

Windermere Downtown Property



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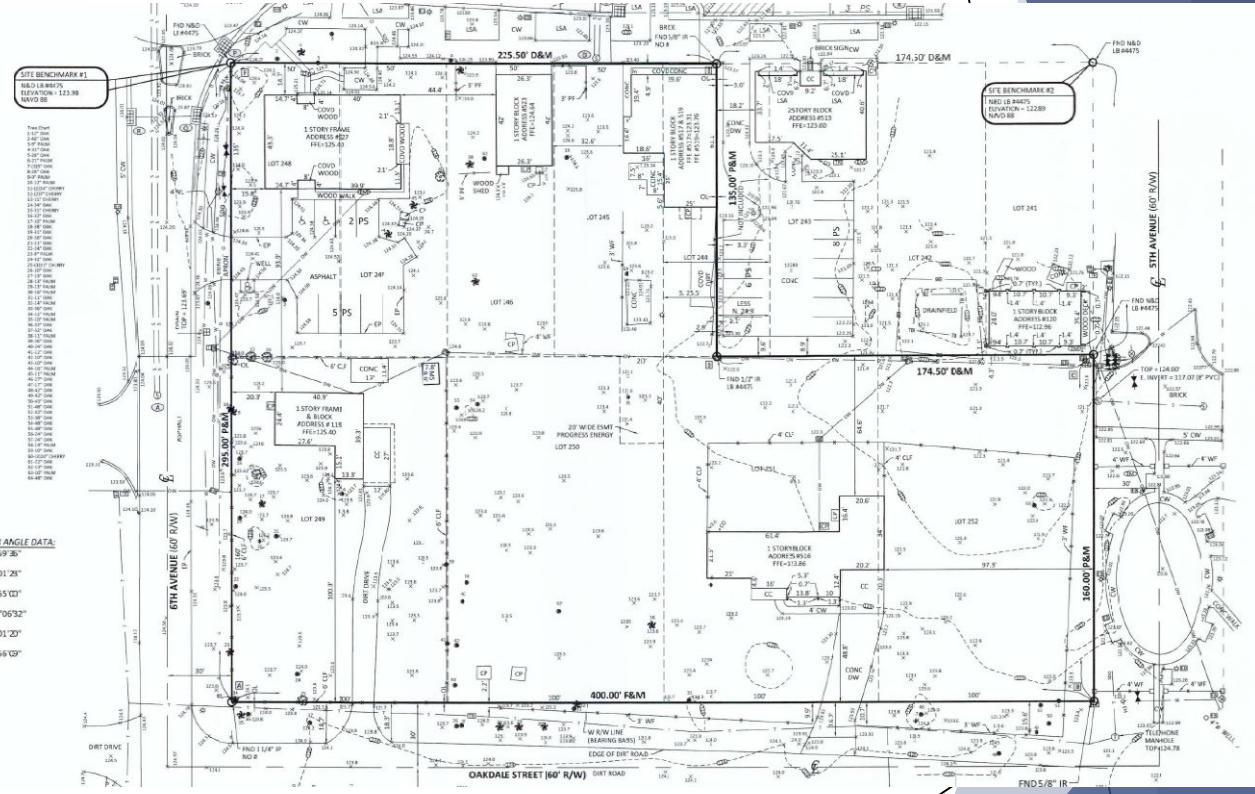
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Existing Conditions



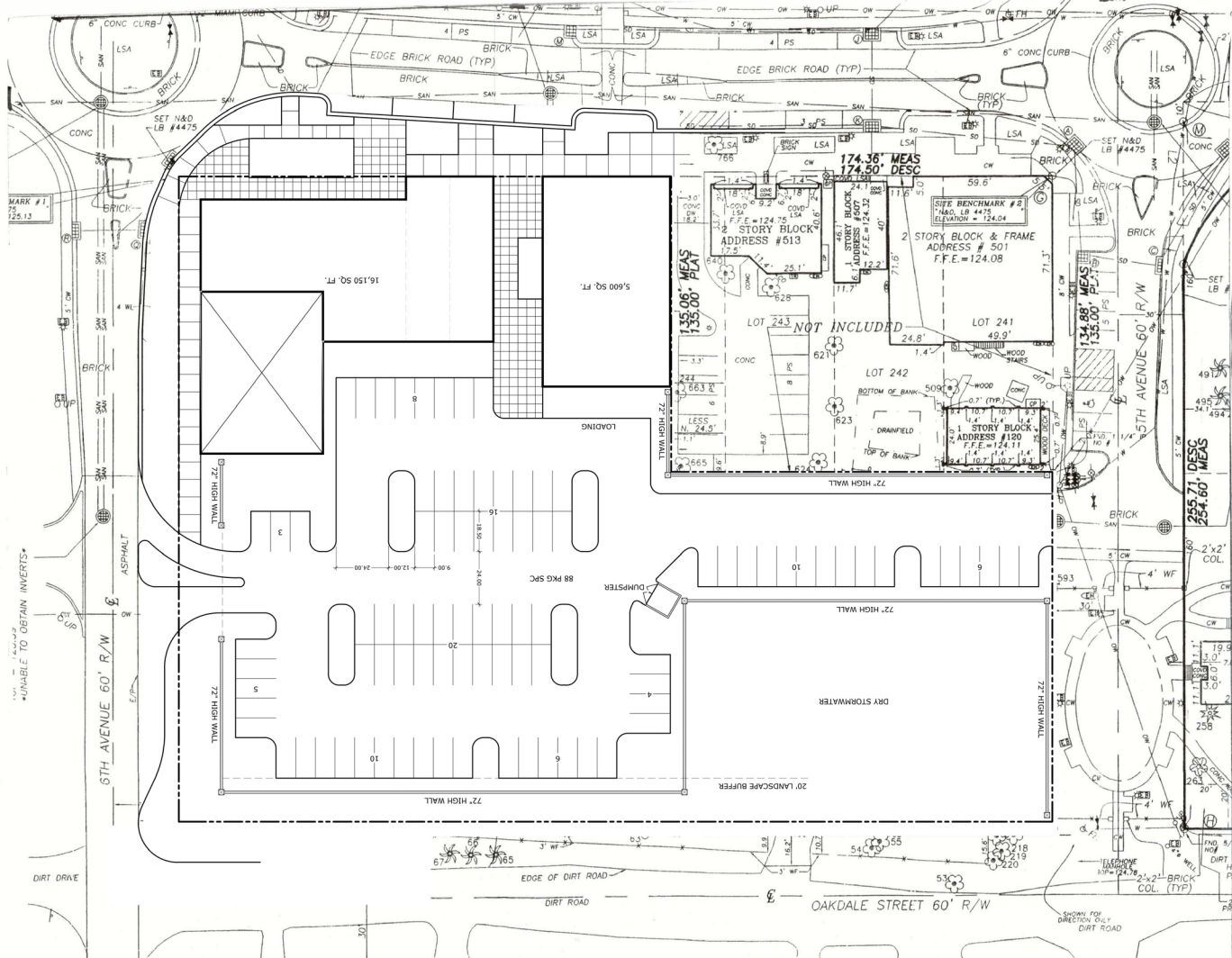
SECTION 17, TOWNSHIP 23S, RANGE 28E
 LOCATION MAP

NTS



Evolution of Site Plan

(Site Plan 01)

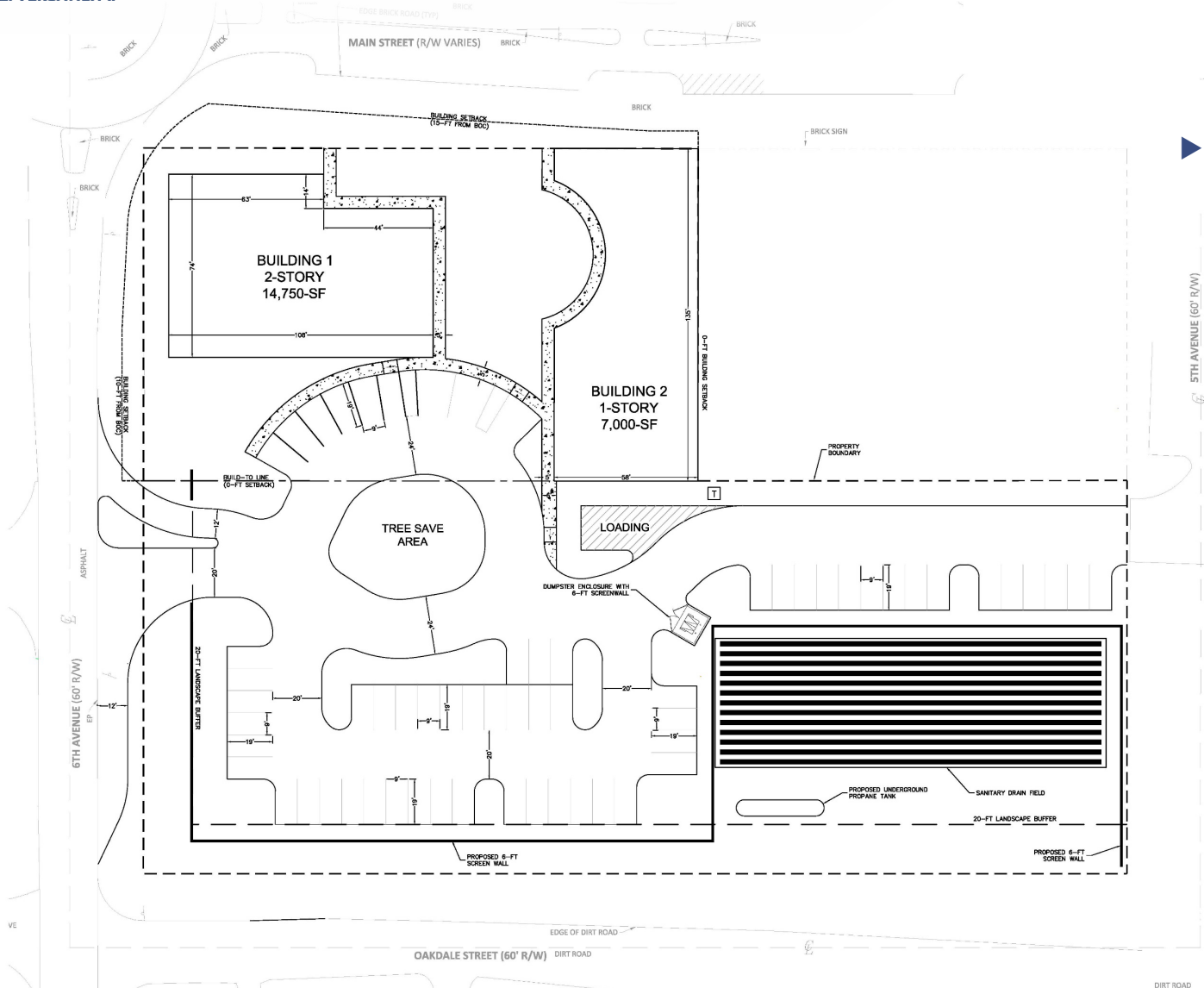


► Project Details

- Site plan 1 05/13/2019
- 21,750sqft
- 2 stories
- 88 parking spaces
- 4 spaces per thousand
- Only Right of way Trees saved

Evolution of Site Plan

(Site Plan 02)

