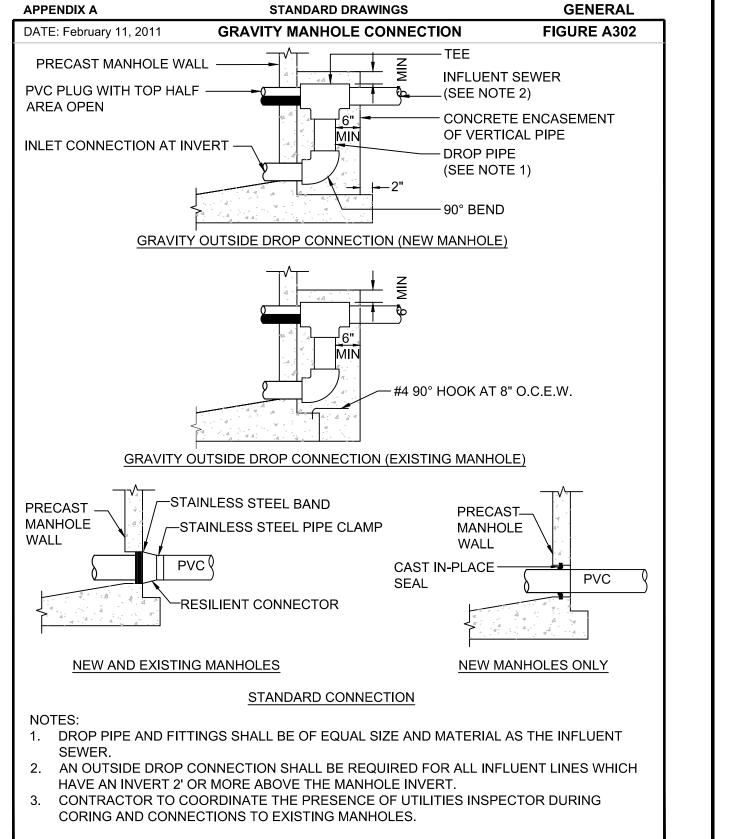
DETAIL

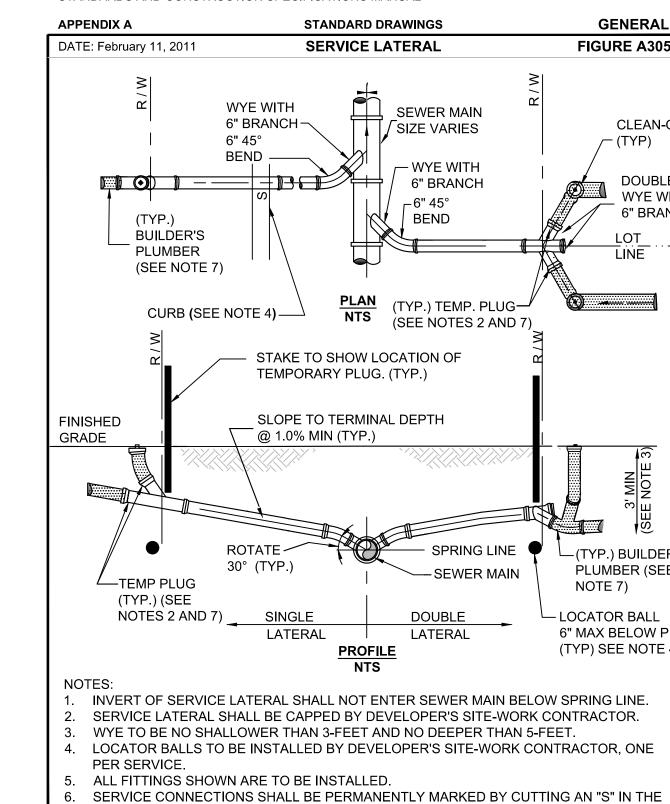
WINDERMERE DOWNTOWN PROPERTY

C9.3

UTILIT

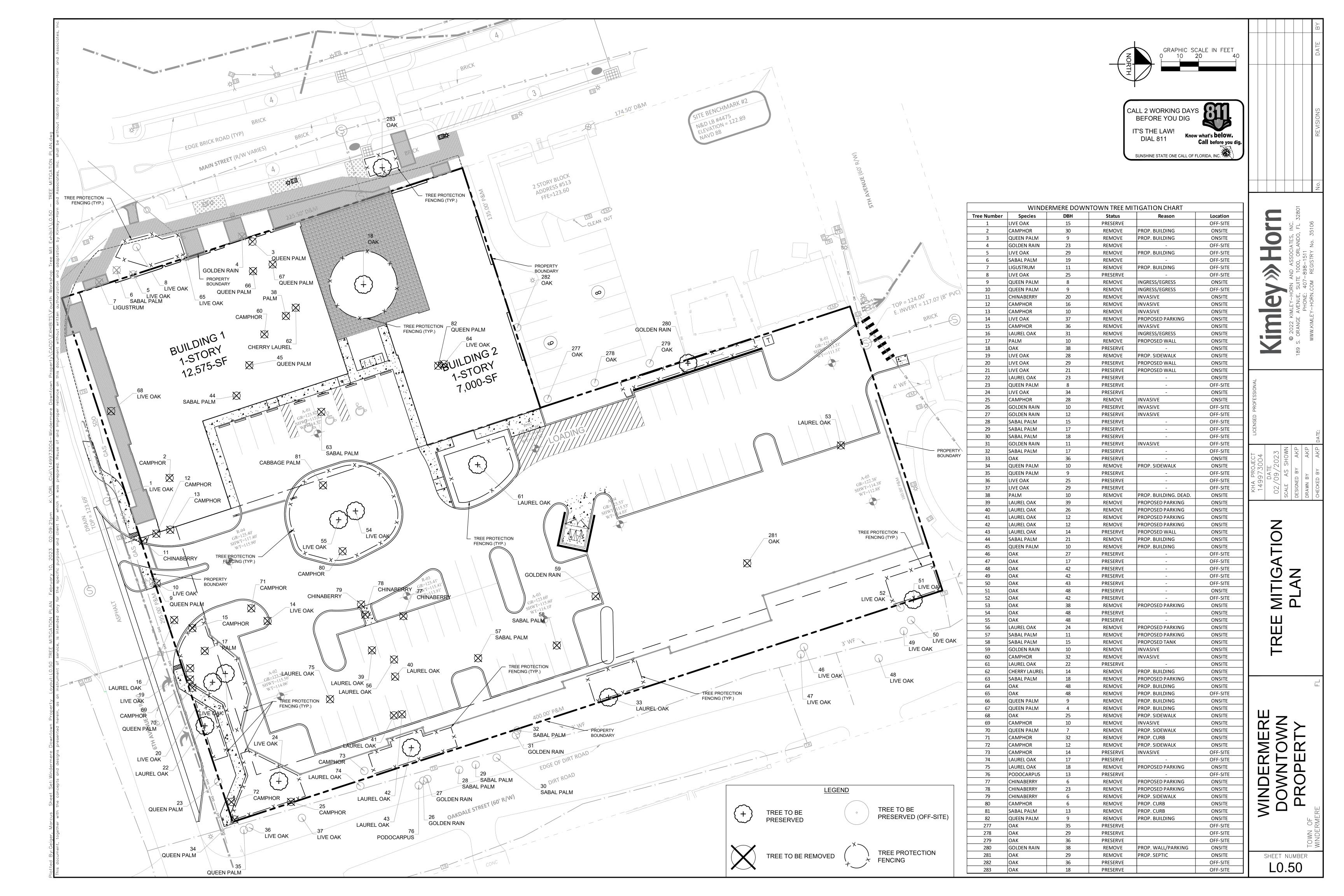
SHEET NUMBER



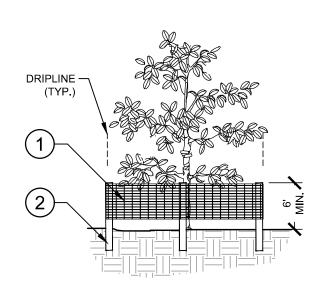


CURB DIRECTLY OVER THE LATERAL.

