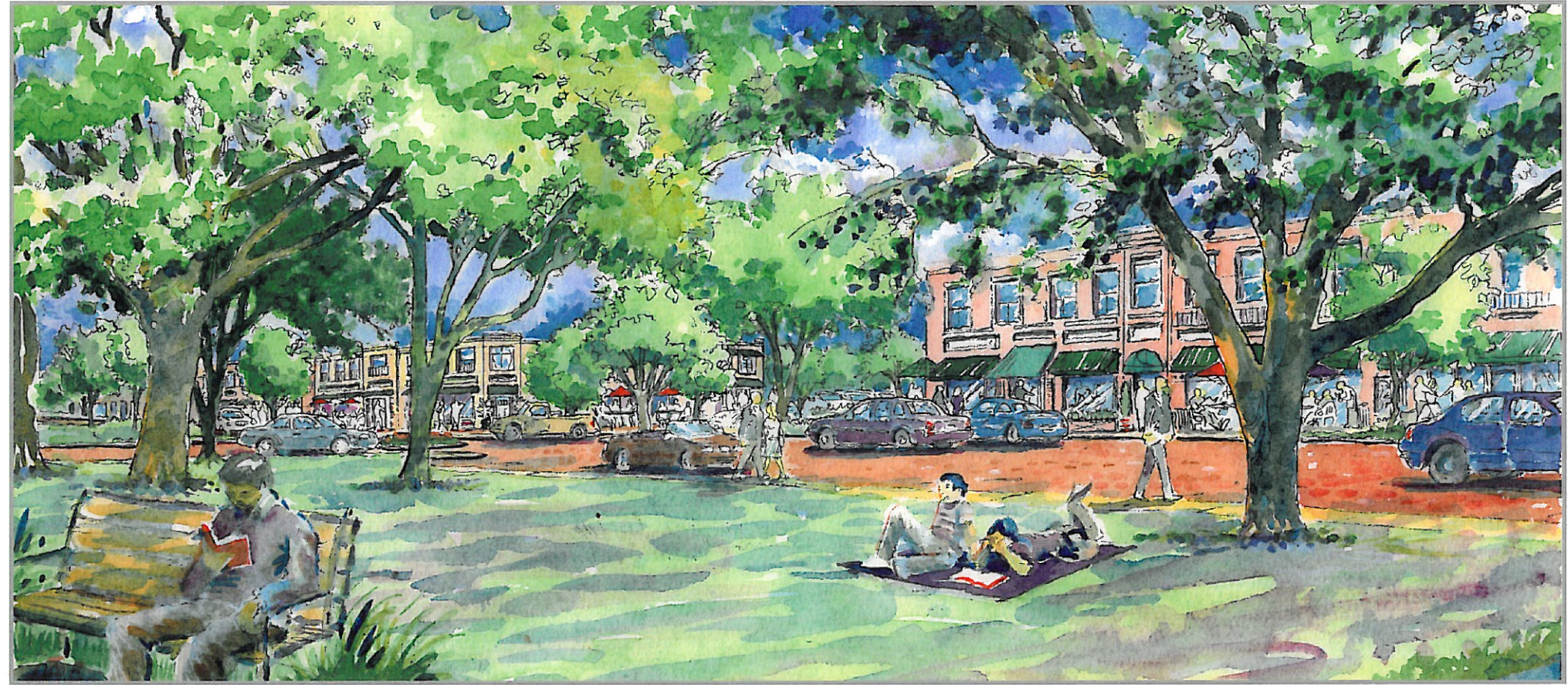




TOWN OF
WINDERMERE

Original Do Not Remove



TOWN CENTER DESIGN GUIDELINES,
JULY 2004

CMIN ASSOCIATES
Urban & Environmental Planners • Landscape Architects
GIS Services Architectural Design

TABLE OF CONTENTS	i
INTRODUCTION	1
- The Purpose of the Design Guidelines	
- Using the Design Guidelines	
MASTER PLAN	2
BUILDING TYPES AND SITE DISPOSITION	3
• Commercial Storefront Façade	4
• Description and Elements	5
• Optional Mid-block Courtyard Buildings.....	6
ARCHITECTURAL GUIDELINES	7
• Building Elements and Configurations:	
- Awnings and Canopies	8
- Arcades and Colonnades.....	9
- Balconies and Building Height	10
- Wall Materials and Configurations	11
- Storefront Materials and Configurations.....	12
- Trim Materials and Configurations	13
- Roof Materials and Configurations.....	14
- Signs and Signage Materials.....	15
- Lighting	16
• Screenwall Materials and Screen Configurations.....	17
LANDSCAPE AND STREETScape ELEMENTS	18
• Objectives	19
• Lighting.....	22
- Purpose and Intent.....	22
- Streetlighting.....	22
- Parking Lot Lighting.....	22
- Pedestrian Lighting.....	22
- Landscape Lighting.....	22
- Temporary Lighting.....	22
- Glossary.....	23

2020 COMMUNITY VISION PLAN

The Town of Windermere adopted a long-range 2020 Community Vision Plan in August 2003. The purpose of the plan was twofold; to develop an overall vision plan for the downtown business district and to address the impact of growing traffic issues on the town. The plan was the outcome of a strong consensus building effort with significant input from town residents in order to create a community-based plan that provided a conceptual level of planning for the long term development for the town, and in particular the central business district. A significant part of the interaction and consensus building with residents involved the Community Values Survey (CVS) which clarified their preferences relative to architectural character and urban design. These values were incorporated into the comprehensive plan amendment in 2003.

The design guidelines, PUD zoning overlay district and the final master plan are the primary instruments that will guide the detailed development of specific parcels and buildings that fall within the central business district. Main Street has developed over the years as the heart of the town of Windermere anchored by Town Hall and the administrative complexes. At the present time, Main Street has a semi-rural character and a definite small village scale. It is very green with magnificent mature canopy vegetation of primarily live oak trees. Based on the vision charette, the town residents and town council desire to see Main Street upgraded in several important ways including the under grounding of the overhead power lines, the creation of a small town park opposite town hall and the ability for commercial mixed use buildings on Main Street to evolve into a more distinctive town center with a stronger sense of place.

In addition, significant changes to the street will occur as part of the overall traffic calming program that envisions two roundabouts at 6th and 5th Avenues, introduction of a brick surface on this portion of Main Street, parallel parking and a greatly enhanced pedestrian realm. Additional on-street parking is also to be provided in the vicinity of the town center.

THE PURPOSE OF THE DESIGN GUIDELINES

The design guidelines apply to the exterior facades of buildings, the site planning, parking, signage and landscaping in the specific blocks depicted on the approved master plan. The guidelines address such things as storefront facades, cornices, signage, awnings, canopies, building color, lighting and architectural character.

The guidelines are based on the positive feedback that was received in the design charette by residents participating in the 2020 Vision Plan development for Windermere. The design guidelines are intended to stimulate creative design solutions while promoting a sense of relatedness amongst the various town center properties. They are also aimed at

enhancing the appearance of buildings by promoting compatible architectural elements and façades on each individual building while maintaining a rich diversity of architectural features and appearances among the different buildings in the central business district area. The guidelines are also intended as a protection against unsightly, incompatible or outlandish architectural styles or colors that are solely intended to attract attention and visibility rather than conforming to and enhancing the character of Main Street.

The façade design guidelines have the following goals:

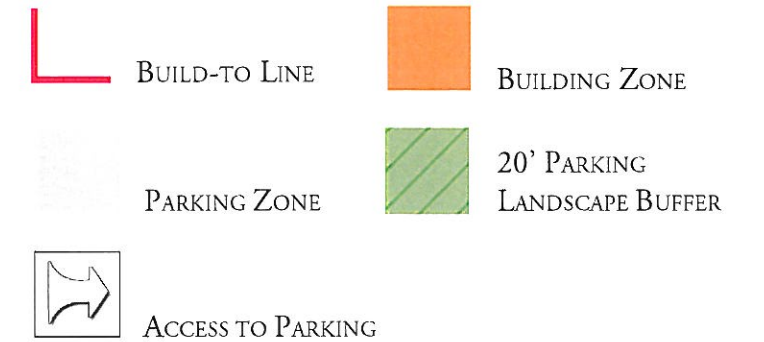
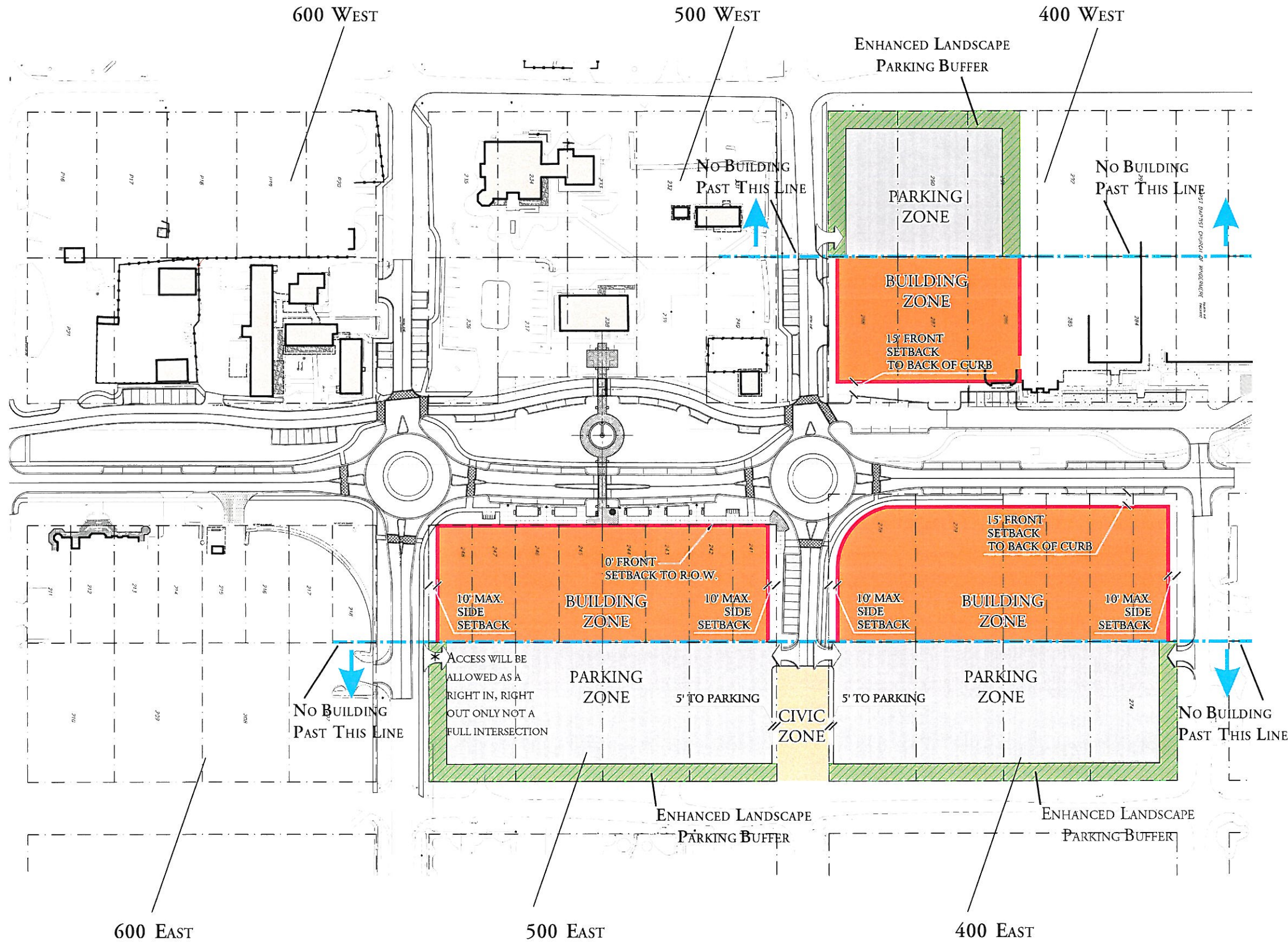
- To promote high quality pedestrian-friendly diverse architecture creating a unique sense of place in the heart of Windermere that reflects the essence of this unique community.
- Preclude stores from looking like copies of their shopping mall or national chain establishments.
- Preclude any outlandish architectural styles and colors and promote a uniform architectural style within each building façade.
- Preclude large monolithic building facades without architectural detail to break up the visual impact of the building mass.
- Promote appropriate signage for commercial establishments and prohibit inappropriate signage that can detract from the character of Main Street.
- Provide attractive landscape design that is simple and in character with the overall green ambiance of the town.