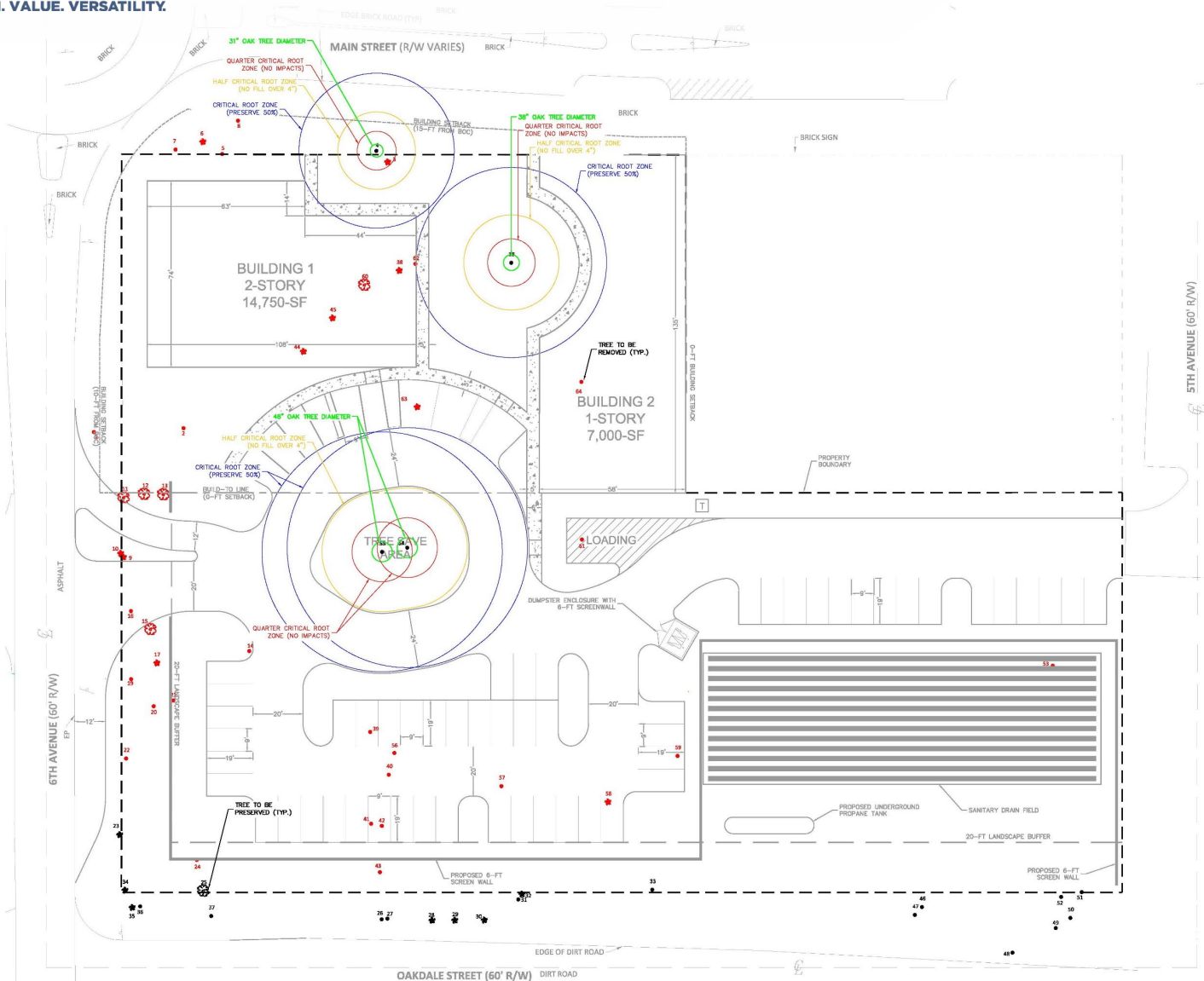


▶ Project Details

- ▶ Site plan 4 11/16/2021
- ▶ 21,750sqft
- ▶ 62 parking spaces
- ▶ 2.99 spaces per thousand
- ▶ Saves “Courtyard Tree” and large paired oaks

Evolution of Site Plan

(Site Plan 02 – Tree Save Areas)

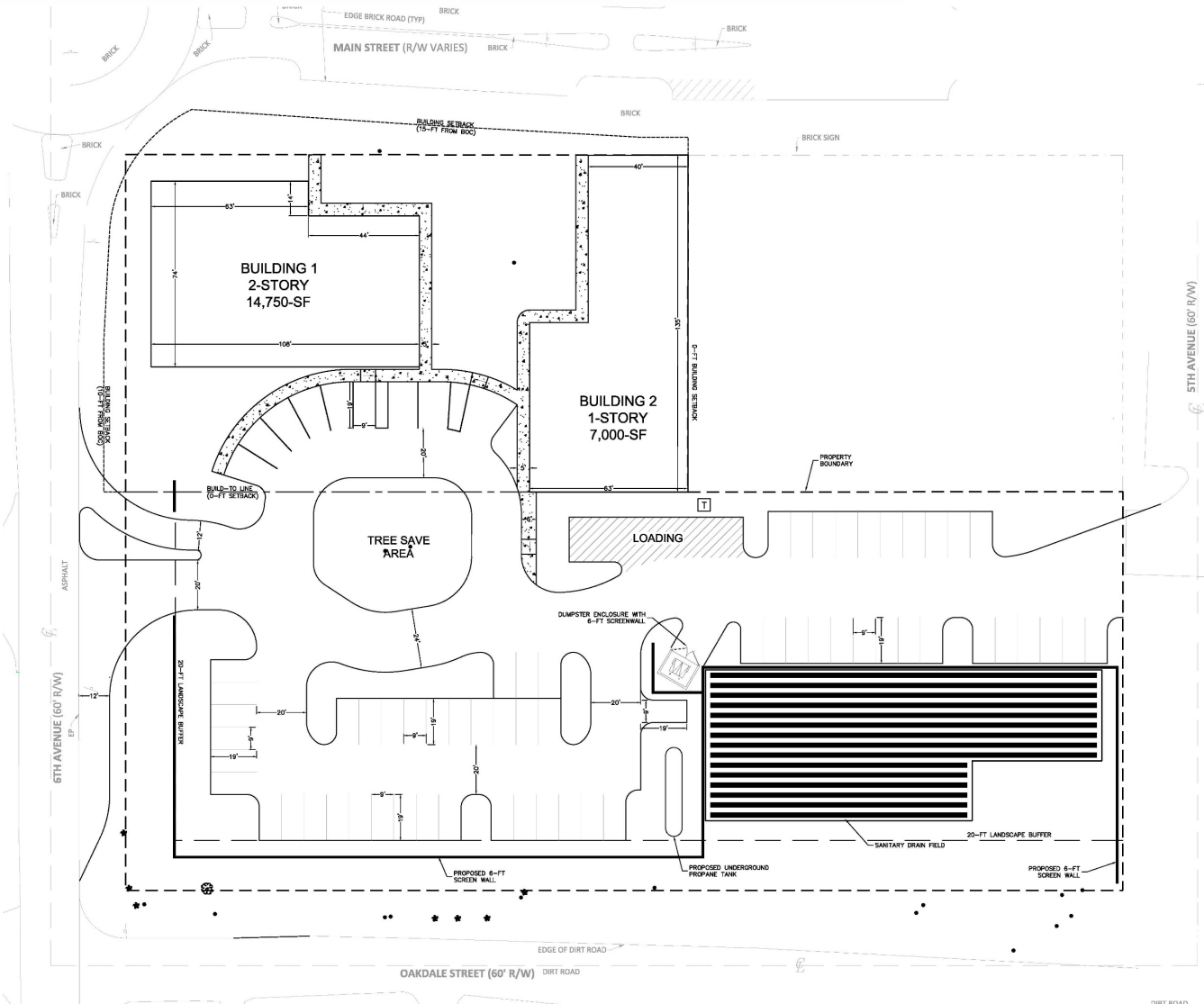


Project Details

- ▶ Site plan 4 11/16/2021
- ▶ 21,750sqft
- ▶ 62 parking spaces
- ▶ 2.99 spaces per thousand
- ▶ Illustrates Critical Root Zones for 4 Large Oaks

Evolution of Site Plan

(Site Plan 03)

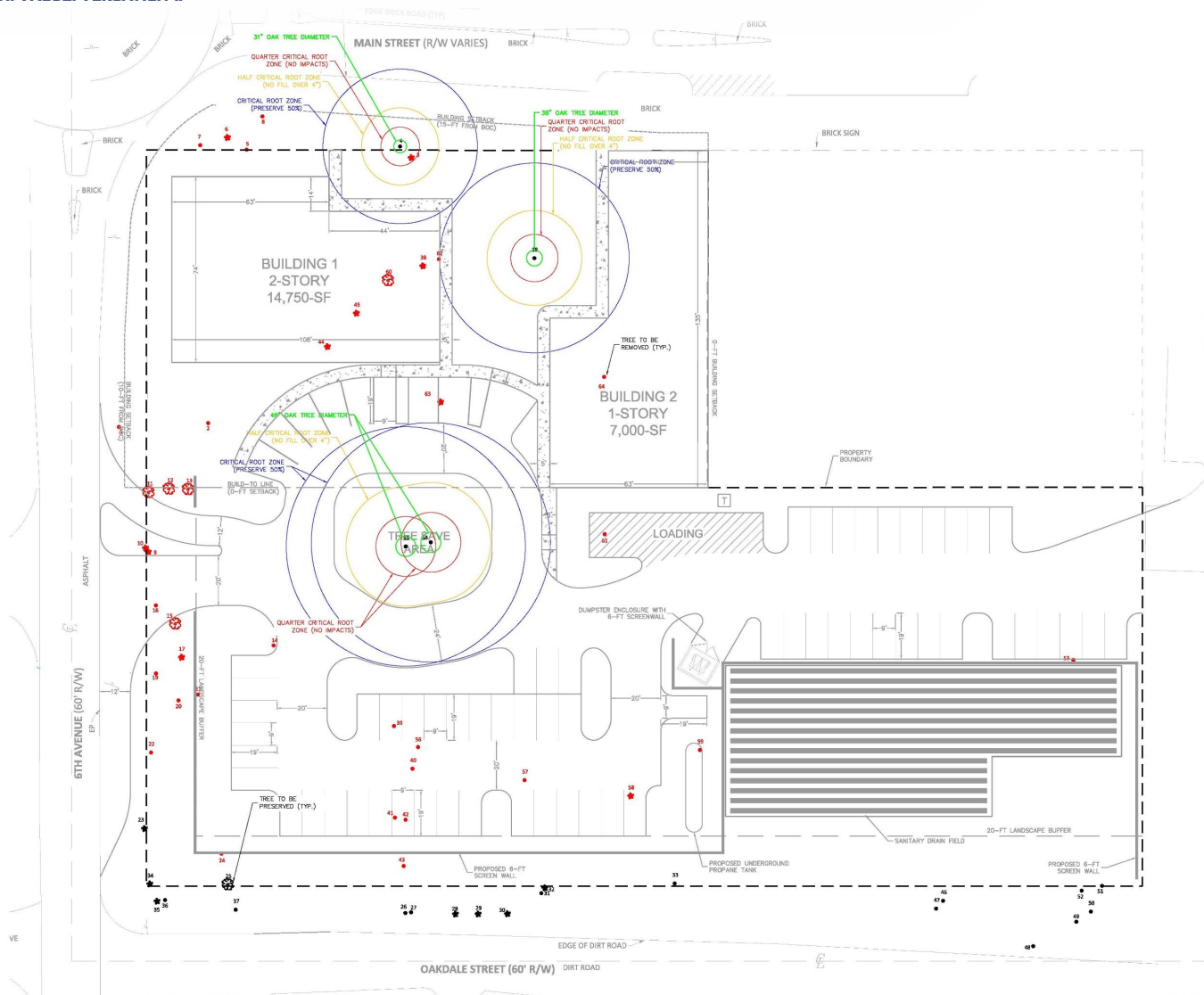


▶ Project Details

- ▶ Site plan 5 12/21/22
- ▶ 21,750sqft
- ▶ 69 parking spaces
- ▶ 3.17 spaces per thousand
- ▶ Moves Propane Tanks and
- ▶ Moves Drain Fields toward property line
- ▶ Adds 6 parking spaces
- ▶ Changes Dumpster location
- ▶ Extends Loading Zone

Evolution of Site Plan

(Site Plan 03 – Tree Save Areas)