LATERAL TO HOUSE.



				TREE MITIGATION FUND CA	ALCULATION		
Tree Number	Species	DBH	Status	Reason	Location	REPLACEMENT STATUS	INCHES REQUIRED FOR PAYMENT
2	CAMPHOR	30	REMOVE	PROP. BUILDING	ONSITE	REPLACED	
3	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE	PAYMENT REQ'D	9
9	QUEEN PALM	8	REMOVE	INGRESS/EGRESS	ONSITE	PAYMENT REQ'D	8
14	LIVE OAK	37	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
16	LAUREL OAK	31	REMOVE	INGRESS/EGRESS	ONSITE	REPLACED	
17	PALM	10	REMOVE	PROPOSED WALL	ONSITE	PAYMENT REQ'D	10
19	LIVE OAK	28	REMOVE	PROP. SIDEWALK	ONSITE	REPLACED	
20	LIVE OAK	29	REMOVE	PROPOSED WALL	ONSITE	REPLACED	
21	LIVE OAK	21	REMOVE	PROPOSED WALL	ONSITE	REPLACED	
34	QUEEN PALM	10	REMOVE	PROP. SIDEWALK	ONSITE	PAYMENT REQ'D	10
38	PALM	10	REMOVE	PROP. BUILDING	ONSITE	PAYMENT REQ'D	10
39	LAUREL OAK	39	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
40	LAUREL OAK	26	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
41	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE	PAYMENT REQ'D	12
42	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE	PAYMENT REQ'D	12
43	LAUREL OAK	14	REMOVE	PROPOSED WALL	ONSITE	REPLACED	
44	SABAL PALM	21	REMOVE	PROP. BUILDING	ONSITE	REPLACED	
45	QUEEN PALM	10	REMOVE	PROP. BUILDING	ONSITE	PAYMENT REQ'D	10
53	OAK	38	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
56	LAUREL OAK	24	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
57	SABAL PALM	11	REMOVE	PROPOSED PARKING	ONSITE	PAYMENT REQ'D	11
58	SABAL PALM	15	REMOVE	PROPOSED TANK	ONSITE	REPLACED	
62	CHERRY LAUREL	14	REMOVE	PROP. BUILDING	ONSITE	REPLACED	
63	SABAL PALM	18	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
64	OAK	48	REMOVE	PROP. BUILDING	ONSITE	REPLACED	
66	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE	PAYMENT REQ'D	9
67	QUEEN PALM	4	REMOVE	PROP. BUILDING	ONSITE	PAYMENT REQ'D	4
68	OAK	25	REMOVE	PROP. SIDEWALK	ONSITE	REPLACED	
70	QUEEN PALM	7	REMOVE	PROP. SIDEWALK	ONSITE	PAYMENT REQ'D	7
71	CAMPHOR	32	REMOVE	PROP. CURB	ONSITE	REPLACED	
72	CAMPHOR	12	REMOVE	PROP. SIDEWALK	ONSITE	PAYMENT REQ'D	12
75	LAUREL OAK	18	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
77	CHINABERRY	6	REMOVE	PROPOSED PARKING	ONSITE	PAYMENT REQ'D	6
78	CHINABERRY	23	REMOVE	PROPOSED PARKING	ONSITE	REPLACED	
79	CHINABERRY	6	REMOVE	PROP. SIDEWALK	ONSITE	PAYMENT REQ'D	6
80	CAMPHOR	6	REMOVE	PROP. CURB	ONSITE	PAYMENT REQ'D	6
81	SABAL PALM	13	REMOVE	PROP. CURB	ONSITE	REPLACED	
82	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE	PAYMENT REQ'D	9
280	GOLDEN RAIN	38	REMOVE	PROP. WALL/PARKING	ONSITE	REPLACED	
281	OAK	29	REMOVE	PROP. SEPTIC	ONSITE	REPLACED	
				TOTAL INCHES REQUIR	ED TO BE PAID INTO TH	E TREE MITIGATION FUND	151



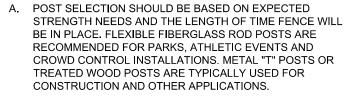
**ELEVATION** 

FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

2 8' TALL METAL "T" POSTS OR 2" x 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

1) 6'H "PERIMETER PLUS" CONSTRUCTION

INSTALLATION NOTES



- B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
- C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
- D. SECURE FENCING TO POST WITH NYLON CABLE TIES
  (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY
  BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND
  PROTECTION BETWEEN TIES AND POSTS



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE, WIRE MAY DAMAGE FENCE OVER TIME.

1 TREE PROTECTION FENCING

L0.56 ELEVATION / PLAN

SEC. 5.01.17. - DEVELOPMENT SITE TREE PROTECTION STANDARDS.

(A)DURING CONSTRUCTION AND DEVELOPMENT, ALL REASONABLE STEPS NECESSARY TO PREVENT DESTRUCTION OR DAMAGE TO TREES AND NATIVE VEGETATION SHALL BE TAKEN. ALL TREE AND LANDSCAPE WORK SHALL BE GOVERNED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 SERIES AND THE BEST MANAGEMENT PRACTICES. UNLESS OTHERWISE AUTHORIZED BY A TREE REMOVAL PERMIT, TREES AND NATIVE VEGETATION DESTROYED OR RECEIVING MAJOR DAMAGE MUST BE REPLACED BY TREES AND VEGETATION OF EQUAL ENVIRONMENTAL VALUE, AS SPECIFIED BY THE TOWN MANAGER OR HIS DESIGNEE (PERMITTING AUTHORITY), BEFORE OCCUPANCY OR USE.

(B)APPROVED TREE REMOVAL PERMITS ARE TO BE POSTED ON SITE, LEGIBLE, AND VISIBLE FROM THE STREET PRIOR TO COMMENCEMENT AND THROUGHOUT COMPLETION OF THE WORK.

(C)DURING CONSTRUCTION, UNLESS OTHERWISE AUTHORIZED BY A TREE REMOVAL PERMIT, NO EXCESS SOIL, ADDITIONAL FILL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY TREE THAT IS REQUIRED TO BE PRESERVED IN ITS ORIGINAL LOCATION.

(D)NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE AND NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE DURING CONSTRUCTION OR DEVELOPMENT. (E)UNLESS OTHERWISE AUTHORIZED BY THE TREE REMOVAL PERMIT, NO SOIL SHALL BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE THAT IS TO REMAIN IN ITS ORIGINAL LOCATION.(F)PRIOR TO CONSTRUCTION, THE PERMIT APPLICANT IS REQUIRED TO HAVE THE FOLLOWING PROTECTIVE BARRIERS AND MEASURES PUT IN PLACE:

(1)ALL PROTECTIVE BARRIERS SHALL BE INSTALLED AND MAINTAINED FOR THE PERIOD OF TIME BEGINNING WITH THE COMMENCEMENT OF ANY LAND CLEARING OR BUILDING OPERATIONS AND ENDING WITH THE COMPLETION OF THE PERMITTED CLEARING OR BUILDING CONSTRUCTION WORK ON THE SITE.

(2)THE APPLICANTS FOR A TREE REMOVAL PERMIT SHALL, AT THE TIME OF APPLICATION, DESIGNATE AN ON-SITE REPRESENTATIVE FOR THE INSTALLATION AND MAINTENANCE OF ALL TREE AND SHRUB PROTECTIVE BARRIERS.

(3)THE CIRCUMFERENCE OF AN AREA TO BE PRESERVED SHALL BE PROTECTED DURING LAND DEVELOPMENT AND CONSTRUCTION BY PLACING TWO-INCH BY TWO-INCH WOOD STAKES A MAXIMUM OF 20 FEET APART AROUND THE TREE PROTECTION ZONE AND BY TYING FLUORESCENT RIBBON, SURVEY FLAGGING, ETC., FROM STAKE TO STAKE ALONG THE PERIMETER OF THE AREAS TO BE PRESERVED.