USING THE DESIGN GUIDELINES

These design guidelines are applicable to the issuance of building permits for new construction, renovation or remodeling of any building fronting on Main Street or in the central business district within the town.

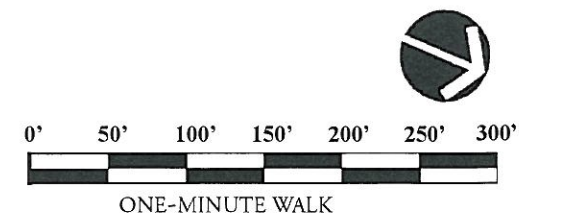
The Town of Windermere will require the implementation of a Development Review Board to review and provide proper administration of the guidelines. The Town will also require an appointed zoning enforcement officer to revise, check and approve any future new building within the Central Business District.

Prior to issuance of a building permit, approval is required by the Development Review Board and the Town Council. After reviewing these guidelines, the business property owner should discuss their ideas and plans with the Town Manager and the Development Advisory Board to insure that the building design conforms to these requirements. Any clarifications or interpretations or questions concerning the application of these guidelines will be addressed at that time.



- NOTES:**
1. PARKING MAY ENCROACH INTO BUILDING ZONE.
 2. BUFFER ZONES MAY ENCROACH INTO BUILDING ZONE.
 3. SEE LANDSCAPE SECTION FOR DETAILED PARKING LOT DESIGN, AND LANDSCAPE PARKING BUFFERS.

- Building:**
- Rear Setback: 120' Min. from Buffer Zone
 - Building Frontage: 80% Min. on Main Street
- Parking Spaces:**
- Required off-street Parking Spaces:
- A. Req. Off-Street: 4 parking spaces per 1,000 SF
 - B. Mitigation Measures: 3.5 parking spaces per 1,000 SF



BUILDING TYPES AND SITE DISPOSITION

The basic storefront façade consists of three parts.

- **The storefront** with entrance and display windows.
- **The expression line** which delineates the transition between storefront and the upper façade.
- **The upper façade**, which contains the horizontal area utilized for wall signage, canopies or awnings (this area may also have windows if it is a two-story building) and the cornice, which is the architectural feature that tops the building.

Main Street buildings are encouraged to have flat roofs rather than suburban style pitched roofs. See drawings and illustrations.

STOREFRONTS

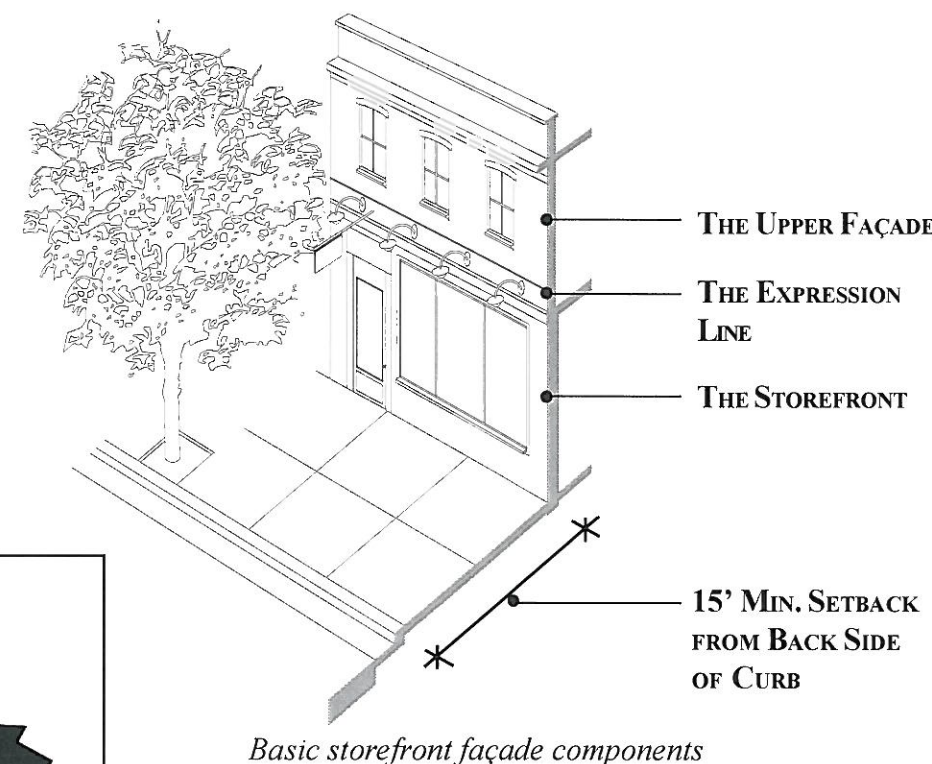
Storefronts, typically with large glass storefront windows, create the invitation and openness of the business to the public. There are certain design features that should be observed in dealing with the storefront area. These include the following:

- There should be a combination of materials utilized on the storefront rather than presenting an all glass appearance.
- Storefront windows should rest on a base of masonry, concrete or metal that provides an elevation of one foot or more above the sidewalk before the storefront window begins.
- There should be framing of storefront windows so that other materials can help break up a solid glass façade by expression of structural components.

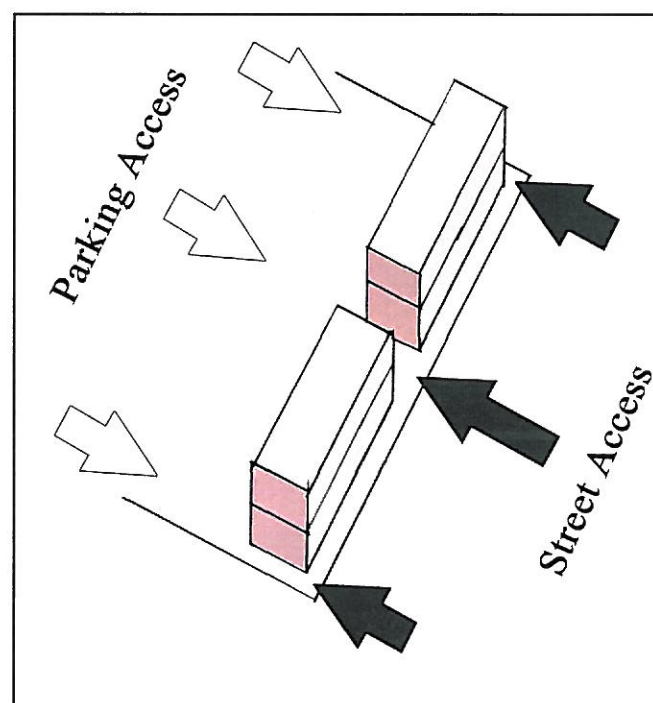
- There should also be a kick plate as well as framing to storefront doors to accomplish the same objectives.
- Storefronts should utilize transparent glazing material. Reflective glass, bronze tinted glass and frosted materials should be prohibited.
- There shall not be roll down security gates or fencing for after hours security since that will be incompatible with the architectural style of the storefront building and the character of the area.

Pedestrian friendly shopping streets are lined by lively, active storefronts, featuring well lit displays and frequent doors.

The Central Business District should not have long sections of street façade faced by blank walls or by long sections of windows without doors. The primary entrance to ground floor space must face the public street. On corner lots, the door to the ground floor space should be oriented to face either the street corner or the more important street, i.e. Main Street. Where building frontages exceed 50 feet in length, doors or entrances with public access shall be provided at intervals averaging no greater than 50 feet apart.



Typical Block Configuration



Examples of Main Street buildings showing all the basic storefront façade components: upper façade, expression line, storefront and flat roof

EXPRESSION LINE AND CORNICE

The expression line is the architectural feature on the façade which delineates the transition between the ground floor level and the upper façade. This design reinforces the pedestrian scale and traditional composition of the architecture.

An expression line shall be either a cornice or molding extending a minimum of 3 inches offset in the surface plane of the building wall.