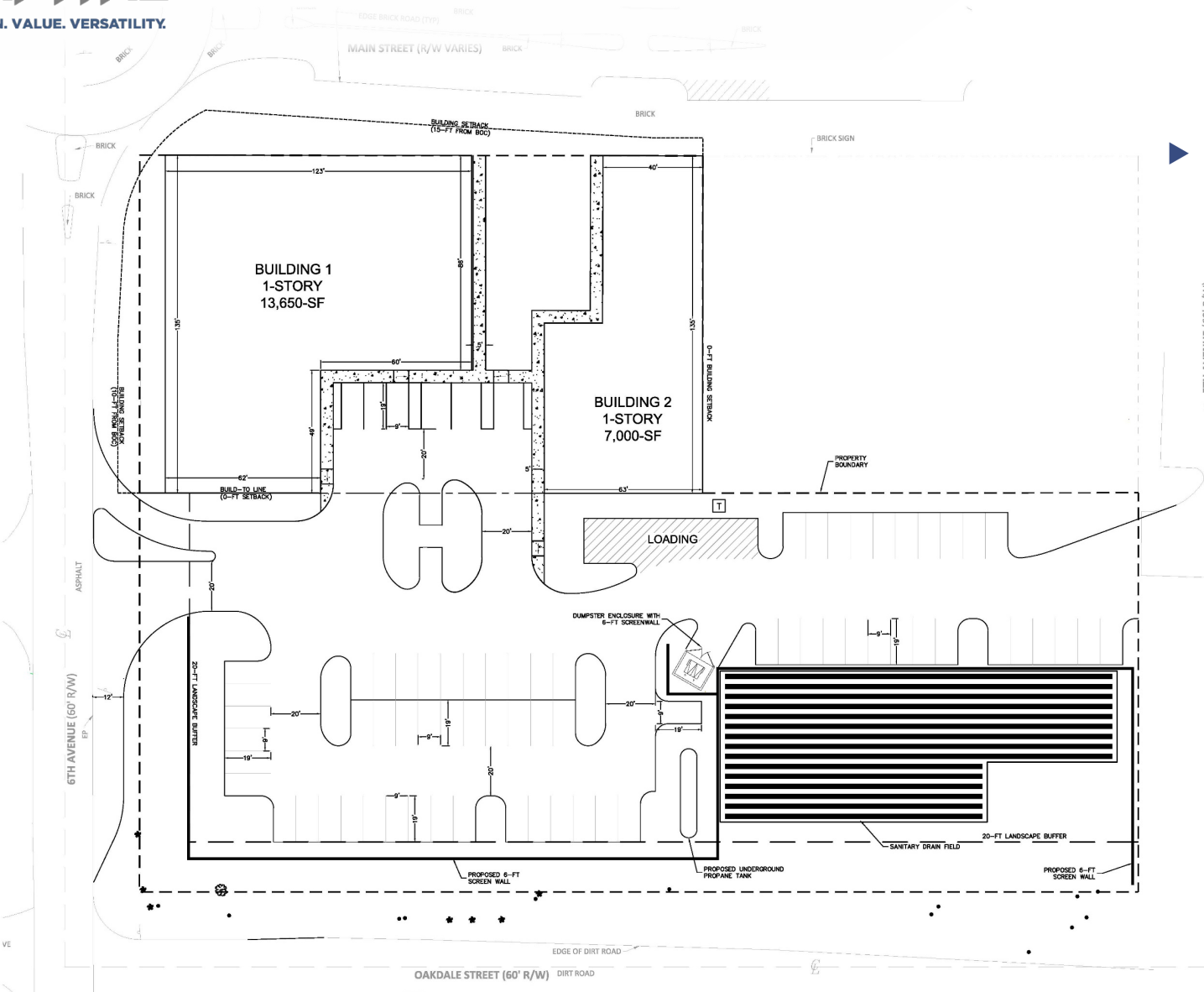


► Project Details

- Site plan 4 12/21/22
- 21,750sqft
- 69 parking spaces
- 3.17 spaces per thousand
- Moves Propane Tanks and
- Moves Drain Fields toward property line
- Adds 6 parking spaces
- Changes Dumpster location
- Illustrates Critical Root Zones

Evolution of Site Plan

(Site Plan 04)

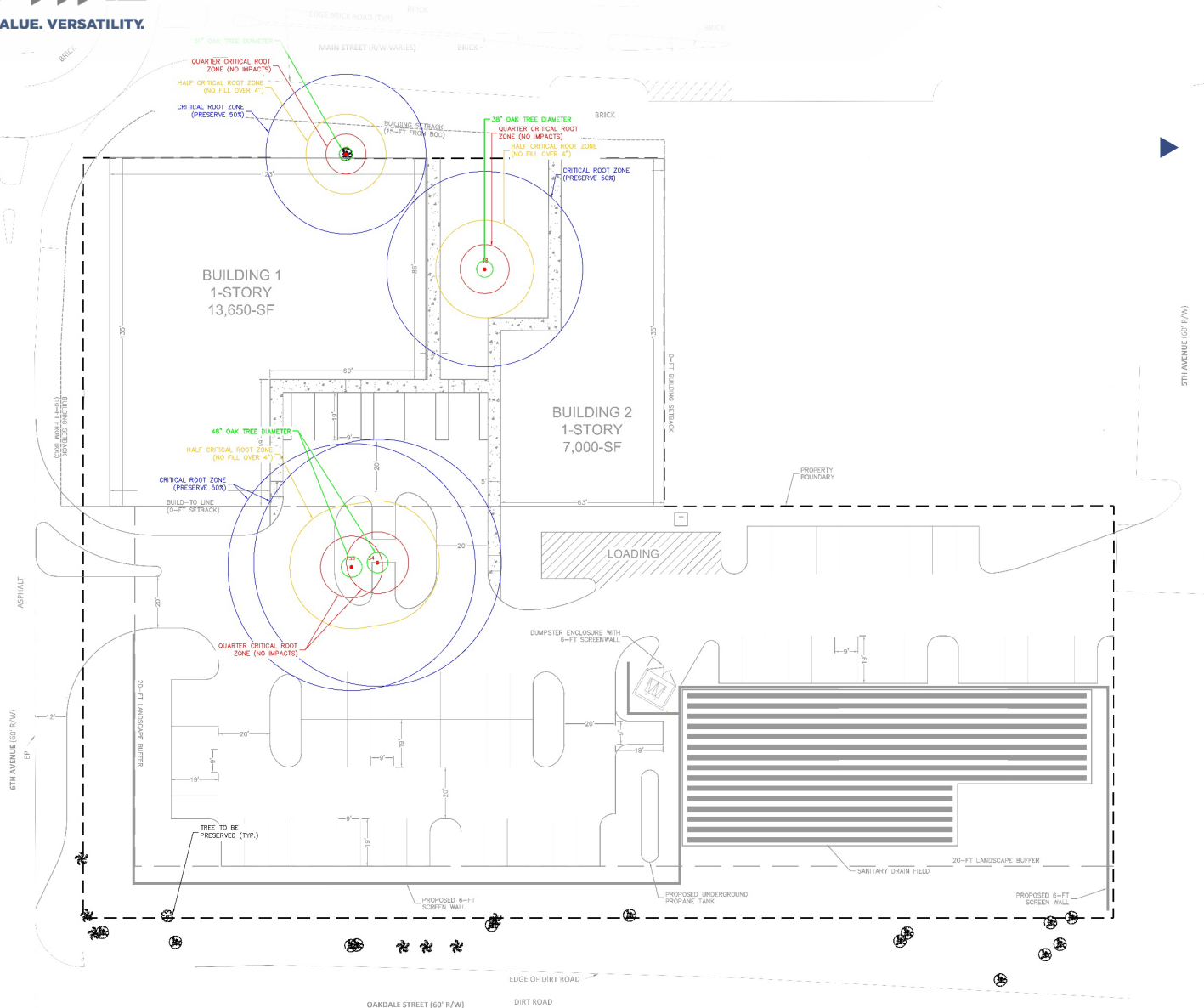


Project Details

- ▶ Site plan 7 01/05/22
- ▶ 20,650sqft
- ▶ 75 parking spaces
- ▶ 3.44 spaces per thousand
- ▶ 1,100 Sqft less
- ▶ Adds another 6 parking spaces
- ▶ Reduces the Central Median

Evolution of Site Plan

(Site Plan 04 – Tree Save Area)

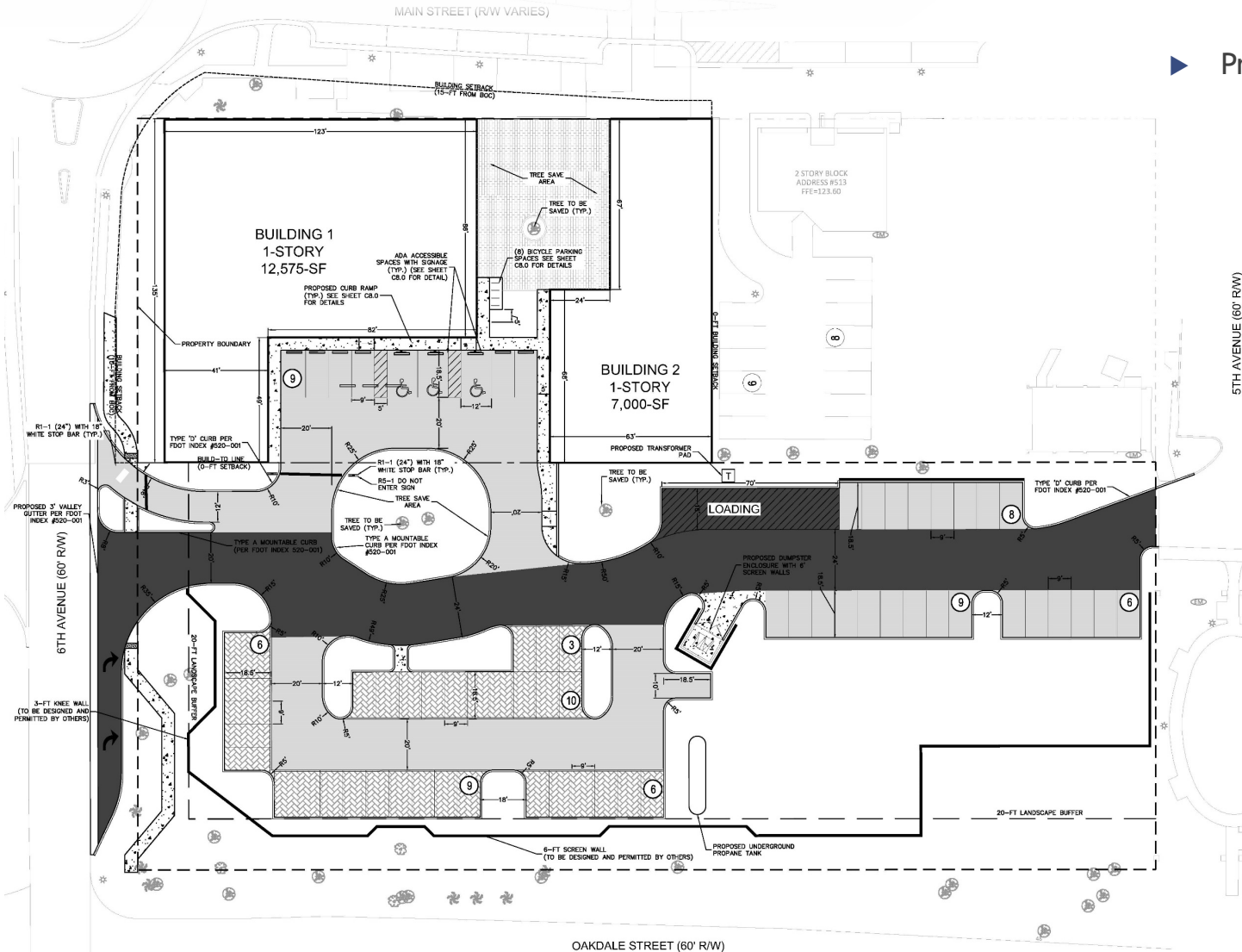


► Project Details

- Site plan 7 01/05/22
- 20,650sqft
- 75 parking spaces
- 3.44 spaces per thousand
- 1,100 Sqft less
- Adds another 6 parking spaces
- Reduces the Central Median
- Illustrates Critical Root Zones

Evolution of Site Plan

(Site Plan 05 – Workshop No. 2)