(4)WHEN PROTECTION OF INDIVIDUAL TREES IS REQUIRED, A PROTECTIVE BARRIER SHALL BE PLACED AROUND THE PERIMETER OF THE BASE AT A DISTANCE NOT LESS THAN THE DRIP LINE.

(5)A TREE PROTECTION SIGN SHALL BE A MINIMUM OF TWO FEET WIDE BY THREE FEET HIGH CONSISTING OF DURABLE RIGID, PLASTIC OR METAL MATERIAL WITH NON FADING LETTERING, LEGIBLY PRINTED IN CHARACTERS A MINIMUM OF ONE AND ONE-HALF INCHES HIGH ON ITS FACE. TREE PROTECTION SIGNS AND BARRIERS ARE TO BE MAINTAINED THROUGH JOB COMPLETION OR AS OTHERWISE REQUIRED BY THE TOWN MANAGER OR HIS DESIGNEE. A MINIMUM OF ONE SIGN IS REQUIRED PER BARRIER. SIGN TEXT SHALL BE INCLUDE IN ENGLISH AND SPANISH AND SHALL READ:

TREE PROTECTION AREA

PROHIBITED WITHIN THIS AREA:

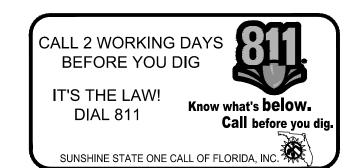
1.PARKING OF USE OF VEHICLES, EQUIPMENT OR MACHINERY.
2.STORAGE OR DUMPING OF ANY MATERIALS OR LIQUIDS.
3.CONSTRUCTION, EXCAVATION OR TRENCHING.

AREA DE PROTECTION DE ÁRBOLES

PROHIBIDO DENTRO DE ESTA AREA:

1.APARCAR O USO DE VEHICULO, EQUIPAMIENTO, O MAQUINARIA. 2.ALMACENAR O TIRAR DE LIQUIDOS O MATERIALES.

3.CONSTRUCCIÒN, EXCAVACIÒN O ZANJAS.(6)UNLESS PRIOR APPROVAL IS GRANTED BY THE TOWN MANAGER OR HIS DESIGNEE, THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE DRIP-LINE OF A PROTECTED TREE OR WITHIN TEN FEET OF ITS TRUNK, WHICHEVER IS GREATER: (I) PARKING OR USE OF VEHICLES, EQUIPMENT OR MACHINERY, OR (II) STORING OR DUMPING ANY MATERIAL OF LIQUIDS, OR (III) CONSTRUCTION, EXCAVATION OR TRENCHING.



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MEY-HORN AND ASSOCIATES, INC.
AVENUE, SUITE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511
-Y-HORN.COM REGISTRY NO. 35106

DATE
02/09/2023
SCALE AS SHOWN
DESIGNED BY AKP

REE MITIGATION CHART

MDED WINDER

L0.51

### A. GENERAL

- CONTRACTOR SHALL ADHERE TO ALL TREE PROTECTION REQUIREMENTS LISTED IN THESE SPECIFICATIONS AND/OR THOSE LISTED IN THE CITY OR COUNTY ZONING CODE, TREE PROTECTION (LATEST EDITION). WHICHEVER IS MORE STRINGENT SHALL APPLY.
- 2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATION MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE.
- 4. NO SIGNS, BUILDING PERMITS, WIRES OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE OR PALM. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES AND ARE BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED
- CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE OR PALM WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
- 7. FOR PROTECTED TREES OR PALMS BEING REMOVED, THE CONTRACTOR MUST GIVE THE PERMITTING AGENCY REASONABLE OPPORTUNITY TO RELOCATE TREES DESIGNATED FOR REMOVAL TO ANOTHER SITE AT THE PERMITTING AGENCY'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR POSSESSING ALL REQUIRED APPLICATOR LICENSES, BUSINESS REGISTRATIONS AND INSURANCE, PESTICIDE LABELS, AND MATERIAL DATA SAFETY SHEETS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR HAVING ALL SPILL CONTAINMENT MATERIALS AND REQUIRED PERSONAL PROTECTIVE EQUIPMENT FOR PESTICIDE APPLICATIONS AND ACCIDENTAL SPILLS ON SITE AT ALL TIMES. THE OWNER RESERVES THE RIGHT TO INSPECT EACH APPLICATOR AND HAVE THESE MATERIALS PRESENTED BEFORE AND DURING ANY PESTICIDE TREATMENT.
- WHERE TRAFFIC AREAS ARE PROPOSED WITHIN THE DRIP LINE OF PROTECTED TREES AND LESS THAN FOUR (4) INCHES OF GRADE CHANGE ARE PROPOSED, PERMEABLE SURFACES THAT ALLOW AIR AND WATER INTO THE SOIL SHOULD BE USED IN LIEU OF ASPHALT OR OTHER SUCH IMPERVIOUS SURFACES.
- TREE WELLS OF AN APPROVED DESIGN SHALL BE CONSTRUCTED AROUND ALL TREES TO BE PRESERVED WHEN MORE THAN FOUR INCHES OF FILL IS TO BE DEPOSITED WITHIN THE DRIP LINE AREA OF THOSE TREES. COORDINATE WITH PROJECT ARBORIST.
- THE SEQUENCE OF TREE MITIGATION AND PRESERVATION MEASURES IS IMPERATIVE TO THE HEALTH AND SURVIVABILITY OF THE SUBJECT TREES AND SHALL BE COORDINATED WITH THE OWNER SELECTED PROJECT ARBORIST. THE DESIRED SEQUENCE IS OUTLINED BELOW:
- a. TREE PROTECTION FENCING.
- b. ROOT PRUNING AND ROOT BARRIERS.
- c. CLEARING.
- d. TREE CANOPY PRUNING.
- e. FERTILIZATION.
- f. INSECTICIDE.
- g. IRRIGATION.

### B. TREE PROTECTION FENCING

- PRIOR TO THE ERECTION OF ANY TREE PROTECTION FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE AREA TO BE ENCLOSED BY THE FENCING. AFTER ERECTION OF THE FENCING NO SUCH MATERIAL OR LITTER SHALL BE PERMITTED TO REMAIN WITHIN THE PROTECTED AREA.
- TREE PROTECTION FENCING SHALL BE PLACED AROUND ALL PROTECTED TREES TO CREATE A PROTECTIVE ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING, LAND ALTERATION, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
- NATIVE GROUND COVER AND UNDERSTORY VEGETATION EXISTING WITHIN THE PROTECTED AREA SHALL REMAIN THROUGHOUT CONSTRUCTION. OTHER DESIGNATED VEGETATION AND INVASIVE PLANT SPECIES SHALL BE REMOVED ONLY BY MANUAL LABOR UTILIZING HAND TOOLS, OR BY OTHER METHODS APPROVED BY THE PROJECT ARBORIST.
- TREE PROTECTION FENCING TYPES AND LOCATIONS SHALL BE ERECTED AS SHOWN ON THE TREE MITIGATION PLANS AND DETAILS,
- 5. FINAL LOCATIONS SHALL BE COORDINATED WITH AND APPROVED BY THE PROJECT ARBORIST.
- 6. NO MATERIALS, EQUIPMENT, SPOIL, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN 20 FEET OF
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINES, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED
- 10. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT
- 11. EXCAVATION OR GRADING REQUIRED WITHIN THE PROTECTED AREA SHALL BE LIMITED TO THREE (3) INCHES OF CUT OR FILL. COORDINATE WITH PROJECT ARBORIST.
- 12. STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL BE COORDINATED WITH THE PROJECT ARBORIST.
- TREE PROTECTION FENCING AROUND TREES TO BE RELOCATED SHALL BE ERECTED UNTIL THE TREE IS READY TO BE RELOCATED AND NEW FENCING SHALL BE ERECTED AT THE TREES NEW LOCATION AND WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION
- 14. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- 15. IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE PROTECTED AREA OF TREES TO BE PRESERVED, A ROAD BED OF SIX (6) INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLÉNISHED AS NECESSARY TO MAINTAIN A SIX (6) INCH ROAD BED AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL SUCH MATERIALS FROM THE SITE AS SOON AS TEMPORARY ACCESS IS NO LONGER NECESSARY.
- 16. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO THE REMOVAL OF ALL TREE PROTECTION FENCING.