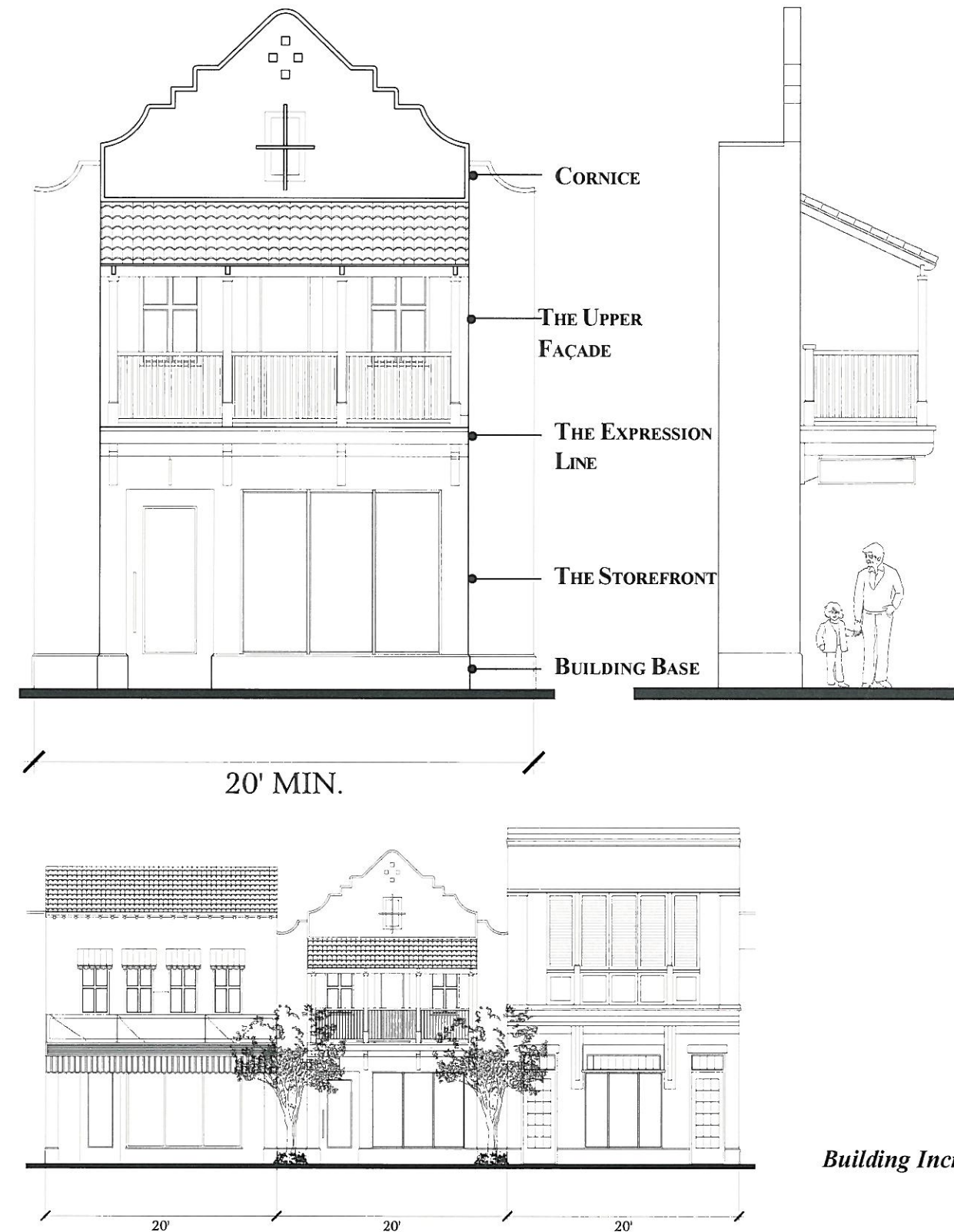
The cornice, which is the top architectural feature, generally reflects the original style of a building. This element should be maintained and enhanced. In many cases, the cornices have historical as well as architectural significance and therefore should be preserved as a contributing element to the appeal of the building. As a result, the cornice should not be covered with incompatible materials, awnings, veneers or signs. The building owners or tenants are encouraged, when possible, to expose the cornice façade in order to achieve these goals.

THE UPPER FAÇADE

The upper façade is typically the area where wall signage, awnings or canopies are located. There are certain design features that should be observed in dealing with the upper façade area. These include the following:

- There should be for each individual building, an architecturally coherent utilization of either canopies or awnings so that the building appears whole.
- There should be compatibility in the height, size, materials and color between the canopies or awnings on a building so that each individual storefront still portrays compatibility with each individual building.
- There should be wall signage of similar material and composition to the buildings so that the signage is compatible with the building's architectural composition.

Note: Store widths or building modules should be designed in 20' increments and proportions based on multiples of the same dimension. To be reviewed by zoning enforcement officer and the Architectural Review Board.



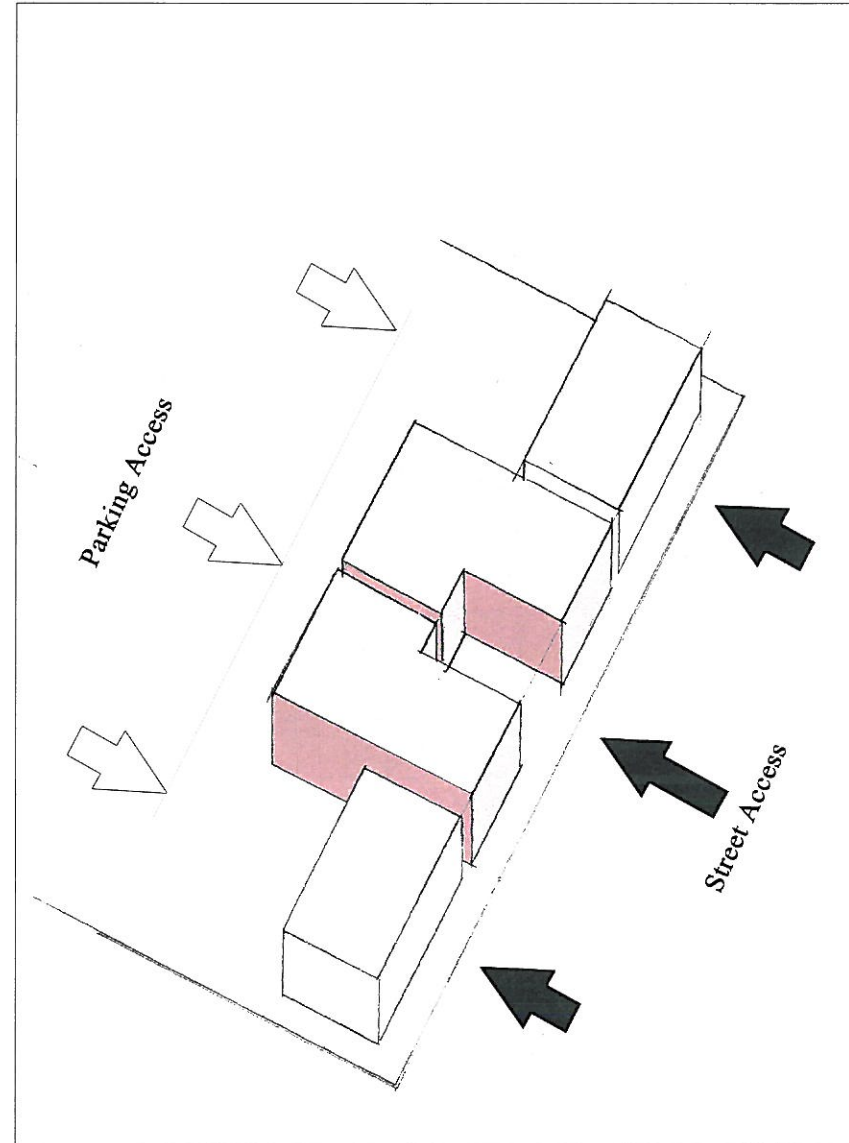
The Cornice can be utilized to architecturally express the style of the building

The Upper Façade in this example is of a two-story building and has been utilized for a balcony creating pedestrian shelter.

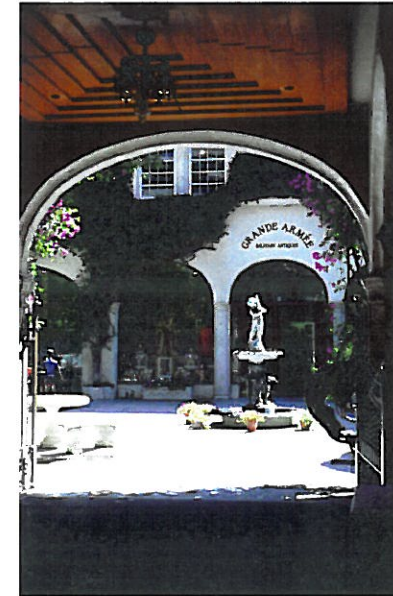
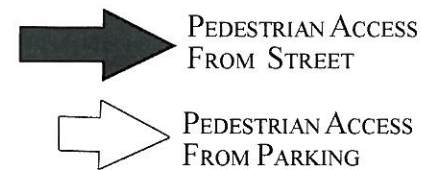
The Expression Line is emphasized with the balcony lines.

Building Increment Module

Main Street may include intimate pedestrian courtyards. It is important to maintain the opportunity for new courtyard buildings to be built on Main Street, but this type of building requires careful design. Some variations of this building type have performed badly. An important part of the character of Main Street is that it not be dominated by large parking lots with a sea of cars. The proposed town center plan provides for on-street parallel parking in a limited manner for convenience with additional angled parking on some of the side streets. Predominately the parking is to be located behind the buildings that front on Main Street. Special provisions are to be made to screen parking from view from the public realm and especially from adjacent residential areas.

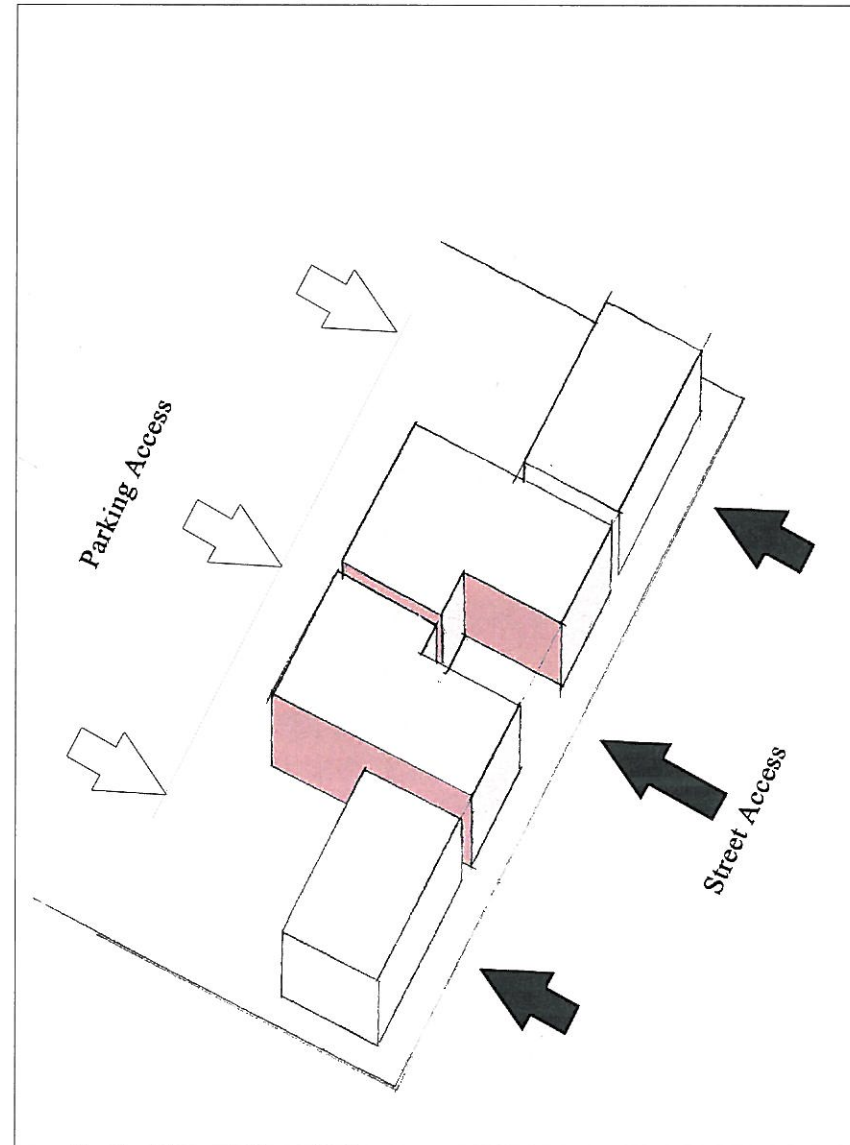


Mid-Block Courtyard configurations

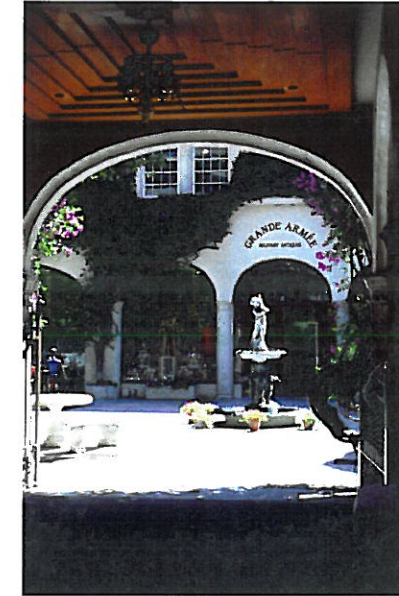
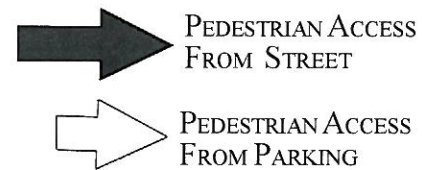