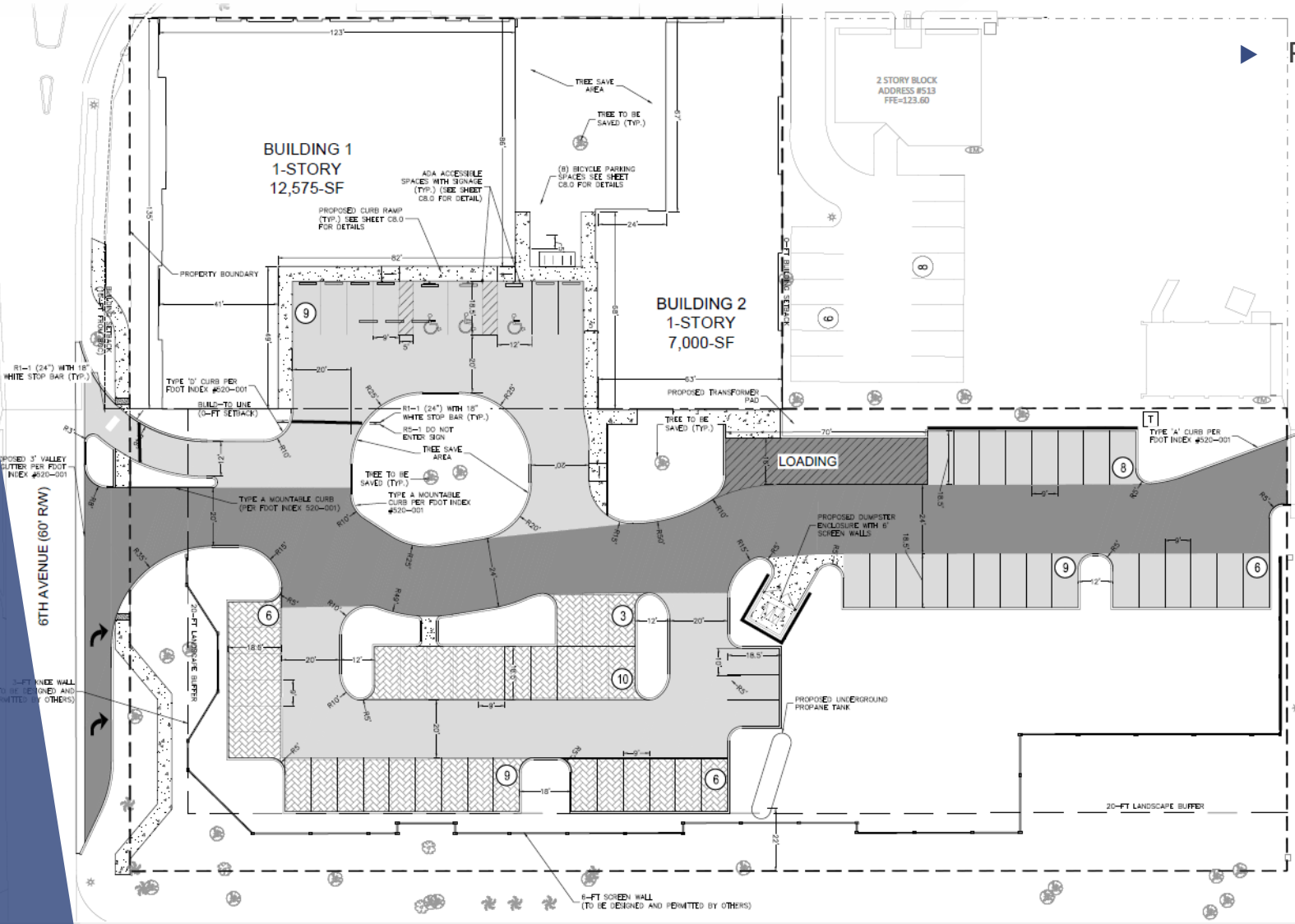


Project Details

- ▶ Site plan 5- July 2022
- ▶ 19,575sqft
- ▶ 2175 square feet or 10% of approved building area removed to accommodate trees
- ▶ 67 parking spaces
- ▶ 3.43 spaces per thousand
- ▶ Relocates Loading zone to accommodate trees
- ▶ Relocates the wall to accommodate Right -of-way trees and concerns
- ▶ Adds 8 bicycle parking spaces
- ▶ Removes 8 Parking space to accommodate Tree root zones
- ▶ Parking spaces designed as pervious pavers

Evolution of Site Plan

(Site Plan 06 – Workshop No. 3)



► Project Details

- Site plan 6- Jan 2023
- 19,575sqft
- 2175 square feet or 10% of approved building area removed to accommodate trees
- 69 parking spaces
- 3.52 spaces per thousand
- Jogs in the foundation of Ace to better accommodate Off-property trees
- Relocates the wall to accommodate Right-of-way trees and concerns
- Moves Underground tank to add 2 more parking spaces
- Proposes changes to city sidewalk project to protect tree

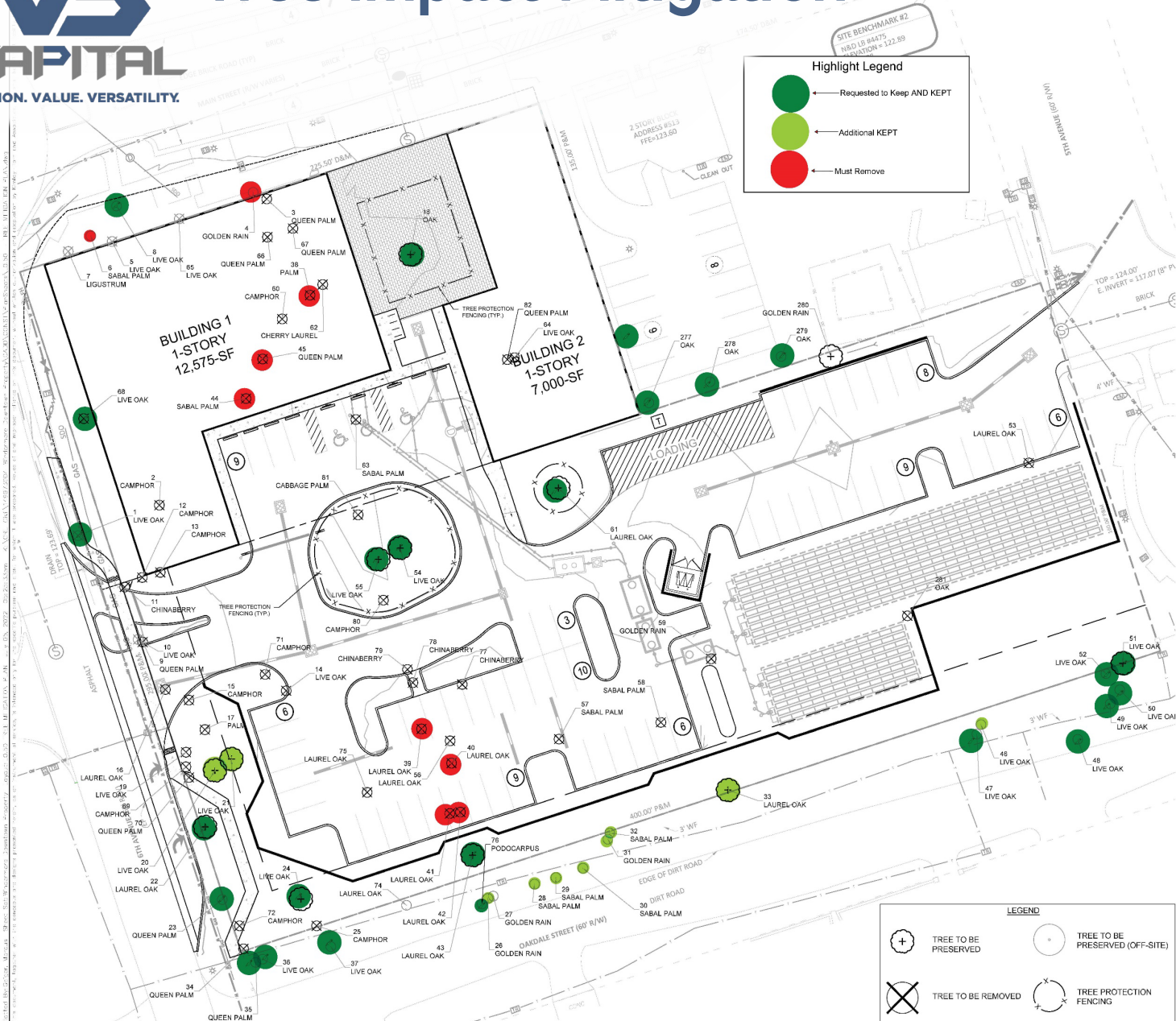
Tree Impact Mitigation

GRAPHIC SCALE IN FEET
0 20 40

SITE BENCHMARK #2
N&D LB 84575
EASTION = 122.89

Highlight Legend

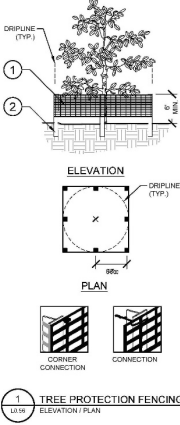
- Requested to Keep AND KEPT
- Additional KEPT
- Must Remove



Tree Number	Species	DBH	Status	Reason	Location
1	LIVE OAK	15	REMOVE	PROP. SIDEWALK	OFF-SITE
2	CAMPBOR	30	REMOVE	PROP. BUILDING	ONSITE
3	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
4	GOLDEN RAIN	29	PRESERVE	-	OFF-SITE
5	LIVE OAK	29	REMOVE	PROP. BUILDING	OFF-SITE
6	SABAL PALM	19	PRESERVE	-	OFF-SITE
7	LIGUSTRUM	11	REMOVE	PROP. BUILDING	OFF-SITE
8	LIVE OAK	25	PRESERVE	-	OFF-SITE
9	QUEEN PALM	8	REMOVE	INGRESS/EGRESS	ONSITE
10	LIVE OAK	9	REMOVE	INGRESS/EGRESS	OFF-SITE
11	CHINABERRY	20	REMOVE	INGRESS/EGRESS	ONSITE
12	CAMPBOR	16	REMOVE	INVASIVE	ONSITE
13	CAMPBOR	10	REMOVE	INVASIVE	ONSITE
14	LIVE OAK	37	REMOVE	PROPOSED PARKING	ONSITE
15	CAMPBOR	36	REMOVE	INVASIVE	ONSITE
16	LAUREL OAK	31	REMOVE	INGRESS/EGRESS	ONSITE
17	PALM	10	REMOVE	PROPOSED WALL	ONSITE
18	DAK	38	PRESERVE	-	ONSITE
19	LIVE OAK	28	REMOVE	PROP. SIDEWALK	ONSITE
20	LIVE OAK	29	PRESERVE	-	ONSITE
21	LIVE OAK	21	PRESERVE	-	ONSITE
22	LAUREL OAK	23	PRESERVE	-	ONSITE
23	QUEEN PALM	8	PRESERVE	-	OFF-SITE
24	LIVE OAK	34	PRESERVE	-	ONSITE
25	CAMPBOR	28	REMOVE	INVASIVE	ONSITE
26	GOLDEN RAIN	10	PRESERVE	INVASIVE	OFF-SITE
27	GOLDEN RAIN	12	PRESERVE	INVASIVE	OFF-SITE
28	SABAL PALM	15	PRESERVE	-	OFF-SITE
29	SABAL PALM	17	PRESERVE	-	OFF-SITE
30	SABAL PALM	18	PRESERVE	-	OFF-SITE
31	GOLDEN RAIN	11	PRESERVE	INVASIVE	OFF-SITE
32	SABAL PALM	17	PRESERVE	-	OFF-SITE
33	DAK	36	PRESERVE	-	ONSITE
34	QUEEN PALM	10	REMOVE	PROP. SIDEWALK	ONSITE
35	QUEEN PALM	9	PRESERVE	-	OFF-SITE
36	LIVE OAK	25	PRESERVE	-	OFF-SITE
37	LIVE OAK	29	PRESERVE	-	OFF-SITE
38	PALM	10	REMOVE	PROP. BUILDING	ONSITE
39	LAUREL OAK	39	REMOVE	PROPOSED PARKING	ONSITE
40	LAUREL OAK	26	REMOVE	PROPOSED PARKING	ONSITE
41	LAUREL OAK	12	REMOVE	PROPOSED PARKING	ONSITE
42	LAUREL OAK	14	REMOVE	PROPOSED PARKING	ONSITE
43	SABAL PALM	21	REMOVE	PROP. BUILDING	ONSITE
44	QUEEN PALM	10	REMOVE	PROP. BUILDING	ONSITE
45	DAK	27	PRESERVE	-	OFF-SITE
46	DAK	17	PRESERVE	-	OFF-SITE
47	DAK	42	PRESERVE	-	OFF-SITE
48	DAK	42	PRESERVE	-	OFF-SITE
49	DAK	43	PRESERVE	-	OFF-SITE
50	DAK	48	PRESERVE	-	ONSITE
51	DAK	42	PRESERVE	-	OFF-SITE
52	LAUREL OAK	38	REMOVE	PROPOSED PARKING	ONSITE
53	DAK	48	PRESERVE	-	ONSITE
54	DAK	48	PRESERVE	-	ONSITE
55	LAUREL OAK	24	REMOVE	PROPOSED PARKING	ONSITE
56	SABAL PALM	11	REMOVE	PROPOSED PARKING	ONSITE
57	SABAL PALM	15	REMOVE	PROPOSED PARKING	ONSITE
58	GOLDEN RAIN	10	REMOVE	INVASIVE	ONSITE
59	CAMPBOR	22	REMOVE	INVASIVE	ONSITE
60	LAUREL OAK	22	PRESERVE	-	ONSITE
61	CHERRY LAUREL	14	REMOVE	PROP. BUILDING	ONSITE
62	SABAL PALM	18	REMOVE	PROP. BUILDING	ONSITE
63	DAK	48	REMOVE	PROP. BUILDING	ONSITE
64	DAK	48	REMOVE	PROP. BUILDING	ONSITE
65	DAK	48	REMOVE	PROP. BUILDING	OFF-SITE
66	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
67	QUEEN PALM	4	REMOVE	PROP. BUILDING	ONSITE
68	DAK	15	REMOVE	PROP. SIDEWALK	ONSITE
69	CAMPBOR	20	REMOVE	INVASIVE	ONSITE
70	QUEEN PALM	7	REMOVE	PROP. SIDEWALK	ONSITE
71	CAMPBOR	32	REMOVE	PROP. CURB	ONSITE
72	CAMPBOR	12	REMOVE	PROP. SIDEWALK	ONSITE
73	CAMPBOR	14	PRESERVE	PROP. SIDEWALK	OFF-SITE
74	LAUREL OAK	17	REMOVE	PROPOSED PARKING	ONSITE
75	LAUREL OAK	38	PRESERVE	-	OFF-SITE
76	POCCARPUS	13	REMOVE	PROPOSED PARKING	ONSITE
77	CHINABERRY	6	REMOVE	PROPOSED PARKING	ONSITE
78	CHINABERRY	23	REMOVE	PROP. SIDEWALK	ONSITE
79	CHINABERRY	6	REMOVE	PROP. CURB	ONSITE
80	CAMPBOR	6	REMOVE	PROP. CURB	ONSITE
81	SABAL PALM	13	REMOVE	PROP. BUILDING	ONSITE
82	QUEEN PALM	9	REMOVE	PROP. BUILDING	ONSITE
83	DAK	29	REMOVE	PROP. SEPTIC	ONSITE
84	DAK	29	REMOVE	PROP. TRANSFORMER	ONSITE
85	DAK	29	PRESERVE	-	ONSITE
86	DAK	36	PRESERVE	-	ONSITE
87	GOLDEN RAIN	38	PRESERVE	-	ONSITE