# C. ROOT PRUNING/TRENCHING

- TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
- TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED, AND SHALL BE APPROVED BY THE PROJECT ARBORIST. APPROVED EQUIPMENT WILL BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS. A MINIMUM DEPTH OF THREE FEET IS
- 3. INSTALL ROOT BARRIER WHERE DESIGNATED. SEE TREE MITIGATION PLAN AND DETAIL SHEETS.
- 4. THE TRENCH SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED SOIL AND COMPACTED IMMEDIATELY.
- TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF TWELVE (12) WEEKS PRIOR TO TREE RELOCATION.
- WHEN THE TREE ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.

# D. CLEARING

- ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND-OPERATED
- CONTRACTOR SHALL CLEAR ALL TREE PROTECTION AREAS OF VINES, SHRUBS, GROUND COVERS, WEEDS, SAPLINGS. AND INVASIVES LISTED ON THE LATEST EDITION OF THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE SPECIES.
- 3. PROJECT ARBORIST MUST APPROVE METHODS OTHER THAN HAND CLEARING.

4. A TWO (2) INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES DURING THE SITE CLEARING PHASE

- TREE PRUNING SPECIFICATIONS SHALL BE DEFINED BASED ON SPECIFIC RECOMMENDATIONS OF THE PROJECT ARBORIST. INFORMATION PRESENTED BELOW SHOULD BE USED AS A GUIDELINE.
- 2. CONTRACTOR SHALL VISIT THE SITE WITH THE PROJECT ARBORIST TO VERIFY THE EXTENT OF REQUIRED PRUNING.
- 3. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFIED INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST OR AN AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA) REGISTERED
- 4. AT LEAST ONE MEMBER OF THE PRUNING CREW SHALL BE AN ISA CERTIFIED ARBORIST.
- WHILE IN THE TREE, THE ARBORIST SHALL PERFORM AN AERIAL INSPECTION TO IDENTIFY DEFECTS THAT REQUIRE TREATMENT ANY ADDITIONAL WORK NEEDED SHALL BE REPORTED TO THE OWNER.
- PRUNING CUTS SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A300 PRUNING STANDARD (AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS) AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI Z133.1 SAFETY STANDARD. PRUNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ISA'S "BEST MANAGEMENT PRACTICES: TREE PRUNING".
- WHERE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, BRANCHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE ZONE.
- 8. NO MORE THAN 20 PERCENT OF LIVE FOLIAGE SHALL BE REMOVED WITHIN ANY TREE.
- ALL TREES WITHIN THE PROJECT AREA SHALL BE PRUNED AS FOLLOWS:
  - a. LIVE BRANCH PRUNING SHOULD BE PERFORMED ONLY WHEN THE DANGER OF INSECT OR DISEASE INFESTATION IS NOT
- b. REMOVE STUBS, CUTTING OUTSIDE THE WOUND WOOD TISSUE THAT HAS FORMED AROUND THE BRANCH.
- c. CLEANING, FOR THE SELECTIVE REMOVAL OF DEAD, DISEASED, BROKEN, OR CROSSING BRANCHES DOWN TO ONE INCH IN DIAMETER OR AS DIRECTED BY THE PROJECT ARBORIST.
- d. PRUNING CUTS LARGER THAN 4 INCHES IN DIAMETER, EXCEPT FOR DEAD WOOD, SHALL BE AVOIDED.
- e. PRUNING CUTS THAT EXPOSE HEARTWOOD SHALL BE AVOIDED WHENEVER POSSIBLE.
- ALL TREES WITH CROWNS THAT PROJECT INTO PARKING LOT/ROADWAY AREAS SHALL BE RAISED TO 14 FEET ABOVE
- g. ALL TREES WITH CROWNS THAT PROJECT INTO SIDEWALK AREAS SHALL BE RAISED TO A HEIGHT OF 8 FEET ABOVE FINISHED
- 9. TREES, WHO'S ROOT SYSTEMS WILL BE IMPACTED SHALL RECEIVE THE FOLLOWING PRUNING TO COMPENSATE FOR ROOT LOSS:
- a. THE LOCATION AND SIZE OF BRANCHES FOR REDUCTION SHALL BE DEFINED BY THE PROJECT ARBORIST
- REDUCTION, OR THE SELECTIVE PRUNING TO REDUCE TREE HEIGHT OR SPREAD.
- REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES BY SELECTIVELY REMOVING SMALL DIAMETER BRANCHES, NO GREATER THAN 2 TO 3 INCHES, NEAR THE ENDS OF SCAFFOLD BRANCHES.
- d. RAISING SHALL CONSIST OF SELECTIVE PRUNING TO PROVIDE VERTICAL CLEARANCE.

# 10. PROPOSED/REPLACEMENT TREES

- 11. BRUSH SHALL BE CHIPPED AND SPREAD (ONLY WHEN DISEASE OR INSECT INFESTATION IS NOT PRESENT) UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF THREE (3) INCHES, LEAVING THE TRUNK CLEAR OF MULCH.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DEBRIS ON A DAILY BASIS.

- CONTRACTOR SHALL COORDINATE FERTILIZATION PLAN, FOLLOWING BEST MANAGEMENT PRACTICES WITH THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.
- EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPLYING, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- 3. ONLY TREES AFFECTED BY CONSTRUCTION OR AS SHOWN ON THE TREE MITIGATION PLAN AND TREE INVENTORY SCHEDULE
- 4. TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED AS FOLLOWS.
- a. MIX FERTILIZER ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO A TANK WITH AGITATION CAPABILITY.
- b. MIX WETTING AGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
- c. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
- d. THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND THE CRITICAL ROOT ZONE SHALL BE INJECTED, BUT NOT BEYOND ROOT
- PRUNING LOCATIONS. e. FERTILIZER SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY AERATION SYSTEMS.
- f. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY THE PROJECT ARBORIST PRIOR TO DISPOSAL.

- NOTIFY PROJECT ARBORIST IF ANY INFESTATION IS NOTICED.
- 8. FOLLOW PROJECT ARBORIST'S RECOMMENDED PROCEDURES.
- 9. FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS CONCERNING APPLICATION. READ ALL WARNING LABELS.
- 10. ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- 11. ENSURE COMPLETE COVERAGE AND REAPPLY 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.

- EVERY EFFORT SHALL BE MADE TO WATER THE PRESERVED TREES AND TRANSPLANTS. CONTRACTOR SHALL IRRIGATE BY HAND OR BY TEMPORARY IRRIGATION.
- IRRIGATE AS REQUIRED BY PROJECT ARBORIST UNTIL PERMANENT IRRIGATION IS INSTALLED AND OPERATING.
- 3. UNDERGROUND IRRIGATION SHALL NOT BE INSTALLED WITHIN THE DRIP LINES OF EXISTING TREES UNLESS ROOT PROTECTION MEASURES ARE PROVIDED AND APPROVED BY PROJECT ARBORIST.

- PRIOR TO AND DURING LAND CLEARING, INCLUDING GRUBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED BY PROJECT ARBORIST WITH RED SURVEY RIBBONS AT 36 INCHES MINIMUM ABOVE GRADE.
- 2. CONTRACTOR SHALL REMOVE ALL TREES AS SHOWN ON THE TREE MITIGATION PLANS AFTER THE TREE PROTECTION FENCING IS ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUND 6" BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED THAT IS IN AN AREA WHERE COMPACTION IS CRITICAL SHALL BE FELLED WITH A CHAIN SAW AND STUMP
- 4. ALL WOOD AND STUMPS FROM REMOVALS SHALL BE HAULED FROM THE SITE THE SAME DAY, EXCEPT FOR TOPS. ALL TOPS ARE TO BE MULCHED AND STOCKPILED OR HAULED DIRECTLY TO MULCHED AREAS FOR RELOCATED TREES IF SCHEDULING PERMITS. TOPS

SHALL BE CHIPPED AND PLACED IN THE TREE PROTECTION ZONE TO A DEPTH OF THREE (3) INCHES. ALL EXCESS WOOD CHIPS SHOULD BE HAULED OFF SITE AFTER TRANSPLANTING IS COMPLETE.