Examples of well designed mid-block courtyard buildings.

Main Street may include intimate pedestrian courtyards. It is important to maintain the opportunity for new courtyard buildings to be built on Main Street, but this type of building requires careful design. Some variations of this building type have performed badly. An important part of the character of Main Street is that it not be dominated by large parking lots with a sea of cars. The proposed town center plan provides for on-street parallel parking in a limited manner for convenience with additional angled parking on some of the side streets. Predominately the parking is to be located behind the buildings that front on Main Street. Special provisions are to be made to screen parking from view from the public realm and especially from adjacent residential areas.



Mid-Block Courtyard configurations



Examples of well designed mid-block courtyard buildings.

ARCHITECTURAL GUIDELINES

AWNINGS

Canvas awnings can be one of the most important design elements in the visual appeal of the storefront or building. It also can be a very important element contributing to the character of Main Street. Awnings also provide the functional benefit of providing shelter from Florida's omnipresent sun or rain, which is crucial for retail shoppers. There are certain design guidelines that should be followed in the application of awnings. These include the following:

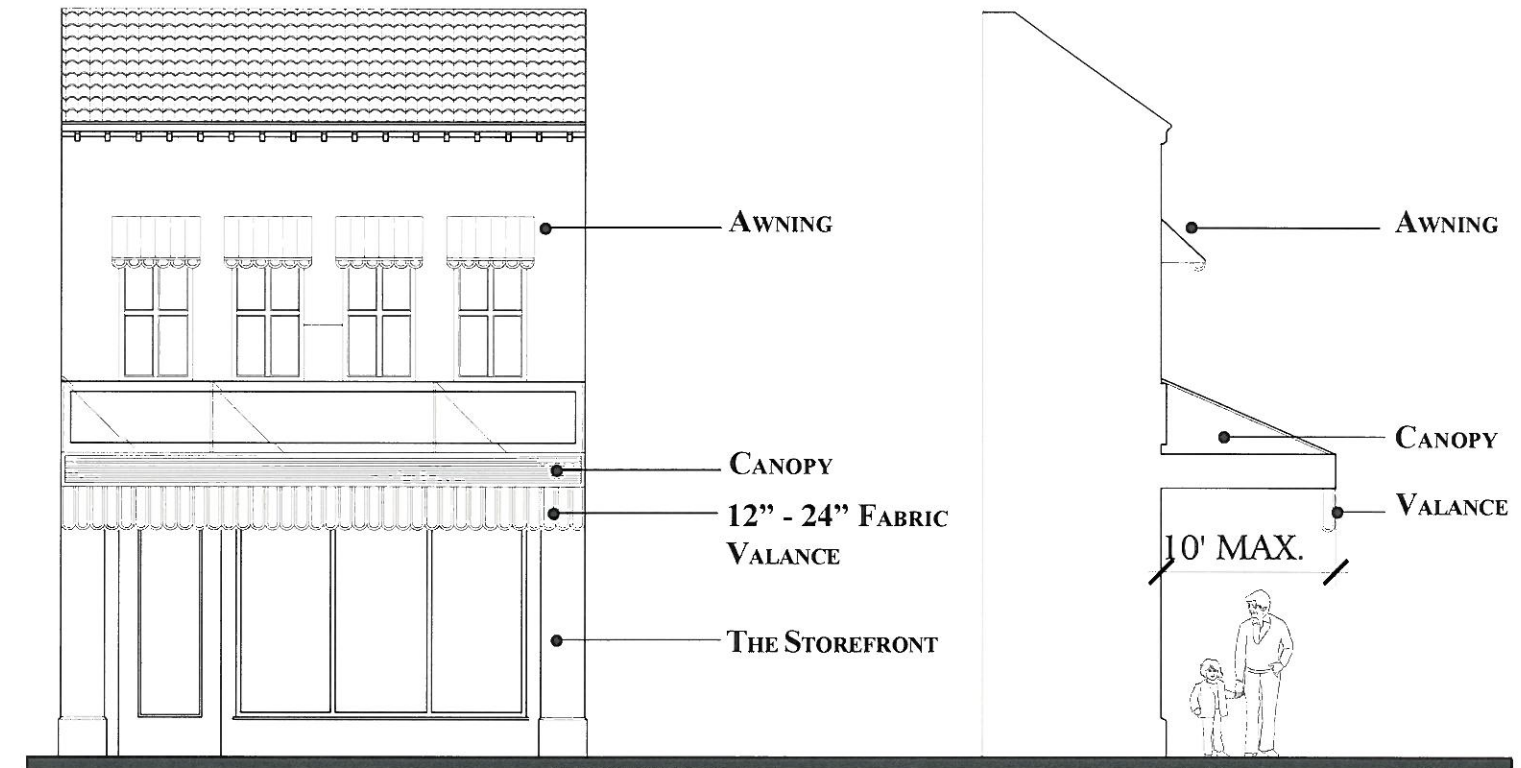
- Fabric awnings, such as canvas, vinyl coated canvas or aquiline are encouraged.
- Metal awnings such as aluminum, copper and bronze should be utilized in a controlled manner; in a way which will enhance or emphasize hierarchical spaces such as main entrances and porticos of the building.
- Awnings should be architecturally coherent across the building in terms of height, size, materials and color so as to provide a unified appearance to an individual building. Awnings should not be erratically uneven or have unusual shapes.
- The cumulative effect of individual storefront awnings on a building should be considered in designing a new awning.
- An awning should reinforce the frame of the storefront and should not cover the piers or the space between the second-story building windows and the cornice.
- Awnings covering second-story windows should conform to the size of the individual windows or should compliment the first floor storefront awnings in terms of size, materials, height, color, etc.

- The color of the fabric awnings should compliment the buildings color scheme.
- Signage on awnings must be tastefully designed and in scale with the awning and the overall building façade.

CANOPIES

The canopy is a permanent appendage to a building which functions as a horizontal element covering the storefront and sidewalk. Canopies provide the same benefits to the shopper that are accomplished by awnings. Canopies as a permanent building element are sometimes preferred since they need less maintenance than canvas awnings. Canopies, in some situations, reflect the historic character of a building since this was the predominate style of shelter used for older buildings. Canopies generally are more difficult as a design feature in producing an appealing image since there is less vertical area facing the street and there are typically supports to the building wall or sidewalk to reinforce the canopy. The design guidelines that should be followed in the treatment of canopies are as follows:

- Flat canopies should be dressed up with a 12-24 inch fabric awning valance so as to create visual appeal of the canopy and should be in scale with the overall building façade.
- Canopies and any signage on the face of canopies should be of colors that compliment the building's color scheme.



ARCADES AND COLONNADES

Like awnings and canopies, arcades and colonnades are elements which provide shade and protection from the rain for pedestrians walking beside the storefronts. Arcades and colonnades are more than attached elements; they should be thoroughly integrated and should be a part of the architecture. These elements are customary in the traditional architecture in Florida and the Caribbean and are a response to our climate.

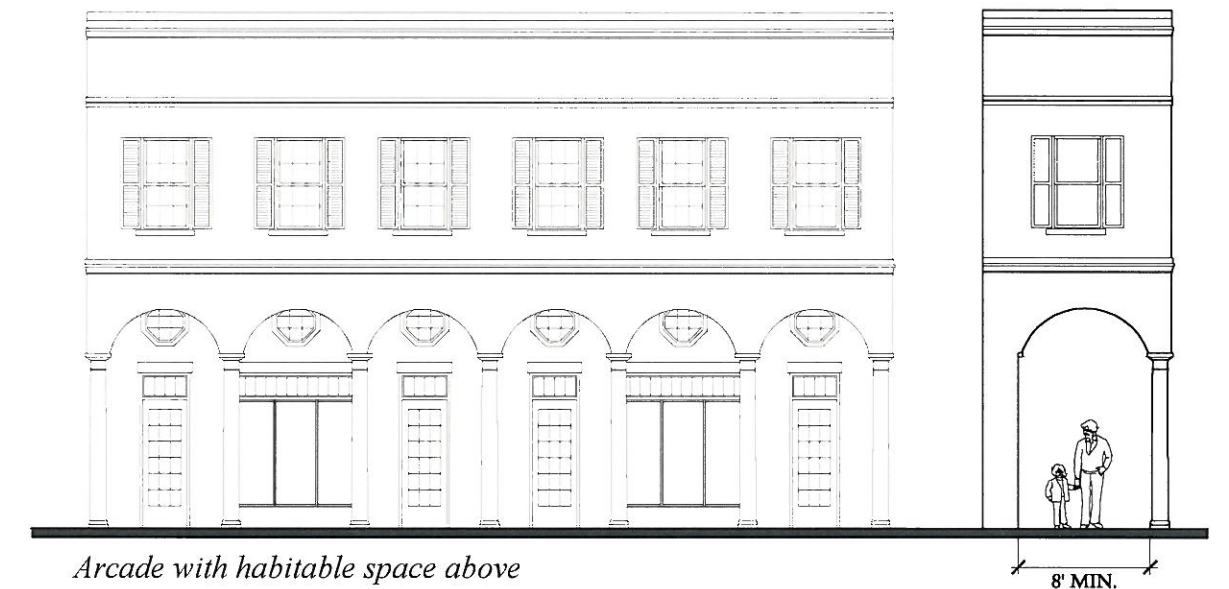
Arcades and colonnades span over the sidewalk, and are supported by columns or piers which rest on the sidewalk (“arcade” is the architectural term for this element when composed of arches; a “colonnade” is composed of columns). Typically, the arcade or colonnade is built over the public sidewalk. One advantage of arcades and colonnades is that the pedestrian cover is continuous; awnings (which look awkward if made excessively long) create more frequent drips between the breaks. Because they reduce the impression of the apparent street width, these elements also provide a traffic calming benefit.