LEGEND

- + TREE TO BE PRESERVED
- TREE TO BE PRESERVED (OFF-SITE)
- X TREE TO BE REMOVED
- TREE PROTECTION FENCING



- INSTALLATION NOTES:**
- POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC VENUES AND GROUND CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
 - POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 18" OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 9' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
 - SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX).
 - SECURE FENCING TO PORT WITH NYLON CABLE TIES (AVAILABLE FROM CORNED PLASTIC). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.
- NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE MITIGATION PLAN

WINDERMERE DOWNTOWN PROPERTY

TOWN OF WINDERMERE

SHEET NUMBER L0.50

DATE: 07/19/2022

SCALE: AS SHOWN

DESIGNED BY: ANP

DRAWN BY: ANP

CHECKED BY: ANP

DATE:

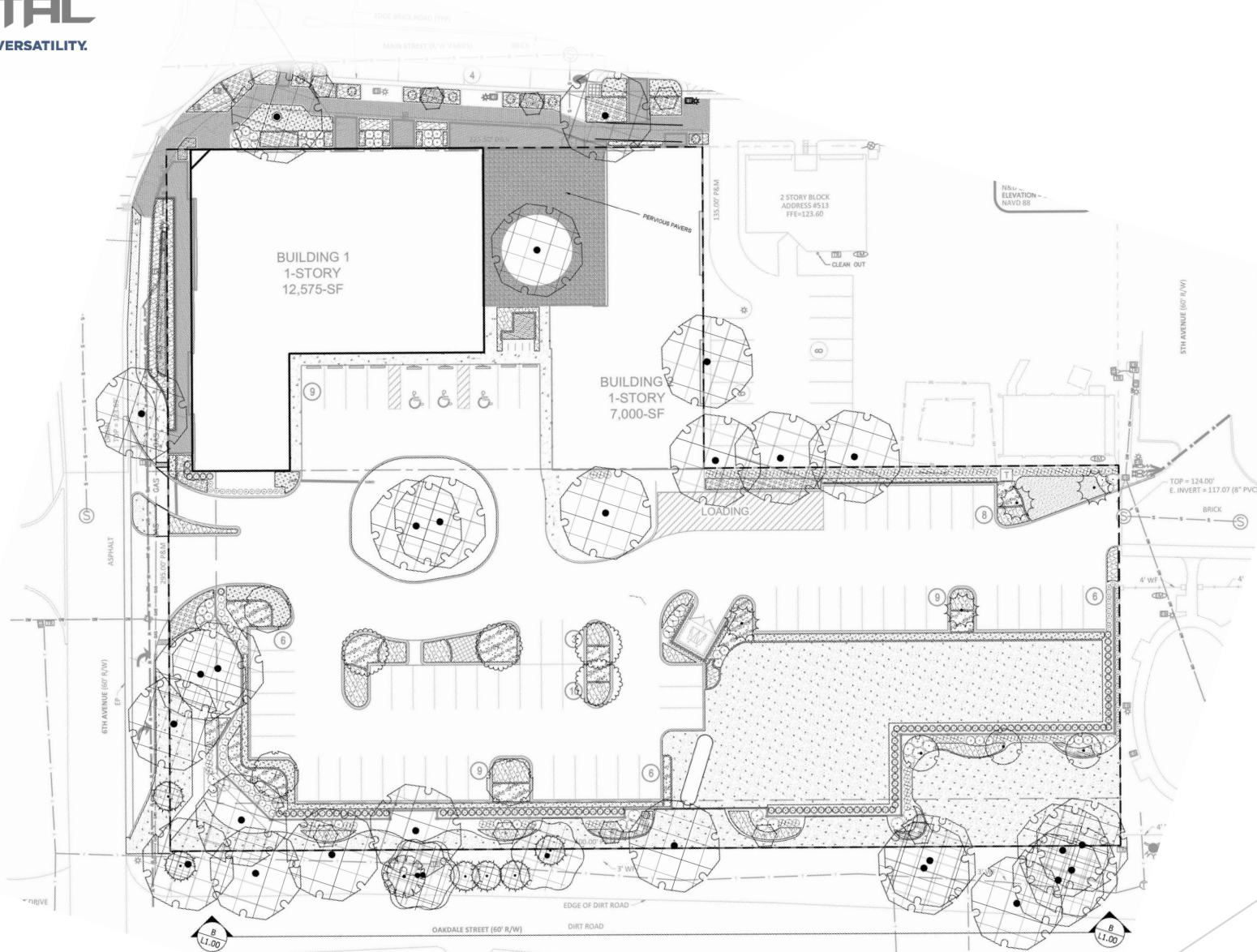
PROJECT: 119973001

LODGE: 1400 LESLON

OWNER: Kimley-Horn

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189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

Landscape Design





Landscape Design (Native Species)

VISION. VALUE. VERSATILITY.

PLANT SCHEDULE

CANOPY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	COUNT	GAL	SIZE	DROUGHT TOL.	NATIVE	TREE TYPE
	KPR	3	EXISTING EUCALYPTUS BAY TRIFF CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YES
	HUB	1	EXISTING HOOGHOPUS TREE CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YES
	OVC	3	QUERCUS VIRGINIANA 'CATHEDRAL' SINGLE, STRAIGHT TRUNK, FULL, FLOR DA #1	CATHEDRAL LIVE OAK	100 GAL.	4" CAL MIN	13' HT., 10' SPK.	YES	YES	
	OVE	27	EXISTING LIVE OAK CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YES
	LYA	4	ALLEE LACEBARK ELM SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	ALLEE LACEBARK ELM	60 GAL.	3" CAL, 10 FT.	14' HT., 13' SPK.	YES	YES	
	PAE	7	EXISTING PALM CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YES
	AE	4	ILEX X ATTENUATA 'EAST PALATKA' SINGLE, STRAIGHT TRUNK, FULL, FLOR DA #1	EAST PALATKA HOLLY	FD	2" CAL MIN	8' HT MIN	YES	YES	
	LN	3	LAGERSTROEMIA INDICA X FAURICA 'NATOCIEZ' STANDARD, SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	NATOCIEZ CRAPPE MYRTLE MULTITRUNK	FG	3" CAL MIN	10'-12' HT MIN	YES	NO	
	LJ	9	LIGULSTRUM JAPONICUM MULTI TRUNK 4 INCHES DIA H OKIWA #1	JAPANESE PRIVET	FG	4" CAL TOT.	6' - 8' HT MIN	YES	NO	
	AGE	29	ABELIA X GRANDIFLORA 'EDWARD GOUCHIER' FULL	EDWARD GOUCHIER GLOSSY ABELIA	3 GAL	36" OC	12" FULL	YES	YES	
	GV	8	GARDONIA AUGUSTA 'MIAMI SUPREMACY' FULL	MIAMI SUPREMACY GARDONIA	7 GAL	36" OC	30" FULL			
	AN	122	ANETHUM H. ORIENTALIS FULL	FLORIDA ANISE	3 GAL	36" OC	20" FULL	YES	YES	
	HM	91	HOOGHOPUS MACROPHYLLUS FULL TO BASE, GLOBEY MATCHING	HOOGHOPUS	3 GAL	24" OC	24" HT MIN	YES	NO	
	FP	41	FLOCCOENDRICH X FASHION' FULL	FASHION GLENY DALE AZALEA	3 GAL	36" OC	24" FULL			
	RG	23	RHOCCOENDRICH X MRS. G. G. GERBING' FULL	LARGE WHITE AZALEA	7 GAL	36" OC	24" FULL			
	FR	6	RHOCCOENDRICH X 'FORMOSA' FULL	FORMOSA AZALEA	7 GAL	48" OC	30" FULL	YES	YES	
	VS	102	VIBURNUM SUSPENSUM FULL	SANDANKWA VIBURNUM	3 GAL	36" OC	24" FULL	YES	NO	
	BT	33	BOLGANVILLEA X 'MISS ALICE' FULL	MISS ALICE BOUGAINVILLEA	3 GAL	18" FULL	36" OC			
	JM	19	JASMINUM MULTIFLORUM	DOWNEY JASMINE	3 GAL	18" FULL	30" OC			
	NE	19	NEPHROLEPS FALCATA	MACHO FERN	3 GAL	18" FULL	30" OC			
	PA	185	PLUMBAGO AURICULATA FULL	BLUE PLUMBAGO	3 GAL	24" FULL	36" OC			
	RA	194	RHAPHIOPHYS INDICA 'A' 'A' FULL	WHITE INDIAN HAWTHORN	3 GAL	18" FULL	30" OC			
	AE	104	ASPIDISTRA ELATIOR FULL	CAST IRON PLANT	3 GAL	10" FULL	18" OC	YES	NO	
	MG	902	MUSCARI TRIBULIFOLIA FULL	RIG RUFFLE TURF	1 GAL	12" FULL	18" OC	YES	NO	
	NC	22	NEPHROLEPS CORIFOLIA	SWOBY FERN	1 GAL	18" FULL	30" OC			
	TM	1,361	TRACHELOSPERMUM ASIATICUM 'MIMMA' FULL	MIMMA ASIATIC JASMINE	1 GAL	8" SPREAD MIN	18" OC			
	SOD A	494 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM' 100% INSECT/DISEASE FREE, LAID TO IT, ROLLED	FLORITAM ST. AUGUSTINE SOD	SOD	-	-	NO	NO	
	SOD B	16,662 SF	PASPALUM NOTATUM 'ARGENT NE' 100% INSECT/DISEASE FREE, LAID TO IT, ROLLED	ARGENTINE BAHIA GRASS	SOD	-	-	YES	NO	

- ▶ Proposed Canopy Trees
 - ▶ 3 Native Cathedral Live Oaks
 - ▶ 4 Allee Lacebark Elm
- ▶ Proposed Understory Trees
 - ▶ 4 East Palatka Hollies
- ▶ Proposed Shrubs
 - ▶ 29 Edward Goucher Glossy Abelia
 - ▶ 122 Florida Anise
 - ▶ 6 Formosa azalea



Landscape Design (Existing Trees)

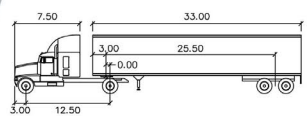
VISION. VALUE. VERSATILITY.