- 5. ALL BURN PITS IF APPLICABLE MUST BE APPROVED BY THE PROJECT ARBORIST AND OWNER.
- TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN MUST BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST AND NOT BY DEMOLITION OR CONSTRUCTION CONTRACTORS. THE QUALIFIED ARBORIST SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TO REMAIN.
- TREES TO BE REMOVED LOCATED WITHIN THE TREE PROTECTION ZONE SHALL BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST. THE TREES SHALL BE CUT NEAR GROUND LEVEL AND THE STUMP GROUND OUT.

- 10. CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATIONS WITHIN TREE PROTECTION AREAS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- 11. ALL TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
- 12. TOPSOIL, PH RANGE OF 5.5 TO 7.0, 3-5 PERCENT ORGANIC MATERIAL MINIMUM, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN ONE (1) INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH.
- 13. VERIFY AMOUNT STOCKPILED IF ANY, AND SUPPLY ADDITIONAL AS NEEDED FROM NATURALLY WELL-DRAINED SITES WHERE
- TOPSOIL OCCURS AT LEAST FOUR (4) INCHES DEEP. DO NOT OBTAIN TOPSOIL FROM BOGS OR MARSHES. 14. PROJECT ARBORIST SHALL APPROVE ALL TOPSOIL PRIOR TO PLACEMENT.

### M. REPAIR OF DAMAGED TREES

- IF DAMAGE TO ANY TREE SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE PROJECT ARBORIST SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR.
- IF ANY TREE DESIGNATED TO BE SAVED IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PROJECT ARBORIST SHALL APPRAISE THE TREE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPLACEMENT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE AND ANY FEES THAT MAY BE ASSESSED TO THE OWNER BY THE GOVERNING AGENCY.

BEFORE YOU DIG

SUNSHINE STATE ONE CALL OF FLORIDA. INC

Call before you die

IT'S THE LAW!

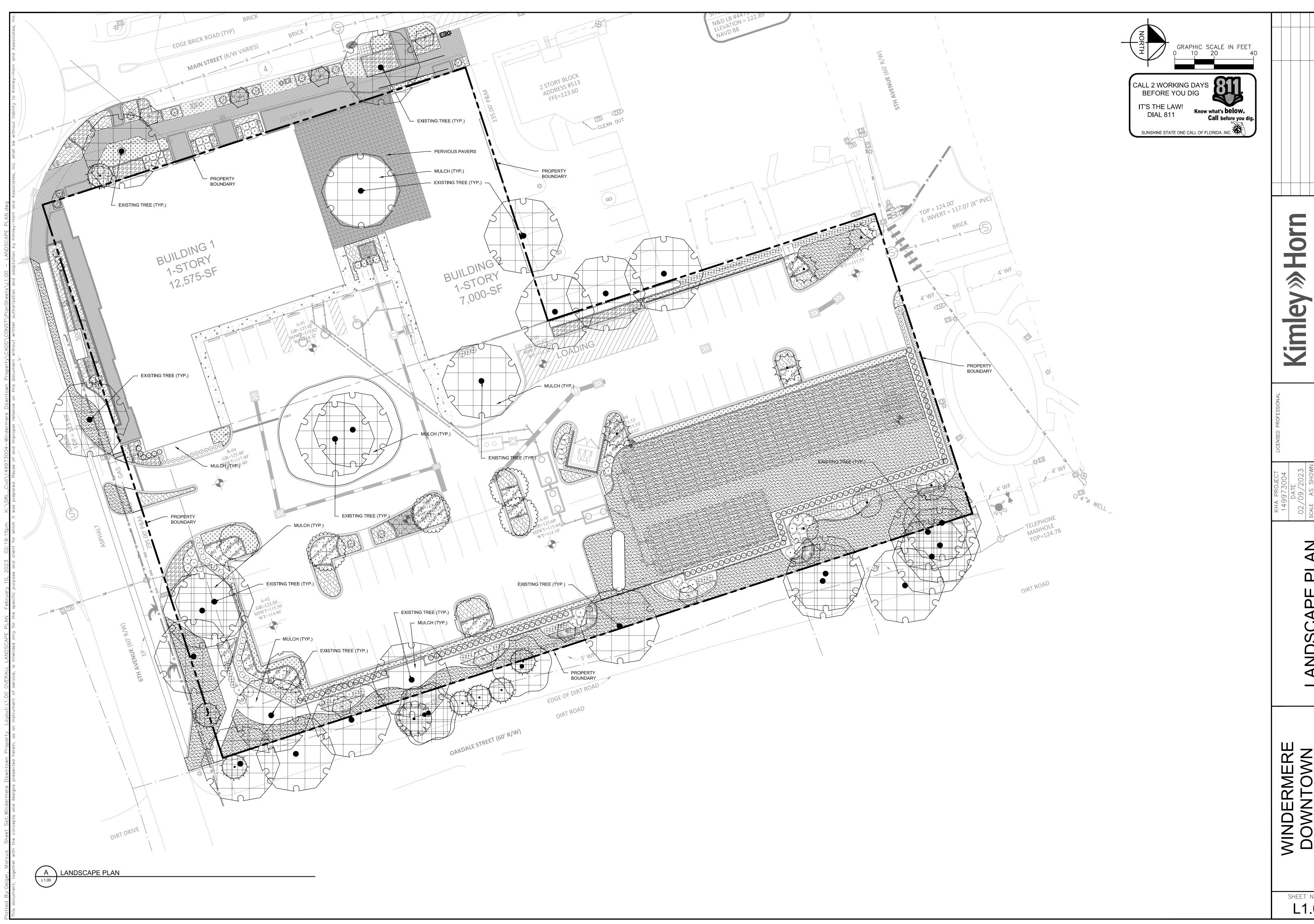
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SHEET NUMBER