There are certain design principles that should be followed in the use of arcades and colonnades. These include the following:

- The clear space between the storefront and the inside face of the support column should generally be 10 feet wide or more and it should never be less than 8 feet wide. The arcade and colonnade should be

high enough to allow enough light into the areas underneath.

- The distance between the outside face of the support columns and the face of the curb should be 18 inches minimum, 36 inches maximum. The arcade or colonnade should not create two sidewalks in a retail situation.
- On upper levels above the storefront, the arcade or colonnade may have:
 - A roof
 - A veranda (covered or uncovered, one or more levels); or
 - Enclosed, habitable space.
- Proper positioning of the arcade or colonnade may sometimes require removal of a street tree. This trade-off is acceptable when the tree is a palm, an ornamental flowering tree or immature shade tree. Properly positioned arcades or colonnades may eliminate some street lights. Sconces mounted on the outside space of the columns or piers may be substituted for the street light. Lighting must be provided for the covered pedestrian space. If outdoor dining or vending occurs within in an arcade, the clear walking space must not be reduced to less than 6 feet wide at any point. Ceiling fans and hanging signs, if approved, may be incorporated into the arcade or the colonnade.



BALCONIES

For protection of pedestrians on the storefront level, a cantilevered balcony may be carefully substituted for an awning or canopies in some situations. This balcony cantilevered at the second level acts as a shading device for the storefront below. It may be incorporated as an expression line. The design principles for balconies include the following:

- This device lends itself to short length applications less than (50 feet of frontage). The balcony will appear ill-proportioned if used in long unbroken applications.
- The cantilevered balcony should project no more than 5 feet from the principal façade. The balcony may encroach upon the public right-of-way, but shall project no closer than 18 inches from the face of the curb.
- The balcony may be supported structurally or visually by decorative brackets or angle supports. These supports should be positioned so that they do not interfere with the free movement of pedestrians on the sidewalk.
- The cantilevered balcony may be roofed/or framed by columns. In special, limited applications, balcony space could be enclosed to form a “jumba”, but such enclosures require special, site specific design approval by the town. A jumba may not exceed 15 feet in length.



Balcony



Jumba

BUILDING HEIGHT

Max. 2-story Max.: 35' Max.
Feature Elements: 45' Max.

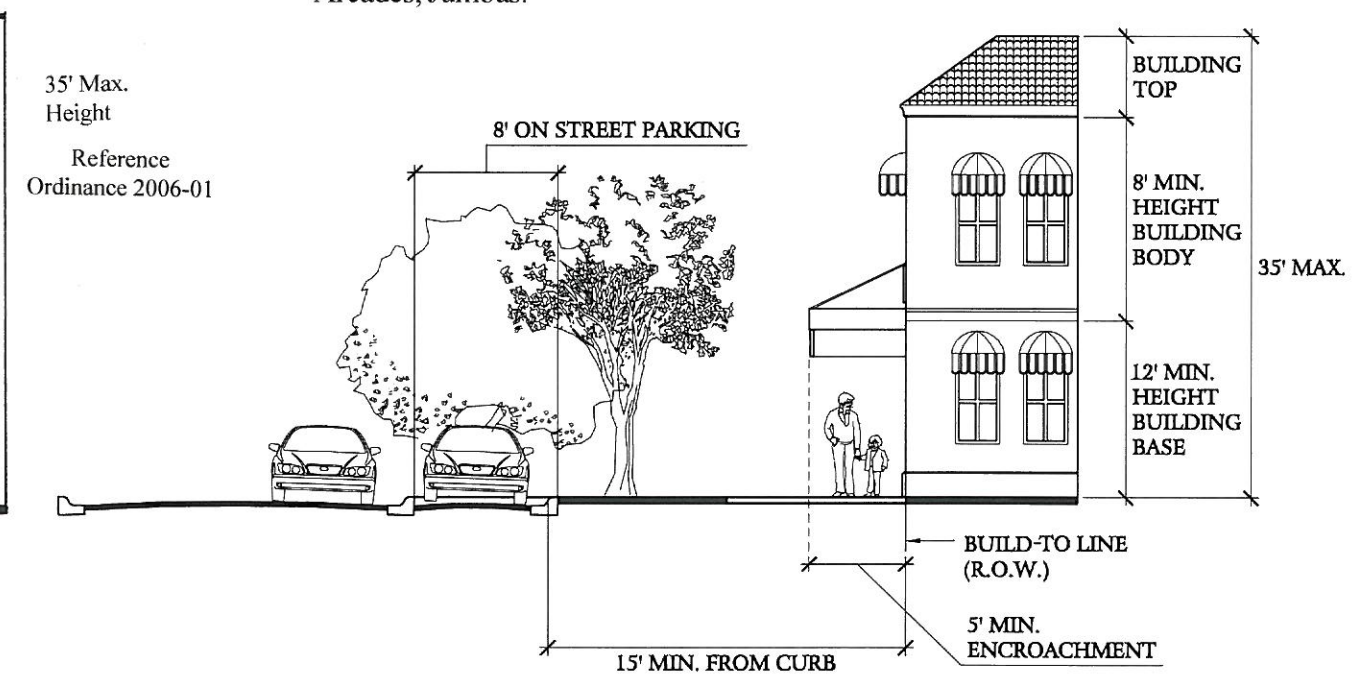
Reference
Ordinance 2006-01

~~Note: Feature Elements may be Towers, Clock-Towers, Dormers, Stiples, etc. that do not exceed 400 SF.~~

Encroachment: Building elements that are attached to a building are permitted to exist within a front setback or side street setback. Typical building elements include balconies, porches, arcades and other architectural elements that are intended to bring the public realm closer to the street.

Build-to line: is the line where the façade of the main building or structure must be placed.

Permitted encroachments: Balconies, Colonnades, Arcades, Jumbas.



WALL MATERIALS

It is the intent of the Town Center Design Guidelines to recommend materials that are contextual to Windermere, from the perspective of both regional and historic architectural precedent. Building materials should be adapted and comply with the current Florida/Town of Windermere Building Code.

Buildings should have the same material applied to every façade or building face. Material changes are allowed as described in Wall Configuration.

Commercial buildings should reflect their permanence and importance with walls of masonry construction. While wood siding was historically also used for commercial structures, its use was, and should continue to be, limited. Simulated siding, such as fiber cement, is more durable and may be considered. Wood siding for commercial structures will be approved at the discretion of the Development Review Board. Buildings with walls of stone, brick or EIFS will be referred to as “masonry buildings”. Buildings with wall material that is wood or fiber-cement siding will be referred to as “wood buildings”.

- Building walls shall be made of stone, brick, EIFS (detailed like stucco), wood or fiber-cement siding, or cultured stone.
- Stone walls shall be left natural.
- Brick walls may be painted or left natural.
- EIFS walls shall be “color-through”.
- Wood siding shall be painted.
- Fiber-cement siding shall be painted or shall have a factory-applied finish.

WALL CONFIGURATIONS

Traditionally, the Town has housed commercial establishments in simple buildings. The following guidelines are intended to allow for variety, while ensuring a homogeneous streetscape.

- All of the walls of a building should be made of a single material.
- Walls may be made of two materials, but the change in material must occur at the expression line, and must occur around the entire building in a horizontal line.
- Where wall materials change, trim is required, (e.g., a decorative brick course, a stone cap, or a wood skirt board).



Trim separation between materials



Material combination

STOREFRONT MATERIALS AND WINDOW TREATMENT

Storefront materials should, in addition to relating to the historical examples, be low maintenance and allow unobstructed views into the space – to promote success of the business within.

- Windows and doors of retail establishments shall be made of wood or ESP (Electrostatic Paint) aluminum.
- Doors (excluding service or garage doors) shall be more than 50 percent clear glass.
- All glass used in storefronts shall be clear (not frosted, textured or otherwise affected) and provide an unobstructed view a minimum of 6 feet into the establishment.
- Black glass or “spandrel glass” (glass that is painted black and/or otherwise made to be opaque) is prohibited.
- Art glass may be approved at the discretion of the Development Review Board.

STOREFRONT CONFIGURATION

Storefronts are the most important element of a commercial building, and should reflect that importance with careful design. Storefronts must be designed as a unified combination of the following elements: windows and doors, signage, color and awning or canopy.

- On first level, windows and doors of retail establishments should occupy no less than 70% of the total storefront.
- On second level, windows and doors should occupy no less than 30% of the total façade area.
- When a storefront occupies a corner property, the principal entrance to the building shall be at the corner, or face the most important street.
- Garage and service doors shall not be placed near the storefront, and should be placed on the rear elevation.
- Windows should be set a minimum of 18 inches above the ground and within 12 inches of the ceiling, reflecting the floor heights of commercial spaces.
- Operable transom windows are encouraged above doors and storefront windows.
- Shutters, when used, shall be exactly one-half the width of the opening they serve and must be operable.
- Window flower boxes are encouraged.



TRIM MATERIALS

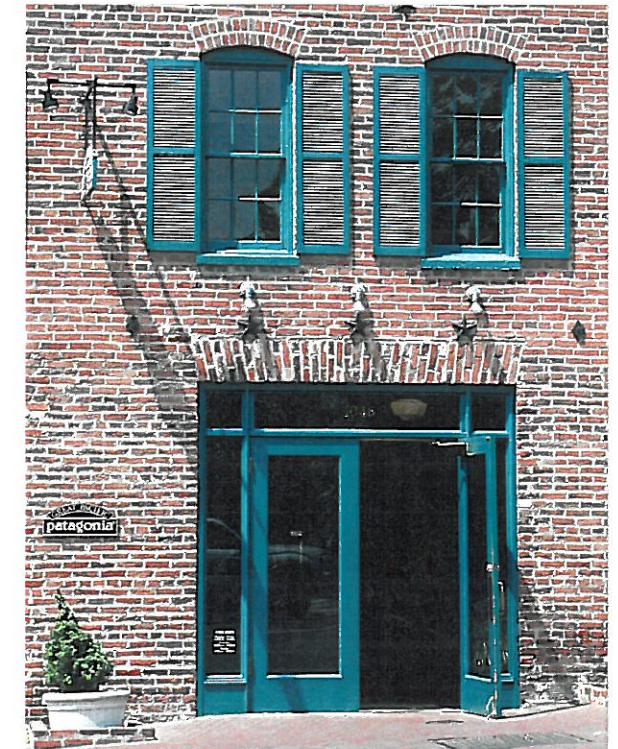
Trim around windows and doors shall follow the basic construction techniques for the materials used in the building being served.