PLANT SCHEDULE

CANOPY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE	DROUGHT TOL.	NATIVE	TREE TYPE
	KPF	3	EXISTING GOLDEN RAIN TREE CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YFS
	PPM	1	EXISTING PODOCARPUS TREE CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YFS	YFS	Y-S
	OVC	3	EXISTING QUERCUS VIRGINIANA 'CATHEDRAL' SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	CATHEDRAL LIVE OAK		100 GAL.	4" CAL. MIN. 15' H., 10" DBH	YES	YES	YCS
	OVC	27	EXISTING LIVE OAK CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YCS
	LPA	1	EXISTING LILY PALM SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	LIFF LILY PALM		65 GAL.	3" CAL. TO 10" 11' H., 10" DBH	YES	YES	YFS
	CODE <th>QTY</th> <th>BOTANICAL NAME</th> <th>COMMON NAME</th> <th>CONT.</th> <th>GAL.</th> <th>SIZE</th> <th>DROUGHT TOL.</th> <th>NATIVE</th> <th>TREE TYPE</th>	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE	DROUGHT TOL.	NATIVE	TREE TYPE
	PAE	7	EXISTING PALM CONTRACTOR LIABLE FOR DAMAGES	TO REMAIN	EXISTING			YES	YES	YES
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE	DROUGHT TOL.	NATIVE	TREE TYPE
	IAP	4	EXISTING EAST PALM TREE SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	EAST PALM TREE		2" CAL. MIN.	8' HT. MIN.	YES	YES	YFS
	LIN	3	EXISTING LINDERA INDIANA STANDARD SINGLE, STRAIGHT TRUNK, FULL, FLORIDA #1	WAX LEAF LINDERA		3" CAL. MIN.	10' - 12' H. MIN.	YES	NO	NO
	LI	9	EXISTING JAPANESE PRIVET MULTI TRUNK, 4 TRUNKS, FULL, FLORIDA #1	JAPANESE PRIVET		4" CAL. TOT.	6' - 9' H. MIN.	YES	NO	NO
	ASH	25	EXISTING ARBUSTA FULL	HOWARD GEORGE ARBUSTA		3 GAL.	38" OC	12" FULL	YFS	YFS
	GM	8	EXISTING MIAMI SUPREME FULL	MIAMI SUPREME CADENA		7 GAL.	SEE PLAN	30" FULL		
	IP	122	EXISTING FLORIDA NINE FULL	FLORIDA NINE		3 GAL.	36" OC	20" FULL	YES	YES
	PM	91	EXISTING MACROPHYLLUS FULL TO HALF, C. DIFF. Y MATCHING	PODOCARPUS		3 GAL.	24" OC	24" H. MIN.	YES	NO
	RF	41	EXISTING FASHION FULL	FASHION GLENN DALE AZALEA		3 GAL.	36" OC	24" FULL		
	RC	23	EXISTING MRS. C. C. CERBERUS FULL	LARGE WHITE AZALEA		7 GAL.	36" OC	24" FULL		
	RR	6	EXISTING FORMOSA FULL	FORMOSA AZALEA		7 GAL.	48" OC	30" FULL	YES	YES
	VS	102	EXISTING VANDANWA FULL	VANDANWA VIBURNUM		3 GAL.	36" OC	24" FULL	YES	NO
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	DROUGHT TOLERANCE	NATIVE	
	BT	36	EXISTING BOUSAINVILLEA FULL	MISS ALICE BOUSAINVILLEA		3 GAL.	18" FULL	36" OC		
	JM	19	EXISTING JASMINUM FULL	DOWNY JASMINE		3 GAL.	16" FULL	30" OC		
	NF	19	EXISTING NERPHOLEPIS FULL	WAX FERN		3 GAL.	16" FULL	30" OC		
	HA	180	EXISTING HEMLOCK FULL	4-LB. H. JASMINE		3 GAL.	24" FULL	36" OC		
	RA	184	EXISTING RHAPHIDOLEPIS FULL	WHITE INDIAN HAWTHORN		3 GAL.	18" FULL	30" OC		
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	DROUGHT TOL.	NATIVE	
	AF	101	EXISTING ASPIDISTRA FULL	CAST IRON PLANT		3 GAL.	10" FULL	16" OC	YES	NO
	LMS	902	EXISTING LIRIOPE FULL	BIG BLUE LILY TURF		1 GAL.	12" FULL	18" OC	YES	NO
	NC	22	EXISTING NERPHOLEPIS FULL	SWORD FERN		1 GAL.	18" FULL	30" OC		
	TM	1,351	EXISTING TRAC FULL	MINIYA ASIATIC JASMINE		1 GAL.	0" SPREAD MIN.	16" OC		
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	DROUGHT TOL.	NATIVE	
	SOL A	494 SF	EXISTING SAND 100% INSECTICIDE FREE, LAID TIGHT, ROLLED	LOAM SAND, AUGUSTINE SOIL		SOD	-	-	NO	NO
	SOD B	16,022 SF	EXISTING BAHIA GRASS 100% INSECTICIDE FREE, LAID TIGHT, ROLLED	ARGENTINE BAHIA GRASS		SOD	-	-	YES	NO

- ▶ Existing Canopy Trees
 - ▶ 3 Golden Rain
 - ▶ 1 Podocarpus
 - ▶ 27 Live Oak
- ▶ Existing Palm Trees
 - ▶ 7 Palm

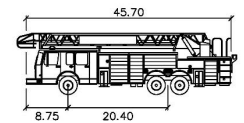
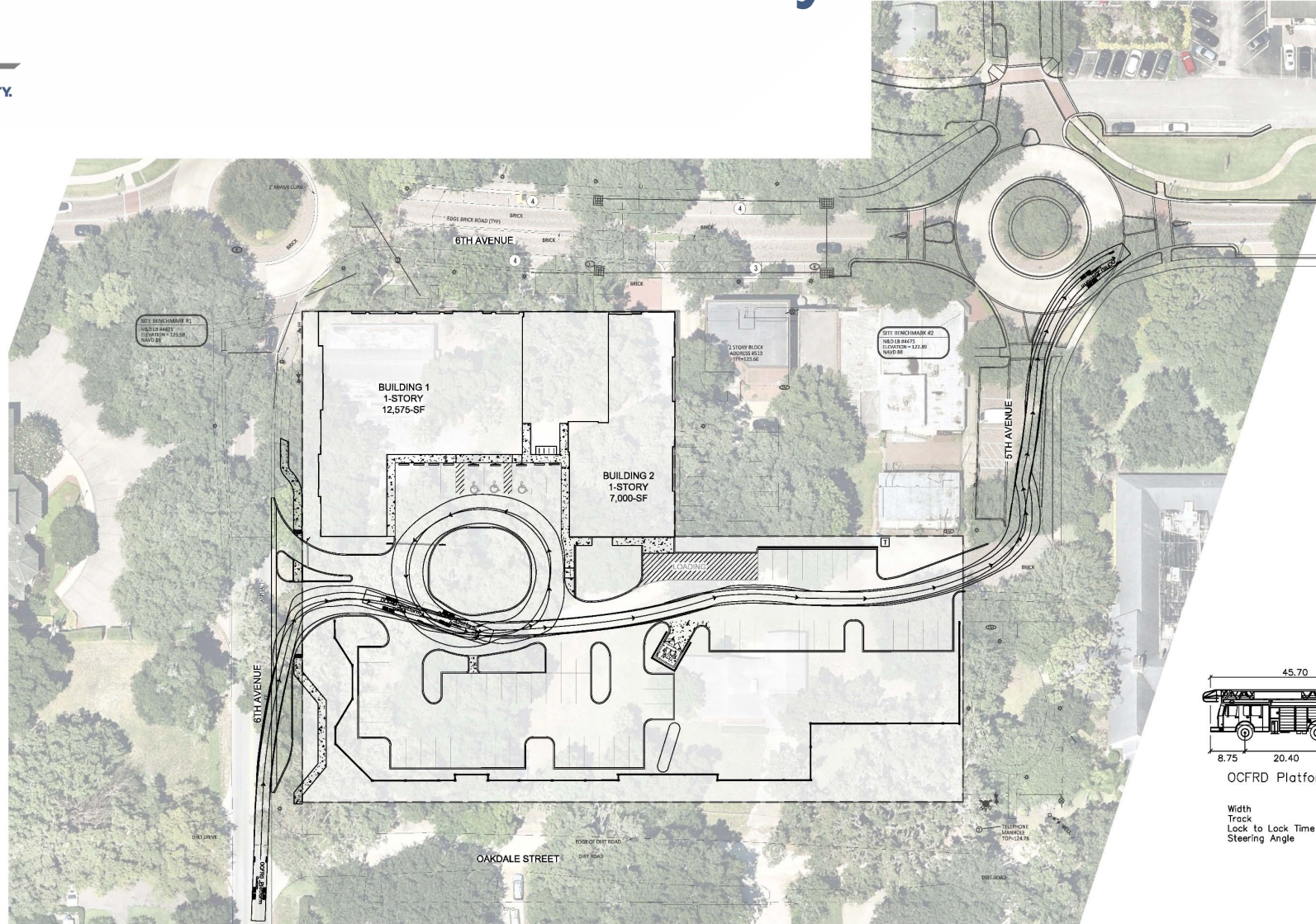
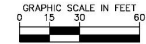
Truck Auto-Turn Analysis



WB-40

feet		
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.00	Steering Angle : 20.3
Tractor Track	: 8.00	Articulating Angle : 70.0
Trailer Track	: 8.00	

Fire Truck Auto-Turn Analysis



OCFRD Platform
feet
Width : 8.33
Track : 8.33
Lock to Lock Time : 6.0
Steering Angle : 44.2

Always call 811 two full business days before you dig to have underground utilities located and marked.
Sunshine811.com

WINDERMERE DOWNTOWN PROPERTY		TRUCK ROUTING EXHIBIT		LICENSURE PROFESSIONAL		Kimley»Horn	
TOWN OF WINDERMERE		FL		PROJECT NO. 148923004		DATE 02/18/2022	
SHEET NUMBER		SCALE AS SHOWN		DESIGNED BY MIG		F.L. LICENSE NUMBER	
		DRAWN BY CHAL		CHECKED BY MIG		DATE	
						No. REVISIONS	
						DATE	
						BY	
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Existing Conditions-Trucks off Main