TYPICAL TREE MITIGATION NOTES





SHEET NUMBER L1.00

PLANT SCHEL	JULE	ı							
CANOPY TREE	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	CAL	<u>SIZE</u>	DROUGHT TOL.	<u>NATIVE</u>
	QVC	3	QUERCUS VIRGINIANA 'CATHEDRAL' SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	CATHEDRAL LIVE OAK	100 GAL	3.5" CAL MIN	14` HT., 16` SPR.	YES	YES
+ 3	UPA	4	ULMUS PARVIFOLIA 'ALLEE TM' SINGLE, STRIGHT TRUNK, FULL, FLORIDA #1	ALLEE LACEBARK ELM	65 GAL	3" CAL. TOT.	14` HT., 10` SPR.	YES	YES
EXISTING TREES TO REMAIN	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	CAL	<u>SIZE</u>	DROUGHT TOL.	<u>NATIVE</u>
and the second s	KPE	3	EXISTING GOLDEN RAIN TREE CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING	-	-		
• • • • • • • • • • • • • • • • • • • •	PAE	7	EXISTING PALM CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING	-	-		
	PME	1	EXISTING PODOCARPUS TREE CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING	-	-		
	QVE	27	EXISTING LIVE OAK CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING	-	-		
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	<u>CAL</u>	SIZE	DROUGHT TOL.	<u>NATIVE</u>
J. }	IAE	4	ILEX X ATTENUATA 'EAST PALATKA' SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	EAST PALATKA HOLLY	FG	3" CAL MIN	12` HT., 6` SPR.	YES	YES
	LIN	3	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' STANDARD, SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	NATCHEZ CRAPE MYRTLE MULTI-TRUNK	65 GAL	5" CAL. TOT.	12` HT., 7` SPR.	YES	NO
+	LJ	9	LIGUSTRUM JAPONICUM MULTI-TRUNK, 4 TRUNKS, FULL, FLORIDA #1	JAPANESE PRIVET	100 GAL	4" CAL. TOT.	8` HT., 8` SPR.	YES	NO
<u>SHRUBS</u>	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	DROUGHT TOL.	<u>NATIVE</u>
$\odot$	AGE	28	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' FULL	EDWARD GOUCHER GLOSSY ABELIA	3 GAL	36" OC	24" HT MIN	YES	YES
E	GM	21	GARDENIA AUGUSTA 'MIAMI SUPREME' STANDARD, FULL	MIAMI SUPREME GARDENIA	7 GAL	SEE PLAN	48" HT MIN	NO	NO
Sulling Sullin Sulling Sulling Sulling Sulling Sulling Sulling Sulling Sulling	IF	120	ILLICIUM FLORIDANUM FULL	FLORIDA ANISE	3 GAL	36" OC	20" HT MIN	YES	YES
+	РМ	101	PODOCARPUS MACROPHYLLUS FULL TO BASE, CLOSELY MATCHING	PODOCARPUS	3 GAL	24" OC	36" HT MIN	YES	NO
$\odot$	RF	41	RHODODENDRON X 'FASHION' FULL	FASHION GLENN DALE AZALEA	7 GAL	SEE PLAN	30" HT MIN	YES	NO
$\bigcirc$	RG	22	RHODODENDRON X `MRS. G. G. GERBING' FULL	LARGE WHITE AZALEA	7 GAL	SEE PLAN	36" HT MIN	NO	NO
	RR	6	RHODODENDRON X 'FORMOSA' FULL	FORMOSA AZALEA	7 GAL	SEE PLAN	36" HT MIN	YES	YES
$\oplus$	VS	73	VIBURNUM SUSPENSUM FULL	SANDANKWA VIBURNUM	3 GAL	36" OC	36" HT MIN	YES	NO
SHRUB AREAS	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	DROUGHT TOLERANCE	<u>NATIVE</u>
	ВТ	35	BOUGAINVILLEA X 'MISS ALICE' THORNLESS FULL	MISS ALICE BOUGAINVILLEA	3 GAL	12" HT MIN	36" OC	YES	NO
///// ///// /////	JM	19	JASMINUM MULTIFLORUM FULL	DOWNEY JASMINE	3 GAL	14" HT MIN	30" OC	YES	NO
	NF	41	NEPHROLEPIS FALCATA FULL	MACHO FERN	3 GAL	12" HT MIN	30" OC	YES	NO
	PA	177	PLUMBAGO AURICULATA FULL	BLUE PLUMBAGO	3 GAL	12" HT MIN	36" OC	YES	NO
	RA	198	RHAPHIOLEPIS INDICA 'ALBA' FULL	WHITE INDIAN HAWTHORN	3 GAL	18" HT MIN	30" OC	YES	NO
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	<u>SIZE</u>	<u>SPACING</u>	DROUGHT TOL.	<u>NATIVE</u>
	AE	105	ASPIDISTRA ELATIOR FULL	CAST IRON PLANT	1 GAL	20" HT. MIN	18" OC	YES	NO
++++++ ++++++ ++++++ ++++++ ++++++	LMS	904	LIRIOPE MUSCARI 'BIG BLUE' FULL	BIG BLUE LILYTURF	1 GAL	12" FULL	18" OC	YES	NO
	ТМ	2,121	TRACHELOSPERMUM ASIATICUM 'MINIMA' FULL	MINIMA ASIATIC JASMINE	1 GAL	8" SPRD MIN	14" OC	YES	NO
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	<u>SPACING</u>	DROUGHT TOL.	<u>NATIVE</u>
	SOD A	16,961 SF	STENOTAPHRUM SECUNDATUM `FLORITAM` 100% INSECT/DIEASE FREE, LAID TIGHT, ROLLED	FLORITAM ST. AUGUSTINE SOD	SOD	-	-	NO	NO

### LANDSCAPE NOTES:

- 4. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE,
- 6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT
- 11. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST
- 12. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR WARRANTY PERIOD. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE
- 13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS
- 14. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES, AND
- SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT
- 16. ALL LANDSCAPE AREAS WILL BE PROVIDED WITH PERMANENT AUTOMATIC IRRIGATION

1. ALL LANDSCAPE MATERIAL TO BE FLORIDA GRADE #1 OR BETTER QUALITY

- 2. ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- 3. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- DURING, AND AFTER INSTALLATION.
- 5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK, LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA 2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- MATERIALS AND LAWN FOR THE WARRANTY PERIOD.

- SHALL BE FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
- 15. ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM
- 17. TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS "ESTABLISHED" (AS APPROVED BY THE LANDSCAPE ARCHITECT).
- 18. ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.

WINDERMERE DOWNTOWN PROPERTY

CALL 2 WORKING DAYS
BEFORE YOU DIG
IT'S THE LAW! Know what's **below.** Call before you dig.

SHEET NUMBER L1.01

& NOTES LANDSC/ SCHEDULE &

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH

FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

B. CONTRACTOR TO PERFORM PERCOLATION TEST

ARCHITECT.

FOR PLANT STAKING.

**SECTION** 

9 \ POOR DRAINAGE CONDITION

L1.50 SECTION / PLAN

AS REQUIRED. AND NOTIFY OWNER/LANDSCAPE

C. SEE TYPICAL TREE PLANTING DETAIL THIS SHEET

CORNER

CONNECTION

L1.50 | ELEVATION / PLAN

10 TREE PROTECTION FENCING

CONNECTION

MIN. ½ MATURE

SHRŪB WIDTH

- FIRE HYDRANT

(1) FIRE HYDRANT.

2) NO PLANT EXCEEDING 12"

PLACED WITHIN SHOWN RADIUS OF ALL

MATURE HEIGHT

FIRE HYDRANTS.

3 FRONT OF HYDRANT

D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT

E. ASSURE PERCOLATION OF ALL PLANTING PITS

MULTI-TRUNK TREE PLANTING

B. ALL TREE STAKING IS TO BE WITHIN MULCH BED

C. CONTRACTOR SHALL ASSURE PERCOLATION OF

ALL PLANTING PITS PRIOR TO INSTALLATION -

REFER TO POOR DRAINAGE CONDITION DETAIL.

AREA OUTSIDE TREE PIT.

11 \ PALM PLANTING

(TOWARD CURB)

CONTRACTOR SHALL ADJUST PLANT

MATERIAL SO THAT NO

CONFLICTS WITH FIRE HYDRANTS OCCUR ON

MATERIAL SHALL BE

L1.50

- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HEREIN
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE

### B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- 3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FDOT DESIGN STANDARDS, INDEX 600. IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED, THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN 10 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. WHEN A DIRECT APPLICATION OF FDOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A FLORIDA PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY FDOT FOR APPROVAL BY THE COUNTY ENGINEER'S REPRESENTATIVE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

### C. PROTECTION OF EXISTING PLANT MATERIALS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE

### D. MATERIALS

### 1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURS

### 2. PLANT MATERIALS

- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

# E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- 2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.

# b. <u>SAND</u> SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

2. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

# . WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

 $^{\star}$  WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

# G. FERTILIZEI

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

# H. MULCH

- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). MULCH SHALL BE "FLORIMULCH," EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.
- 2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6' MINIMUM) PLANTED UNDER THIS CONTRACT.