- Window heads and lintels of brick buildings shall be in the form of brick flat arches, brick jack arches, brick soldier courses, precast concrete lintels or cut and dressed stone lintels.
- The window sills of brick buildings shall be brick, precast concrete or cut and stressed stone.
- The window heads and lintels of stone buildings shall be made of precast concrete or cut and dressed stone.
- The window sills of stone buildings shall be made of precast concrete or cut and dressed stone.
- Window heads and lintels of wood buildings may be decorative and made of wood or synthetic wood.
- The window sills of wood buildings shall be made of wood.

TRIM CONFIGURATIONS

Trim around windows and doors shall be simple and shall be appropriate to the construction techniques of the building served.

- Masonry buildings require masonry arches or lintels at all doorways, and masonry arches or lintels and sills at all openings.
- On masonry buildings, the lintels shall always be flush with the wall, while the sills shall project from the face of the building a minimum of one inch from the wall.
- EIFS-clad buildings may omit an expressed lintel, but must include an expressed sill at all windows, following the techniques of traditional stucco detailing.
- Wood buildings require expressed wood (or synthetic wood) lintels and sills.
- Curved arches and keystones are prohibited over windows on wood buildings.



Masonry lintels and sills



Brick façades with flush arches and projecting brick sills

ROOF MATERIALS

Roofs of buildings should not compete for attention with the elements of buildings that are of a more human scale, i.e., the building walls or shopfronts.

- Roofs may be made of copper, standing seam metal (either painted or galvanized in order to age naturally), natural slate, and asphalt or fiberglass shingles. Typical metal roofs commonly found on commercial buildings are discouraged. Metal roofs should be more closely related to historical precedents.
- The use of asphalt or fiberglass shingles is limited to one manufacturer, one style and one color per building.
- Asphalt or fiberglass shingles should be a 30 year minimal dimension shingle, mildew resistant grade preferable.
- Ridge Vents shall be Certainteed “Horizon” Shingle Vent II shingle-over ridge vent.

ROOF CONFIGURATIONS

For climatic reasons (principally, shedding water) roofs of buildings in the central business district were limited in shape to gables and hips, or were nearly flat with a parapet wall facing the public street. To honor that tradition and the simple utility of these shapes, new construction most follow these historic precedents. The visual impact of the roof line is very important on the streetscape and should be designed to provide interest and enhance the quality of the overall architectural ambiance.

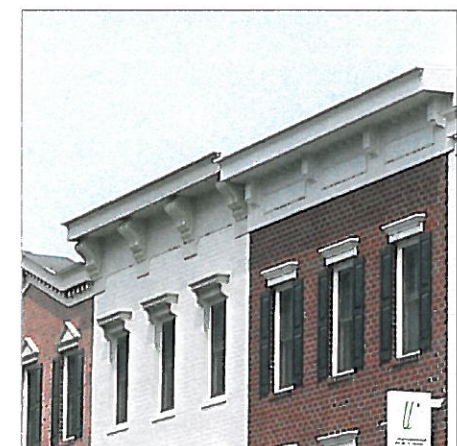
- Roofs shall be in the shape of simple (symmetrical) gables or hips.
- Gables shall have a slope between 8:12 and 12:12.
- Hipped roofs shall have a slope between 4:12 and 6:12. Hipped roofs are discouraged unless they are attractively designed and provide visual interest to the streetscape.
- Shed roofs are permitted if they are attached to an adjacent vertical wall surface.
- Flat roofs are permitted, only if they include a parapet wall around the entire perimeter of the building.
- Skylights must be flat in profile and are only permitted when not visible from public spaces.
- Ridge Vents shall run continuously from end to end of ridge.
- Gutters are allowed providing they reflect the correct architectural style application.



Copper roof



Slate roof



*Flat Roofs
with Parapet
Walls*

SIGNS

Signs play a particularly important role in the appearance of individual storefronts and buildings. The size and design characteristics of signs strongly influence the public's perception of the Main Street area and the individual businesses. Business owners tend to overestimate the value and function of signage when the success of a business is primarily related to the appeal of the products, prices and services offered. A successful sign is not one which stands out from adjacent businesses, but one that reinforces the quality image of the central business district. Aside from compliance with zoning regulations for signs in the central business district area, there are certain other design guidelines which should be followed.

- The size, color, shape and location of a sign should compliment the building façade. Building elements such as windows, cornices or decorative details should not be obscured.
- Sign materials should be chosen which harmonize with and compliment the building's design. Signs should never be so large as to overpower the façade.
- Individual storefront signs should be compatible with the other storefronts within the same building in terms of design, size and placement along the building.
- Temporary window signs, such as special sales signs, should not conflict with the color scheme of the storefront or building and require a temporary permit from the town.
- Front lighting of signs is encouraged.
- Signage above the expression line shall be prohibited, except for:

- a. Wall mounted hanging signs that are highly decorative and compliment the building façade.
- b. Small window signs.
- c. Signs that identify a building, and are incorporated in the cornice detail.

Other types of signage located above the expression line shall not be allowed.

SIGNAGE MATERIALS

- Signs are to be constructed of local traditional materials.
- Signs for commercial establishments shall be made of wood, synthetic wood or metal.
- Lettering and iconography may be made of wood, synthetic wood or metal.
- On masonry buildings, signs may be painted directly on the wall, as approved by the Development Review Board.
- Signage lighting shall be affixed to the building or to the sign and shall wash the sign in color-corrected light.

SIGNAGE CONFIGURATIONS

SIDEWALK BUILDING IDENTIFICATION SIGNS

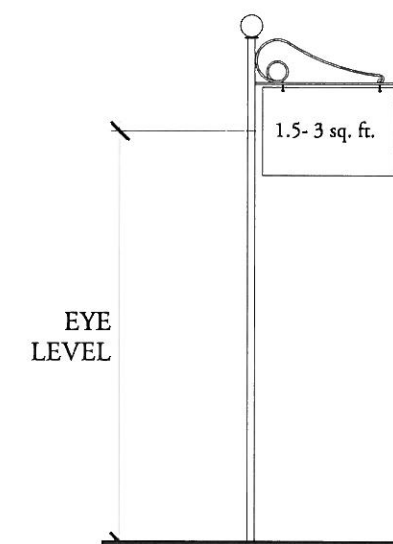
- Signs that are placed both on the Landscape/Hardscape area of the sidewalk with the following building information:
 - a. Building name and address
 - b. Building Tenants



Note: All other sign regulations apply.

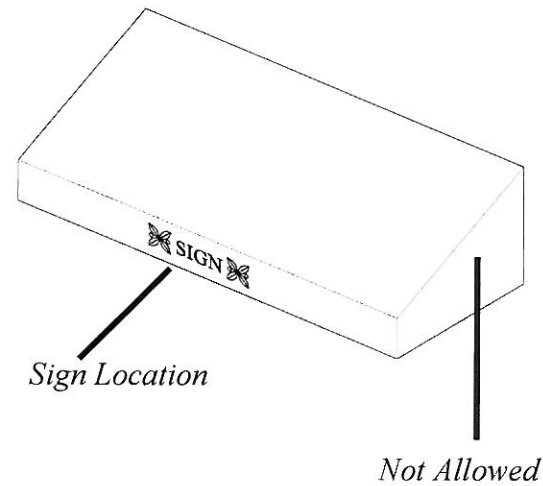
Sidewalk Commercial Banner Signs

- Signs that are placed both on the Landscape/Hardscape area of the sidewalk with the tenant or name of commercial establishment.



Signs Located or Applied on Awnings

Signs that are applied to an awning valance.



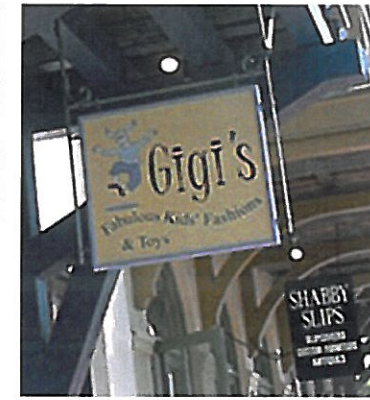
Note: See Sign Configuration

- Signage of commercial establishments should be in keeping with the local tradition of simplicity with unassuming lettering and iconography.
- Signage of commercial establishments should be no larger than 2 feet in height (for horizontal signs) and 2 feet in width (for vertical signs).
- Length to fit elevation proportionally
- Signs shall be externally illuminated. (See Lighting Guidelines.)
- “Blade” signs may be attached perpendicular to a building wall, but shall extend no further than 4 feet from the building wall, whether horizontally or vertically oriented, and shall be in scale with the building façade.
- Lettering may be applied or painted directly onto storefront glass, as approved by the Development Review Board.
- The size of the sign shall be well proportioned to the rest of the façade and shall be approved by the Development Review Board and Zoning Enforcement Officer.

Examples of signage use, materials and configurations



Wall-mounted Sign



Sign attached under balcony



Lighting attached to Sign



Synthetic Wood Sign

LIGHTING

The night time appearance of a building is an important consideration in building design. Lighting may serve a security function as well as promote business after hours. Certain design guidelines should be utilized in the use of lighting as follows:

- Use lighting efficiently and sparingly to highlight display windows, entrances, signs and architectural detail.
- Balance the intensity of overall lighting with that of display windows.
- Light sources should be shielded. Avoid high intensity floor lights or other lights directed at pedestrians or vehicles.
- The spillover from lighting in proximity to residential areas should be avoided so it is not a nuisance. Unnecessary light spill is defined as a light contribution in excess of 0.1 footcandles measured at a point 5’ beyond the property line. Lamps for parking area lighting should be of the metal halide variety, **HID mercury vapor lights are prohibited.**
- Storefronts shall remain unshuttered at night. Storefronts should provide a view of interior spaces lit from within (backless displays).

Lighting configurations are to be approved by zoning enforcement officer and Development Review Board.

SCREENWALL MATERIALS

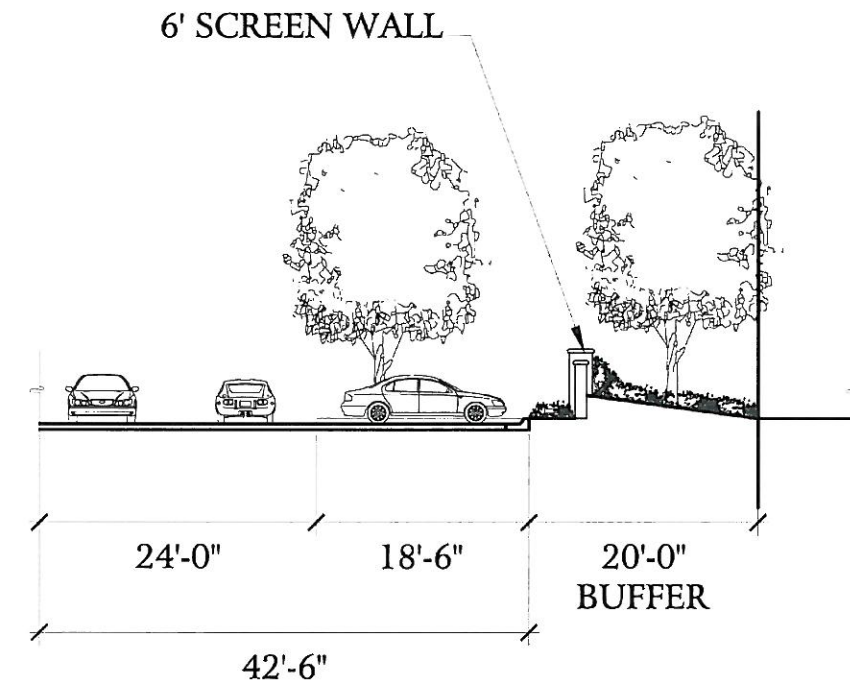
Screenwall materials are chosen for their ability to hide the appearance of parking lots from the public realm, as well as for their consistency of material with the rest of the commercial core.