Existing Conditions-Trucks off Main



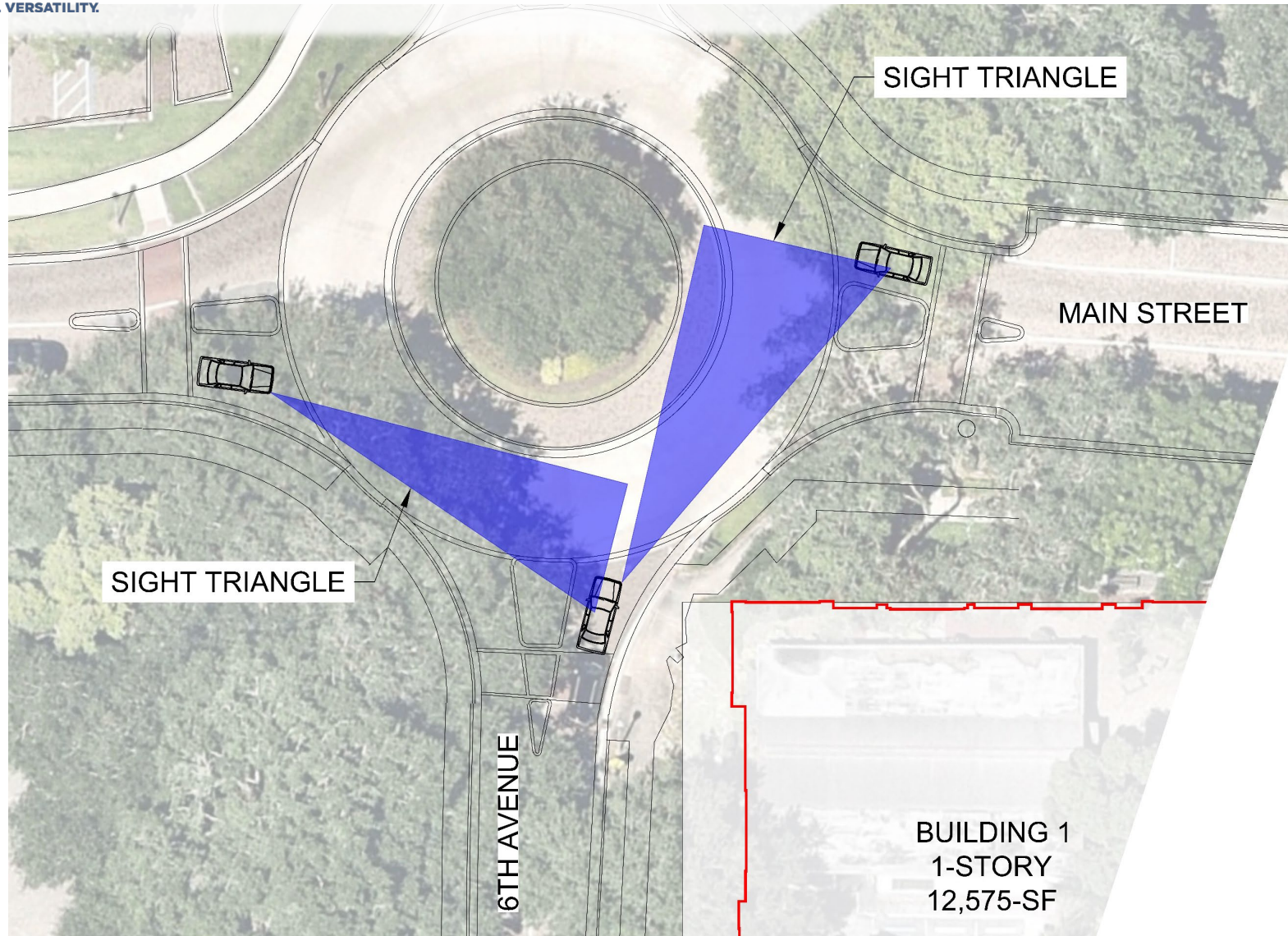
Existing Conditions-Trucks off Main



Existing Conditions-Trucks off Main



Roundabout Lines of Sight





Main Street Rendering



Elevations – View From Main

OPTION A

SW 7757 High Reflective White Interior Location Number: 256-C1	SW 6687 Lantern Light Interior / Exterior Location Number: 136-C1	SW 6241 Aleutian Interior / Exterior Location Number: 224-C3	SW 7076 Cyberspace Interior / Exterior Location Number: 235-C7	SW 7071 Gray Screen Interior / Exterior Location Number: 235-C1
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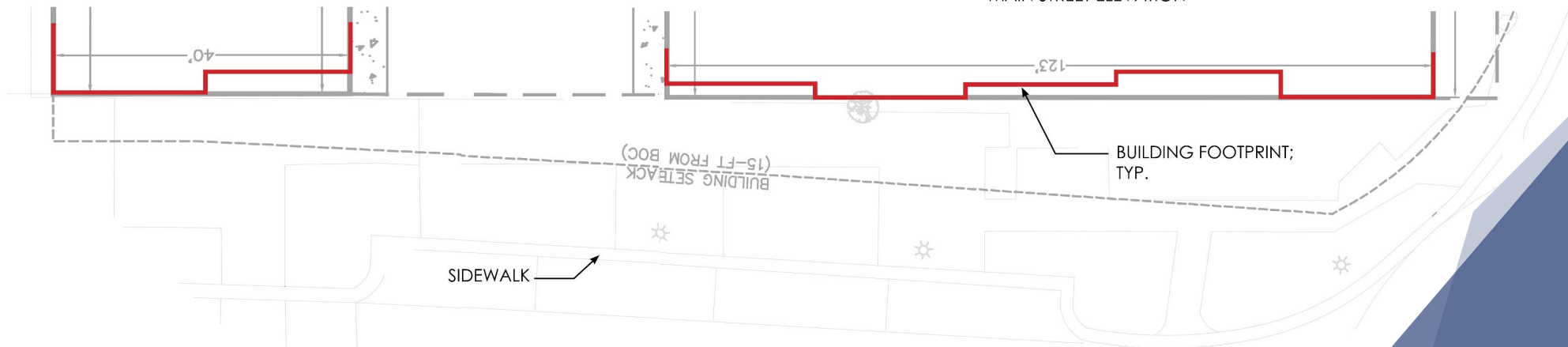


TRIM/ CORBELS PT-3 SHERWIN WILLIAMS HIGH REFLECTIVE WHITE	STUCCO PT-1 SHERWIN WILLIAMS LANTERN LIGHT	STUCCO PT-2 SHERWIN WILLIAMS ALEUTIAN	CANOPIES PT-4 SHERWIN WILLIAMS CYBERSPACE	SIDING WD-1 SHERWIN WILLIAMS GRAY SCREEN	STONE VENEER ST-1 EL DORADO TUNDRABRICK/ LATIGO	BRICK VENEER ST-2 EL DORADO TUNDRABRICK/ HARTFORD
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ACE HARDWARE
MAIN STREET ELEVATION

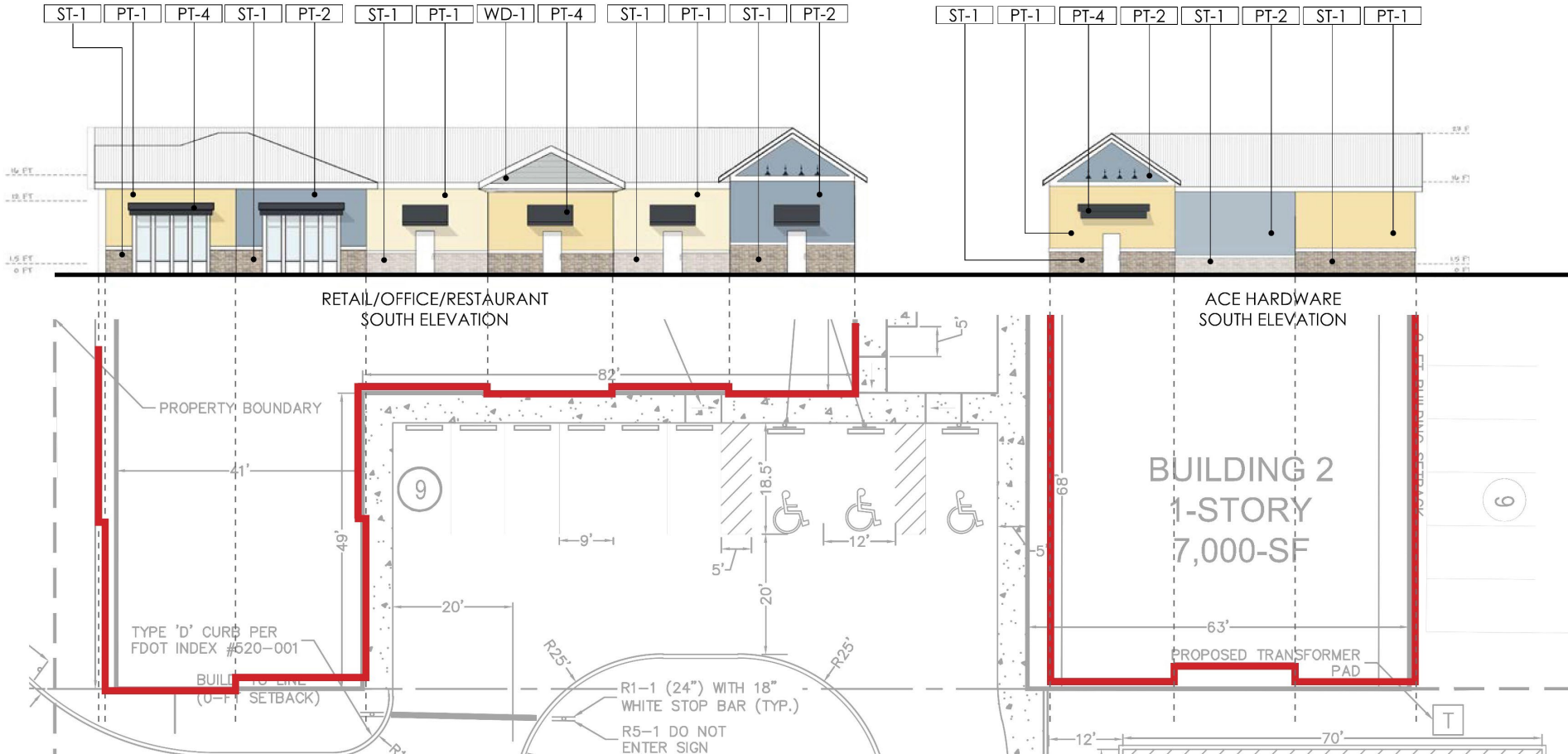
RETAIL/OFFICE/RESTAURANT
MAIN STREET ELEVATION