# . DIGGING AND HANDLING

- 1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- 2. BALLED AND BURLAPPED (B&B), AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- 4. PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- 5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- I. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY

ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 4. RPG= "ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

### K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

### .. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

### M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

### N. FINE GRADIN

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

### PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
- 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 13. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

# . LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA
- I SODDING
- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

### 6. LAWN MAINTENANCE

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

### CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

### R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

### S. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

### WARRANTY

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- 2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- 3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

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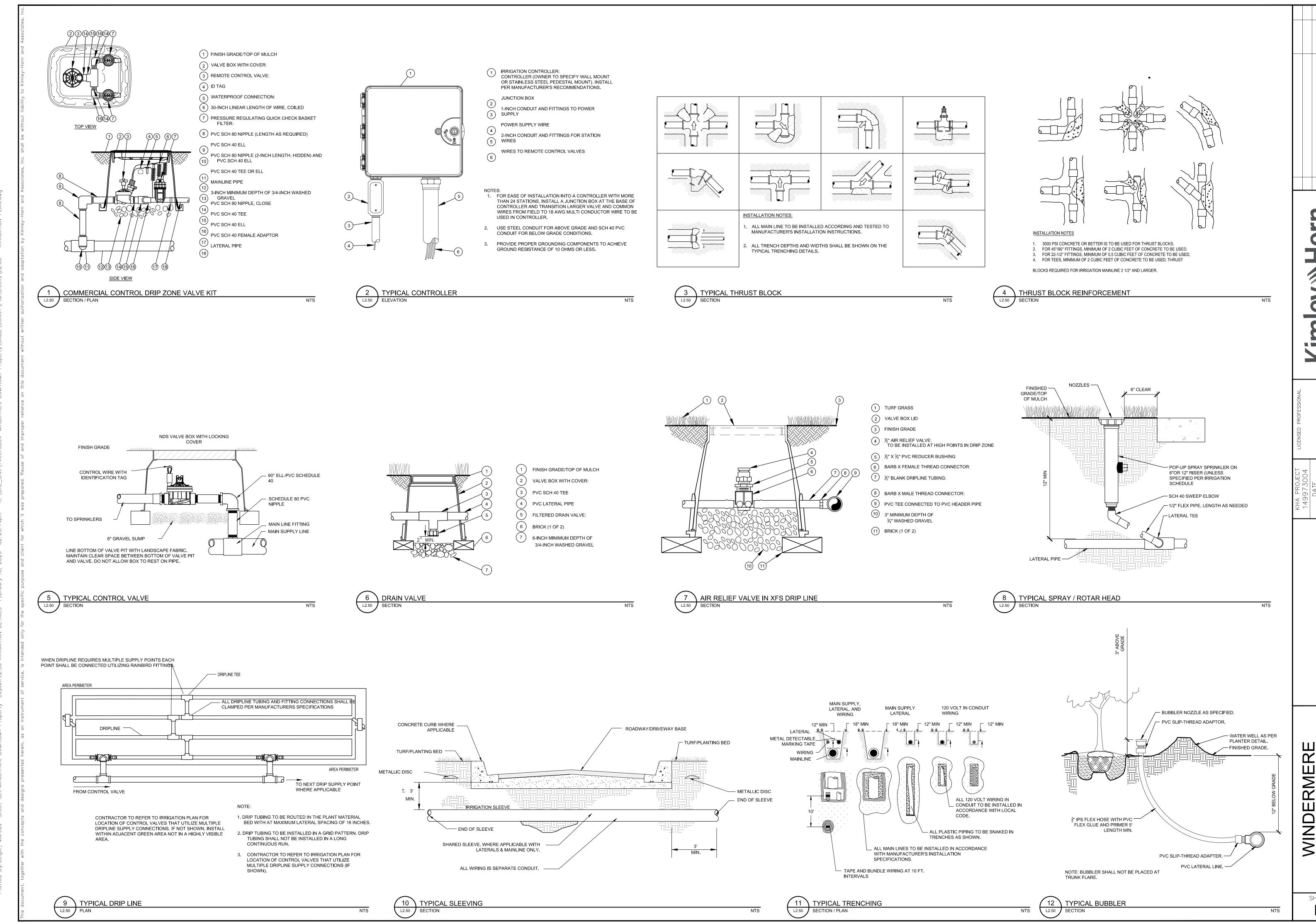
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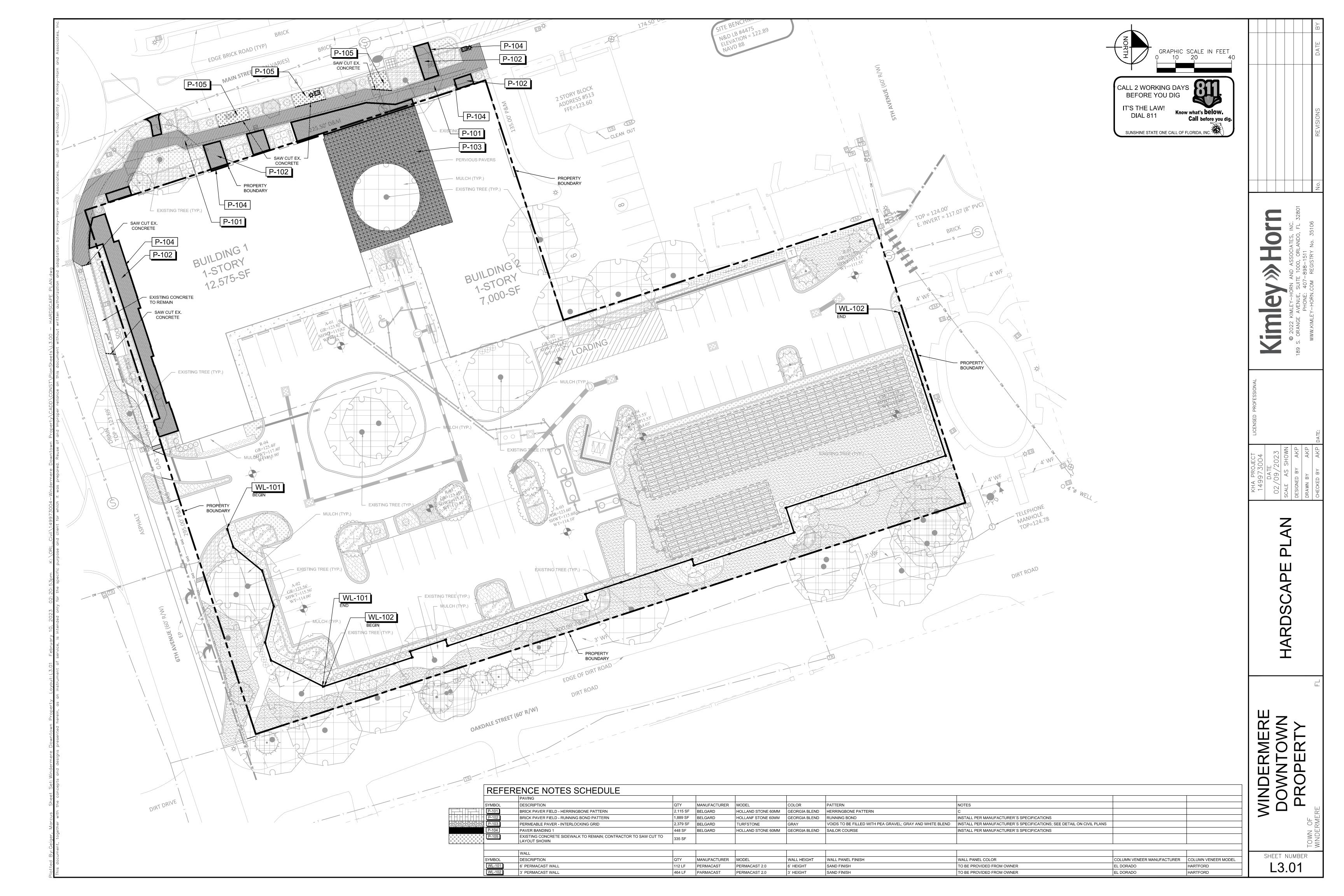
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### **IRRIGATION SYSTEM NOTES:**