- Screenwalls shall be constructed of brick or stone.
- Stucco wall should be constructed in character with new building architectural style.
- Hedges shall be selected from the “Shrubs” list below, and shall be pruned to a 36 inch height.

SCREENWALL CONFIGURATIONS

Screenwall and hedge configurations are selected for effectiveness in screening the view into parking lots, are to be built in accordance with local building tradition, and serve to preserve the continuity of the streetscape.

- Screenwalls shall be located at all parking lots in conjunction with the 20’ enhanced landscape buffer shown on the master plan.
- Screenwalls shall be 72” (6’) in height, measured from the grade on the public side of the wall.
- Stone screenwalls shall be uncoursed with deep-set mortar to appear dry-stacked.
- Brick screenwalls shall be running bond with a simple brick or dressed stone cap that projects over the face of the wall. Screenwalls should be planted with vines to soften their appearance.
- Hedges, which shall be planted at a minimum of 36 inches at installation and shall have no spaces between plantings, may be used in addition to screenwall at other locations to screen parking from the street.



LANDSCAPE AND STREETScape ELEMENTS

OBJECTIVES

The objective of this section is to promote and enhance the aesthetic character of Windermere's Town Center. The Design Standards, Master Landscape Plan and Master Plan for Windermere Town Center focus on identifying treatment options for streetscape, open space, off-street parking and service areas. For the purposes of these Design Standards, site furniture, irrigation and landscape lighting are considered landscape elements.

GENERAL RESPONSIBILITIES

The property owner and/or tenant shall be responsible for the installation and maintenance of the landscape and irrigation on their specific parcel and within abutting right of ways.

PRESERVATION OF EXISTING VEGETATION

A reasonable effort will be made to preserve existing natural tree cover, if any. All trees that have a minimum trunk caliper of six inches or larger will be considered for preservation.

VACANT PARCELS

Vacant parcels, which have been purchased and are approved for development shall be maintained to a similar standard as developed parcels. Where parcels have been disturbed, they shall be sodded with an approved grass, fully irrigated and maintained.

SAFETY STANDARDS

All landscape materials shall be planted in a manner which will not impede or create a hazard for vehicular or pedestrian traffic.

SPECIFIC LANDSCAPE REQUIREMENTS

STREETScape AND BUILDING LANDSCAPING

- The landscape areas designated along the streetscape and adjacent to the buildings shall be landscaped completely with trees, shrubs, groundcovers and/or annuals.
- The landscape for Windermere Town Center shall be in accordance with the Master Landscape Plan and shall be appropriate to the scale and design of each building. Shrubs and groundcovers will be used around the base of the

trees and in pots and planters to provide accent and seasonal color.

- The landscaped area along the streetscape or 'street side' of each building shall present an attractive appearance, emphasizing and reinforcing the primary entry of the structure. Shade and/or flowering trees shall be incorporated into the landscape design along the street and wherever areas will appropriately allow space for these elements. The use of movable pots and planters, wall trellises, flower boxes, etc., is encouraged to bring color and diversity into the streetscape. All buildings with interior courtyards shall be appropriately landscaped and, where space allows, provided with sitting areas and other amenities such as water features for pedestrian enjoyment.
- Where space allows, landscape treatments along the sides of buildings shall be a continuation of the design of the streetscape.
- Landscape treatment of the building rear yards and service areas shall focus on clearly defining the building access and pedestrian pathways. Service areas external to the building envelope shall be landscaped and screened from public view by decorative walls or fences

LANDSCAPE BUFFERS

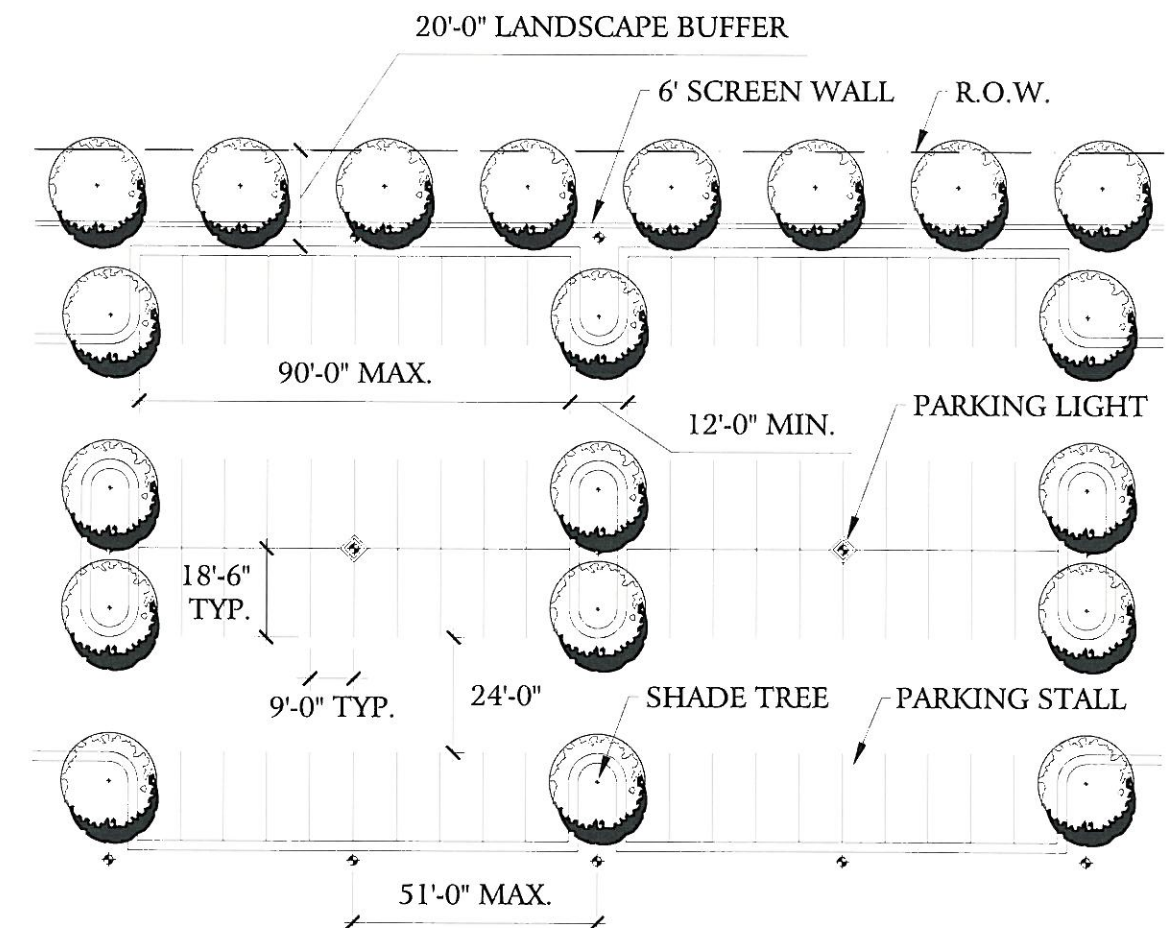
- Where buffer areas exist, landscaping will be provided in combination with decorative walls and/or fences to provide an effective visual screen. The landscaping shall consist of a combination of trees and shrub and groundcover beds of varying heights, seasonal color and texture.
- Adjacent to vehicular use areas, landscape buffers will be provided to screen parking from direct view. The screening in this buffer area shall typically consist of shade trees and understory trees, shrub beds and decorative fences or walls. The tallest shrubs should be typically maintained at a minimum height of 3 feet. All areas between the street curb and right-of-way line where a right-of-way abuts a parcel shall also be landscaped.

PARKING LOT LANDSCAPING

- Entry drives into parking areas shall be landscaped and shall incorporate the design of landscaping in adjoining buffer areas. The design shall utilize only approved trees and shrubs in a manner that visually emphasizes the area and offers the driver and pedestrian an attractive appearance from the street. Landscape treatment of entry areas shall be designed to allow safe viewing distances for vehicular and pedestrian traffic.
- The majority of the off-street parking lots in Windermere's Town Center will require both perimeter and interior landscaping to influence the micro-climate and break up the large expanses of paved surface area. Where feasible,

interior planting islands will be provided between, at the ends, and within rows of parking spaces. Canopy shade trees will be introduced in these interior islands in sufficient quantity to provide an effective shade canopy over much of the parking area. Trees will be installed that are limbed up to facilitate sight distance, provide shade and help to reduce the impact of the visual scale of the parking.

- All perimeter and interior planting islands of parking lots shall be provided with shade trees selected from the Master Plant List. In addition, the landscape area under the trees shall be planted with shrubs and/or groundcovers. Parking lots shall be designed to minimize vehicle overhang encroachment into any landscaped areas.



PLANT MATERIAL

All plant material installed within the Windermere Town Center shall equal or exceed the standards for Florida No. 1, as given in "Grades and Standards for Nursery Plants" Part I and Part II, current edition, State of Florida Department of Agriculture, and any amendments thereto. All plant materials should be capable of flourishing in Central Florida's climate and soil conditions.

All plant material used in the Windermere Town Center shall be selected from the Master Plant List. Unless otherwise noted, the plant material sizes and specifications listed are the minimum sizes at the time of planting.

LANDSCAPE MAINTENANCE

All landscape areas shall be maintained in order to maintain the appearance of the Town Center. Maintenance will include, but not be necessarily limited to the following: keeping all papers, trash, debris and unsightly items picked up and disposed of; replenishing mulch in shrub and groundcover beds at periodic intervals; keeping all weeds out of landscaped areas; mowing and edging as required to keep lawn areas at a suitable height and in a neat and attractive condition; trimming and pruning all landscaping using hand or other tools, in order to present a neat appearance at all times; and watering and fertilizing all plant materials as required to maintain a vigorous and healthy condition.

LANDSCAPE IRRIGATION

The parcel owner and/or tenant shall be responsible for the installation, maintenance and proper utilization of an automatically controlled landscape irrigation system for each parcel and the areas between the street curb and right-of-way line where a right-of-way abuts a parcel.