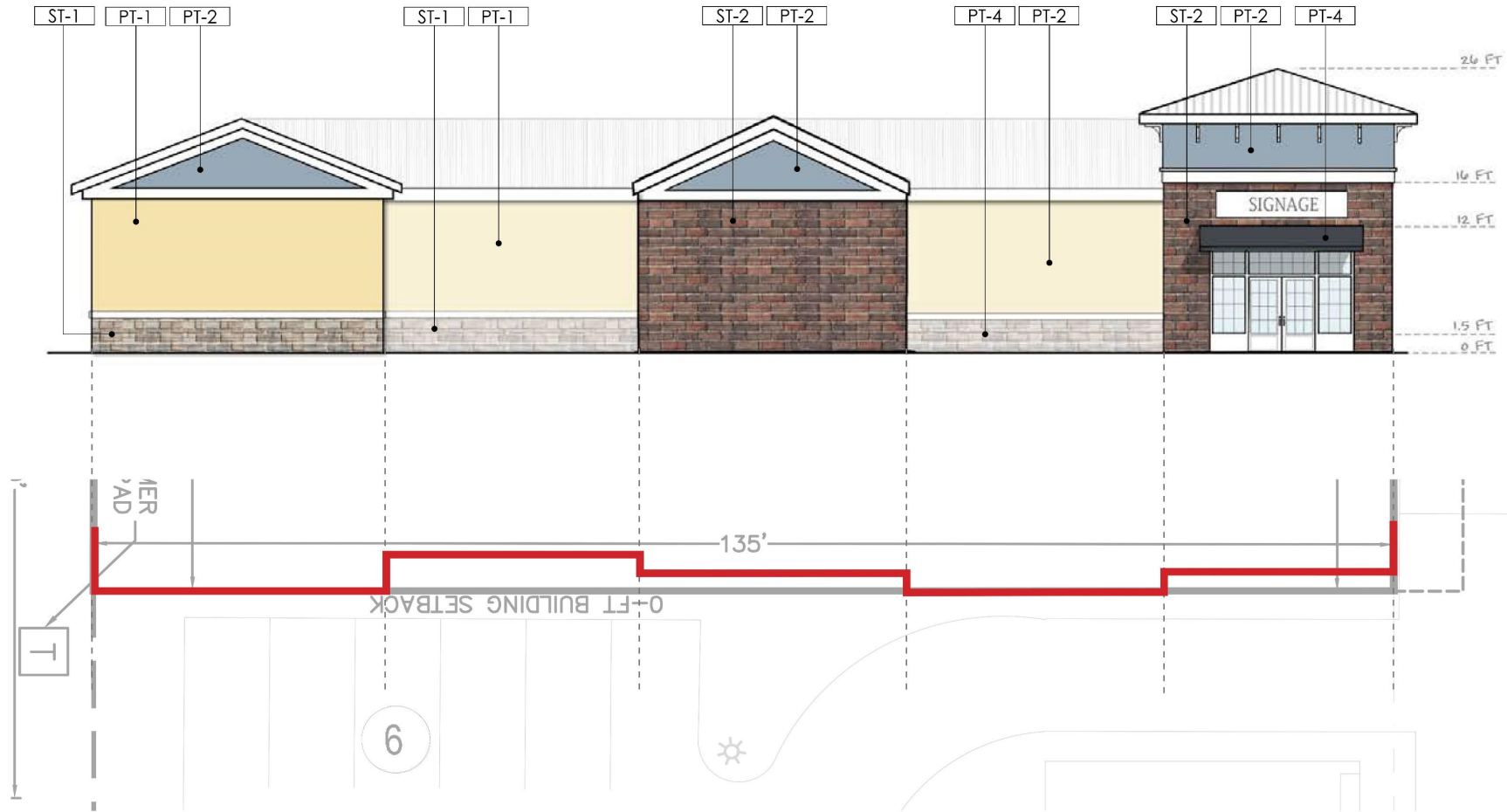
Elevations – View From 6th



Elevations – View From Oakdale



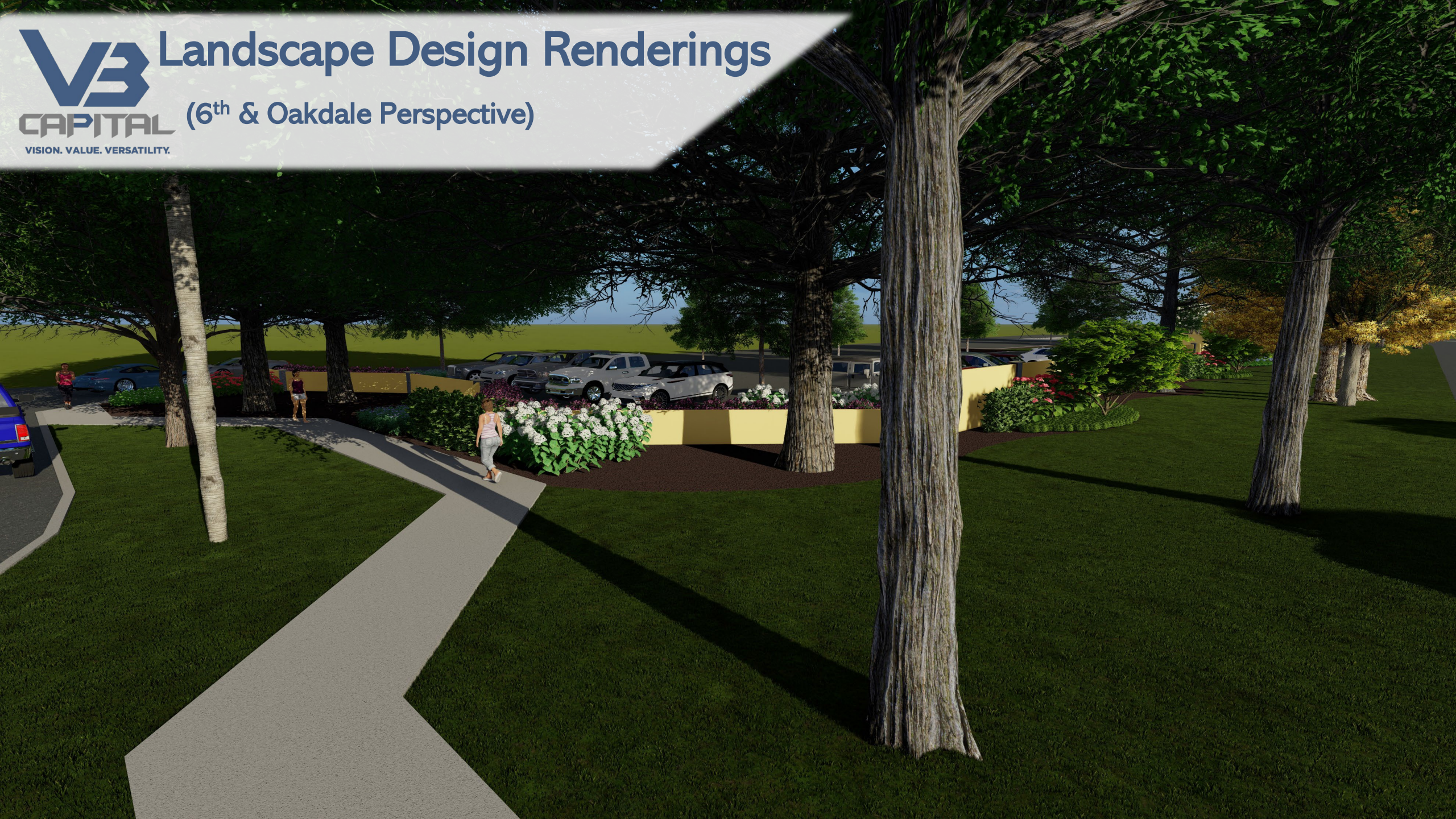
Elevations – View From North





Landscape Design Renderings

(6th & Oakdale Perspective)





Landscape Design Renderings

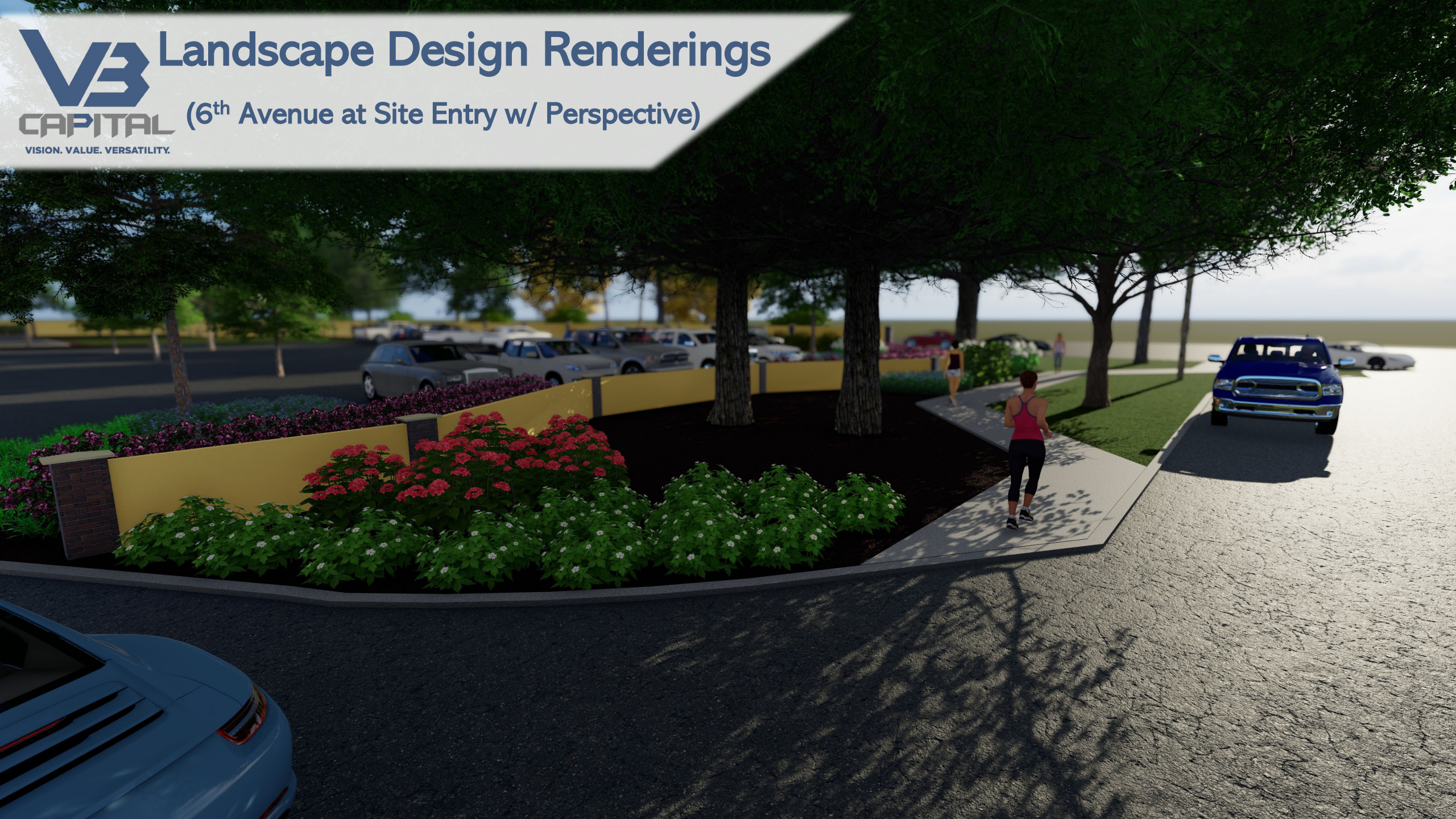
(6th Avenue at Site Entry)





Landscape Design Renderings

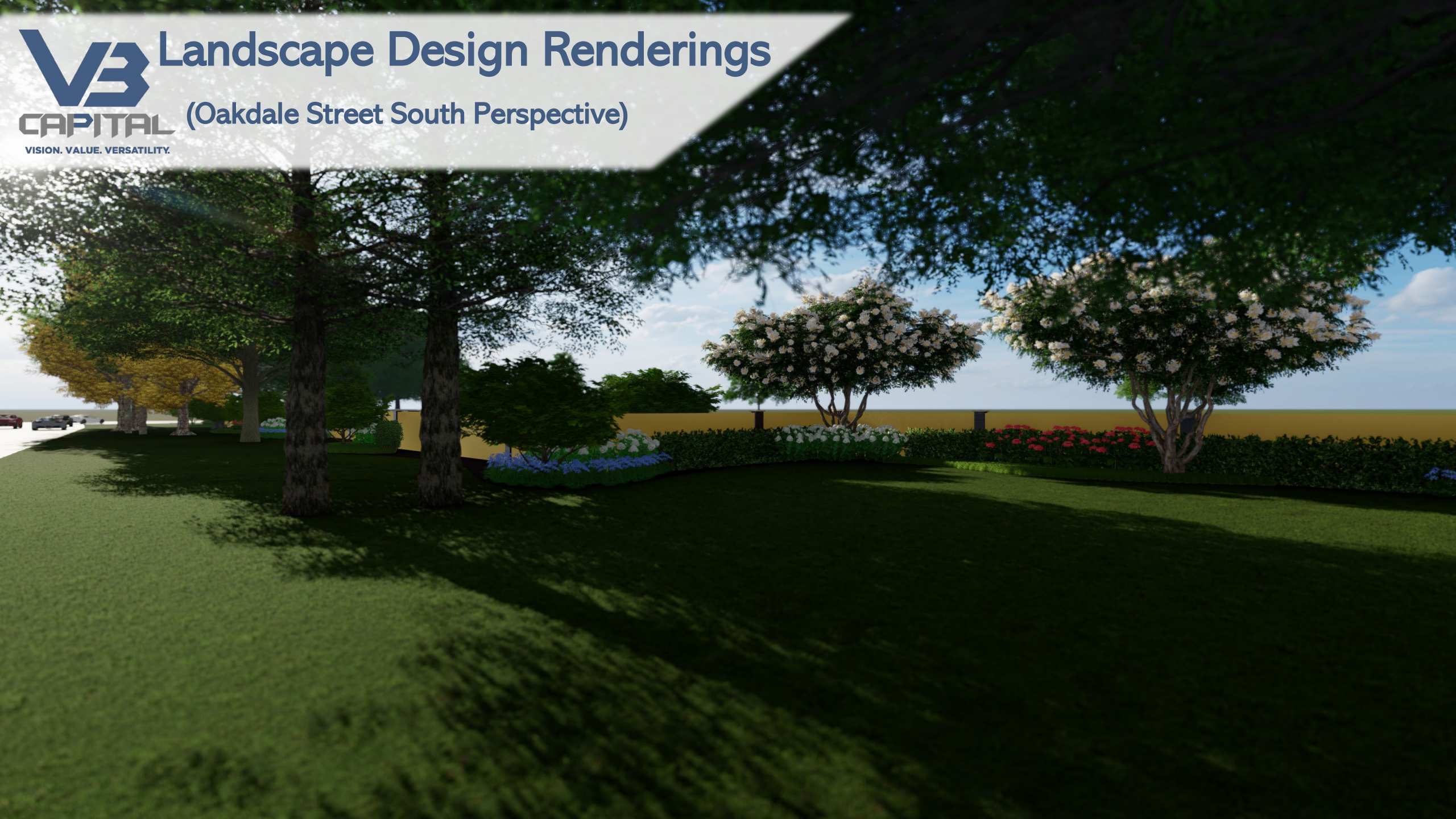
(6th Avenue at Site Entry w/ Perspective)





Landscape Design Renderings

(Oakdale Street South Perspective)



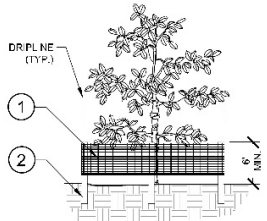


Landscape Design Renderings

(Parking Lot Perspective)



Tree Protection Areas

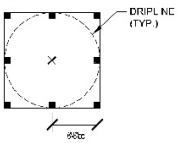


- ① 1/4" THICK PER METER PILLS CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNERS REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
- ② 8' TALL METAL T-POSTS OR 2" x 2" x 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

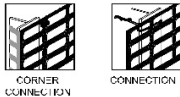
INSTALLATION NOTES

- A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CHOWD COVHOL INSTALLATIONS. METAL T-POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
- B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
- C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX).
- D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

ELEVATION



PLAN



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE WIRE. WIRE MAY DAMAGE FENCE OVER TIME.

- ▶ Tree fence to be set at drip line
- ▶ Posts to be set every 6-ft (8-ft Max)
- ▶ 8-ft metal T-Posts or 2"x2"x8' pressure treated wood posts with 24" burial below grade
- ▶ Adjustment to tree save area as needed based on guidance by arborist





Courtyard Area Pavers



- ▶ Belgard pervious pavers will be utilized
- ▶ Minimized gap space in ADA area
- ▶ Consistency with brick look for site aesthetic
- ▶ Minimal stone section within courtyard area (strictly conveyance)
 - ▶ Treatment provided within parking lot



Discussion References