- 1. THE IRRIGATION MAINLINE LAYOUT IS DIAGRAMMATIC. ANY CHANGES MADE IN THE IRRIGATION MAINLINE DUE TO FIELD CONDITIONS OR CONTRACTOR'S SUBMITTED DESIGN SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
- 2. SET SPRAY HEADS 6" AND ROTORS 12" IN FROM BACK OF CURB OR 24" IF PAVEMENT HAS NO CURB.
- 3. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL NECESSARY MODIFICATIONS REQUIRED TO MEET THE SCHEMATIC INTENT OF THESE PLANS OUTLINE THE OVERALL LAYOUT THE SYSTEM AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ZONE THE SYSTEM ACCORDINGLY BASED ON FLOW AND PRESSURE AVAILABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FOLLOWING BUT NOT LIMITED TO AVAILABLE FLOW, AVAILABLE PRESSURE, CONNECTION ASSEMBLY, CAPACITY OF THE SYSTEM.
- 4. CONTRACTOR TO PROVIDE NEW AUTOMATIC CONTROLLER FOR PROPOSED SYSTEM (NO BATTERY OPERATED CONTROLLERS ALLOWED). COORDINATE LOCATION WITH OWNER.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AUTOMATIC RAIN SENSOR. COORDINATE LOCATION W/ OWNER.
- 6. IRRIGATION SHALL NOT BE COMBINED ON A SINGLE ZONE AND SHALL BE ZONED ACCORDING TO IRRIGATION TYPE, PRECIPITATION RATE, AND THE SYSTEM'S AVAILABLE WATER / PRESSURE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW PRIOR TO INSTALLATION.
- 7. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
- 8. CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
- 9. INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON-SITE.
- 10. CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
- 11. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- 12. PRODUCTS SHALL BE AS SPECIFIED OR APPROVED EQUAL.

### PRE-APPROVED MANUFACTURERS:

- 1. TORO 2. HUNTER
- RAINBIRD
- 13. IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE
- 14. LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED WITHIN SCH. 40 PVC 2x SIZE OF PIPE AND FREE OF STONES/DEBRIS. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS.
- 15. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
- 16. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- 17. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES.
- 18. ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SCH. 40 PVC SLEEVES, WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- 19. NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB". LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK
- 20. THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
- 21. ELECTRIC SERVICE TO THE CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
- 22. ALL 24 VAC WIRING FROM DECODER TO VALVE SHALL BE OF DIRECT BURIAL COPPER WIRE. MAXIMUM LENGTH OF WIRE FROM DECODER TO VALVE SHALL NOT EXCEED 400 FEET. AS FOLLOWS: CONTROL WIRES - #14
- 23. ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN NDS VALVE BOXES AS FOLLOWS: -RECTANGULAR 12"X17" HEAVY DUTY BOX. (PURPLE COVER FOR REUSE TO BE PROVIDED WHERE APPROPRIATE).
- 24. ALL IRRIGATION HEADS/DRIP TUBING SHALL BE LOCATED ONE (1) FOOT FROM BACK OF CURB WHEN NEXT TO A ROADWAY. (THIS SHALL NOT INCLUDE PARKING AREAS OR DRIVE AISLES).
- 25. HEADS, LATERALS, EMITTERS, AND VALVES ARE NOT SHOWN, BUT ARE NECESSARY FOR A FULLY FUNCTIONING IRRIGATION SYSTEM.
- 26. LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT.
- 27. IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
- 28. ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND AIR RELIEF VALVE. IN THE EVENT THAT A DRIP ZONE HAS MORE THAN ONE HIGH OR LOW POINT, MORE THAN ONE AIR RELIEF VALVE OR FLUSH VALVE WILL BE REQUIRED FOR THAT ZONE. DRIPLINE SHALL PROVIDE 0.9 GPH EMITTERS, 12" O.C. WITH 12" LINE SPACING AT A MINIMUM.
- 29. ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS. IF REQUIRED, ALL WIRING FOR A TWO WIRE PATH SHALL BE WITH RED/BLUE TWISTED PAIR 14 AWG. ELECTRIC CONTROL LINES FROM THE DECODER TO THE SOLENOID VALVES SHALL BE TWISTED PAIR 18 AWG. ALL DECODERS SHALL BE GROUNDED EVERY 1,000 L.F. OR EVERY 10 DEVICES. ALL WIRE SHALL BE FURNISHED IN MINIMUM 2,500' REELS AND SPLICING SHALL BE MINIMIZED. BURY SPLICE KIT. ALL 24 VOLT WIRING SHALL BE DONE IN ACCORDANCE WITH EXISTING CODES. SPLICING SHALL BE IN VALVE BOXES OR CONTROLLERS ONLY. IRRIGATION SYSTEM CONTROL SHALL BE TWO WIRE PATH. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S REQUIREMENTS FOR THIS INSTALLATION. TWO WIRE 2-WAY COMMUNICATIONS FIELD PROGRAMMABILITY, STATION SPECIFICATIONS AND INTEGRATED SURGE PROTECTION.
- 30. ALL CONTROL WIRE SHALL BE INSTALLED IN A 1  $\frac{1}{4}$ " ELECTRICAL CONDUIT.
- 31. SMALLEST DIAMETER LATERAL PIPE SHALL BE 3/4".
- 32. IRRIGATION SYSTEM SHALL BE CAPABLE OF SUPPLYING AN AVERAGE OF 1.05" OF WATER PER WEEK WITHIN WATERING RESTRICTIONS AS APPLICABLE.
- 33. IRRIGATION SYSTEM SHALL NOT BE INSTALLED THROUGH EXISTING, OR PRESERVED PLANT COMMUNITIES. DO NOT TRENCH THROUGH EXISTING ROOT SYSTEMS OF ANY VEGETATION INTENDED TO BE PRESERVED.
- 34. CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
- 35. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR TO THE CONDITION DENOTED ON THE LANDSCAPE PLAN.
- 36. IRRIGATION PIPING INSTALLED UNDER ROADS AND SIDEWALKS SHALL BE IN SCHEDULE 40 PVC SLEEVING AT 2X THE PIPE SIZE. ALL SLEEVING SHALL BE FREE OF STONES AND DEBRIS.
- 37. IRRIGATION SOURCE TO BE EITHER WELL, POTABLE, OR NON-POTABLE WATER. IRRIGATION CONTRACTOR TO VERIFY SOURCE PRIOR TO DESIGN.
- 38. POINT OF CONNECTION TO BE DETERMINED BY OWNER. IRRIGATION SYSTEM CONNECTIONS TO THE LOCAL JURISDICTION SERVICE SHALL COMPLY WITH ALL APPLICABLE CODES.
- 39. IRRIGATION CONNECTION MAY REQUIRE BACKFLOW PREVENTION, VERIFY WITH LOCAL JURISDICTION.
- 40. IRRIGATION SYSTEM SHALL COMPLY WITH THE LOCAL JURISDICTION LAND DEVELOPMENT CODE.



- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE

### B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FDOT DESIGN STANDARDS, INDEX 600. IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED, THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN 10 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. WHEN A DIRECT APPLICATION OF FDOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A FLORIDA PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY FDOT FOR APPROVAL BY THE COUNTY ENGINEER'S
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

### C. PROTECTION OF EXISTING PLANT MATERIALS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE

### D. MATERIALS

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE	
MULCH	ONE (1) CUBIC FOOT	
TOPSOIL MIX	ONE (1) CUBIC FOOT	
PLANTS	ONE (1) OF EACH VARIETY (OR TAG	GED IN NURS

### PLANT MATERIALS

- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND ONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE
- b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

# E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; EASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.

# b. <u>SAND</u> SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

2. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. \* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). MULCH SHALL BE "FLORIMULCH," EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.
- PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6' MINIMUM) PLANTED UNDER THIS CONTRACT.

# DIGGING AND HANDLING

- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- BALLED AND BURLAPPED (B&B), AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

- PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED
- EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY

ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 4. RPG= "ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

### MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

- CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES
- THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS. UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL, TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
- 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 13. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE

- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA
- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM
- c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING
- b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT, ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

### 6. LAWN MAINTENANCE

REGRADING IF NECESSARY).

RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

APPROVED BY THE OWNER'S REPRESENTATIVE.

### R. PLANT MATERIAL MAINTENANCE

UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. FINAL INSPECTION AND ACCEPTANCE OF WORK

TYPICAL LANDSCAPE SPECIFICATIONS (FLORIDA)