The irrigation system shall provide adequate irrigation with full coverage. In streetscape areas with small landscape cutouts and/or pots, adequate underground sleeving and special drip and bubbler heads shall be installed to minimize overspray. A water sensor gauge shall be employed on all

irrigation systems to prevent overwatering. Irrigation devices shall not be installed above finish grade where they could create a tripping hazard for pedestrians. The irrigation backflow preventor and automatic controls shall be located in designated service areas and screened from public view.

Note: Garbage Receptacles, Street Furniture, Utility Screening, etc. will be detailed in the landscape design plan depicting appropriate specifications, location, detail configuration, etc.

The following is a list of approved plant material.

EVERGREEN CANOPY TREES

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Magnolia grandiflora	Southern Magnolia	B&B; 20'x12'; 6" cal.
Magnolia grandiflora 'Brackens'	Bracken's Brown Beauty	100-Gal.; 14'x16'; 3 1/2" cal.
Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Magnolia	100-Gal.; 12'x6'; 3 1/2" cal.
Magnolia grandiflora 'Main Street'	Main Street Magnolia	100-Gal.; 12'x6'; 4" cal.
Quercus nutalli	Nuttall Oak	100-Gal.; 14'x7'; 4" cal.
Quercus shumardii	Shumard Oak	100-Gal.; 16'x8'; 4" cal.
Quercus virginiana	Southern Live Oak	100-Gal.; 15'x8'; 4" cal.
Quercus virginiana 'Cathedral'	Cathedral Live Oak	100-Gal.; 15'x10'; 4" cal.
Quercus virginiana 'Highrise'	Highrise Live Oak	100-Gal.; 18'x6'; 4" cal.

DECIDUOUS CANOPY TREES

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Acer rubrum 'Florida Flame'	Florida Flame Red Maple	B&B; 14'x8'; 3" cal.
Betula nigra 'BNMTF'	Dura-Heat River Birch	65-Gal.; 14'x8'; 2 1/2" cal.
Liquidambar styraciflua	Sweetgum	100-Gal.; 14'x7'; 4" cal.
Platanus occidentalis	Sycamore	B&B; 20'x10'; 4" cal.
Ulmus parvifolia 'Drake'	Drake Elm	65-Gal.; 13'x9'; 3" cal.
Ulmus parvifolia 'Athena'	Athena Elm	65-Gal.; 14'x8'; 3" cal.
Ulmus parvifolia 'Emer II'	Allee Elm	65-Gal.; 14'x10'; 3" cal.

EVERGREEN ACCENT TREES

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Cercis canadensis	Red Bud	30-Gal.; 9'x5'; 2 1/2" cal.
Elaeocarpus decipiens	Japanese Blueberry	65-Gal.; 12'x6'; 3" cal.
Ilex attenuata 'East Palatka'	East Palatka Holly	65-Gal.; 12'x6'; 3" cal.
Ilex cassine	Dahoon Holly	30-Gal.; 10'x5'; 2 1/2" cal.
Ligustrum japonicum	Japanese Privet	100-Gal.; 8'x8'; 2 1/2" cal.; M.T.
Prunus caroliniana	Cherry Laurel	30-Gal.; 8'x5'; 2" cal.

FLOWERING ACCENT TREES

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Koelreuteria elegans	Golden Rain Tree	100-Gal.; 14'x8'; 4" cal.
Lagerstroemia indica 'Muskogee'	Lavender Crepe Myrtle	65-Gal.; 11'x7'; 2" cal.; M.T.
Lagerstroemia indica 'Natchez'	White Crepe Myrtle	65-Gal.; 12'x7'; 2" cal.; M.T.
Lagerstroemia indica 'Tuscarora'	Red Crepe Myrtle	65-Gal.; 11'x7'; 2" cal.; M.T.
Tabebuia chrysotricha	Golden Tabebuia	30-Gal.; 10'x7'; 2" cal.
Tabebuia impetiginosa	Purple Tabebuia	65-Gal.; 14'x8'; 3" cal.

LARGE SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Illicium floridanum	Florida Anise	3-Gal.
Philodendron selloum	Split-Leaf Philodendron	10-Gal.
Podocarpus macrophylla	Japanese Yew	3-Gal.
Tabernaemontana divaricata	Crape Jasmine	3-Gal.
Viburnum odorotissimum	Sweet Viburnum	7-Gal.
Viburnum suspensum	Sandankwa Viburnum	7-Gal.

MEDIUM SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Abelia X grandiflora	Glossy Abelia	3-Gal.
Galphimia gracilis	Thyrallis	3-Gal.
Gardenia augusta 'Miami Supreme'	Miami Supreme Gardenia	7-Gal.
Plumbago 'Imperial Blue'	Imperial Blue	3-Gal.
Rhododendron indica 'Fashion'	Dwarf Red Azalea	3-Gal.
Rhododendron indica 'Formosa'	Large Purple Azalea	3-Gal.
Rhododendron indica 'Mrs. G.G. Gerbing'	Large White Azalea	3-Gal.

SMALL SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Bougainvillea 'Miss Alice'	Miss Alice Bougainvillea	3-Gal.
Jasminum multiflorum	Downy Jasmine	3-Gal.
Jasminum nitidum	Shining Jasmine	3-Gal.
Jasminum volubile	Wax Jasmine	3-Gal.
Philodendron selloum 'Xanadu'	Xanadu Philodendron	3-Gal.
Rhaphiolepis indica 'Alba'	Indian Hawthorn	3-Gal.

GROUNDCOVERS

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Juniperus chinensis 'Parsonii'	Parson's Juniper	3-Gal.
Liriope muscari 'Big Blue'	Big Blue Liriope	1-Gal.
Nephrolepis cordifolia	Erect Swordfern	1-Gal.
Nephrolepis falcate	Macho Fern	1-Gal.
Ophiopogon interm. 'Argenteomarginatus'	Aztec Grass	1-Gal.
Ophiopogon japonicus	Mondo Grass	4" Pots
Trachelospermum asiaticum 'Minima'	Asian Jasmine	1-Gal.
Trachelospermum jasminoides	Confederate Jasmine	1-Gal.

VINES & CONTAINER PLANTS

<u>Botanical Name</u>	<u>Common Name</u>	<u>Minimum Size</u>
Bougainvillea 'Glabra'	Purple Bougainvillea	3-Gal.
Epipremnum aureum	Golden Pothos	3-Gal.
Ficus pumila	Creeping Fig	1-Gal.
Mandevilla x amabilis 'Alice DuPont'	Alice DuPont Mandevilla	3-Gal.

LIGHTING

PURPOSE AND INTENT

The purpose and intent of the lighting design guidelines defined below is to allow for the appropriate light levels required for public health, safety and welfare without the generation of undue light spill between adjacent properties and land uses. The goal of the lighting design within the Town of Windermere should be to provide residents with a pleasant and safe environment with minimal undesirable side effects such as light trespass and glare. Lighting designs should acknowledge that even in the core “Business District” the intent of the lighting is to support the community character, which remains predominately residential in nature.

GENERAL

The following general criteria shall be followed in the design and installation of outdoor lighting:

- Electrical service for all outdoor lighting is required to be underground.
- Outdoor lighting installations, modifications or replacements are required to be submitted to the Town for review and approval through the development review process. The applicant will be required to submit an overall site plan identifying fixture types and locations as well as a photometric study and product data sheet for each type of fixture proposed.
- Harsh contrast in light color or levels shall be avoided.
- All non-essential lighting required for safety is required to be turned off during non-business hours. Essential lighting is that deemed necessary for safety and security. Sign, display and aesthetic lighting are non-essential.

STREET LIGHTING

Street light fixtures and poles within all public right-of ways should match the standard established by the Town of Windermere along the Main Street corridor. Fixtures are to be traditional acorn style on traditional style black poles with flared bases. The pole height for all street lights shall be 10’ above finish grade which allows for a light source at approximately 12’. In locations where right-of-way fronts residential lots, internal shielding and/ or cut-offs will be required to prohibit unnecessary glare and light spilling. Unnecessary light spill is defined as a light contribution in excess of 0.1 footcandles measured at a point 5’ beyond the property line. Lamps for parking area lighting should be of the metal halide variety, **HID mercury vapor lights are prohibited**. The minimum light level standards for street lights shall be 0.6 foot-candles.

PARKING LOT LIGHTING

Light fixtures and poles associated with parking lot lighting should compliment the street light standard established by the Town of Windermere along the Main Street corridor. Fixtures are to be traditional acorn style on traditional style black poles with flared bases. The maximum pole height for parking lot lights shall be 12’ above finish grade which allows for a light source at approximately 14’. In locations where parking areas front residential lots, internal shielding and/ or cut-offs will be required to prohibit unnecessary glare and light spilling. Unnecessary light spill is defined as a light contribution in excess of 0.1 footcandles measured at a point 5’ beyond the property line. Lamps for parking area lighting should be of the metal halide variety, **HID mercury vapor lights are prohibited**. The minimum light level standards for parking lots shall be 0.6 foot-candles.

PEDESTRIAN LIGHTING

Pedestrian area lighting shall be designed to provide safe and illuminated circulation and may be accomplished using either bollards or standards provided the pole height not exceed 8’ maximum as measured from finish grade which allows for a light source at approximately 10’. Fixtures and poles associated with pedestrian lighting should compliment the street light standard established by the Town of Windermere along the Main Street corridor. The minimum light level standards for pedestrian areas shall be 6 foot-candles.

LANDSCAPE LIGHTING

Supplemental lighting to accentuate landscape is encouraged. Accent lighting should utilize low level lighting from ground mounted fixtures, with the light source shielded from view.

TEMPORARY LIGHTING

Seasonal and holiday outdoor lighting installed for no more than sixty (60) days is deemed to be temporary and thereby exempt from those design guidelines that do pertain to safety or excessive light trespass on adjacent property.

GLOSSARY

DEFINITIONS

The following glossary of terms has been provided to aid in the interpretation and enforcement of the design criteria.

Disability Glare:

The eye's line-of-sight contact with a direct light source which causes a partial blindness.

Efficacy:

The amount of light produced per watt of electricity.

Foot-candle:

A unit of measure for luminance. A unit of luminance on a surface that is everywhere one foot from a uniform point source of light of one candle and equal to one lumen per square foot.

Full cut-off type fixture:

A luminary or light fixture, that by design of the housing, does not allow any light dispersion or direct glare to shine above 90 degree, horizontal plane from the base of the fixture.

Horizontal Luminance:

The measurement of brightness from a light source, usually measured in foot-candles or lumens, which is taken through a light meter's sensor at a horizontal position.

Light Trespass:

Light from an artificial light source that is intruding into an area where it is not wanted or does not belong.

Mounting Height:

For the purposes of these regulations, the Mounting Height of a light fixture shall be defined as the vertical distance from the grade elevation of the surface being illuminated to the bottom of the lighting fixture.

Up Lighting:

Any light source that distributes illumination above 90 degree horizontal plane.

Uniformity Ratio:

Uniformity Ratio describes the average level of illumination in relation to the lowest level of illumination for a given area. Example: U. Ratio = 4:1 for a given area, the lowest level of illumination (1) should be no less than 25% of (4 times less) than the average illumination.