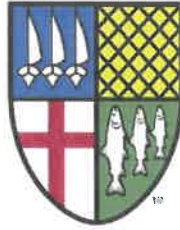


THE TOWN OF
Windermere



MAYOR AND COUNCIL OF THE TOWN OF WINDERMERE

Mayor Jim O'Brien

Council Members

Robert McKinley

Andy Williams

Chris Sapp

Bill Martini

Liz Andert

Agenda

Agenda

Revised September 8, 2020

6:00 PM

MEETING TO BE HELD VIRTUALLY ON ZOOM

Join Zoom Meeting

<https://zoom.us/j/97606384668?pwd=VDBPMjBSRS9VeHIDanBYbndvVDcvZz09>

Meeting ID: 976 0638 4668

Passcode: 709103

One tap mobile

+13017158592,,97606384668# US (Germantown)

+13126266799,,97606384668# US (Chicago)

Dial by your location

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

Meeting ID: 976 0638 4668
Find your local number: <https://zoom.us/j/97606384668>

PLEASE NOTE: IN ACCORDANCE WITH F.S. 286.26: Person with disabilities needing assistance to participate in any such proceeding should contact the Office of the Town Clerk at least 48 hours beforehand at (407) 876-2563

Pursuant to Resolution No. 2005-12 adopted on December 13, 2005, the following Civility Code shall govern all proceedings before the Town of Windermere Town Council:

1. All electronic devices, including cell phones and pagers, shall be either turned off or otherwise silenced.
2. Prolonged conversations shall be conducted outside Council meeting hall.
3. Whistling, heckling, gesturing, loud conversations, or other disruptive behavior is prohibited.
4. Only those individuals who have signed the speaker list and/or who have been recognized by the Mayor (or Chair) may address comments to the Council.
5. Comments at public hearings shall be limited to the subject being considered by the Council.
6. Comments at Open Forums shall be directed to Town issues.
7. All public comments shall avoid personal attacks and abusive language
8. No person attending a Town Council meeting is to harass, annoy, or otherwise disturb any other person in the room.

Any member of the public whose behavior is disruptive and violates the Town of Windermere Civility Code is subject to removal from the Town Council meeting by an officer and such other actions as may be appropriate. **PLEASE NOTE:** IN ACCORDANCE WITH F.S. 286.0105: Any person who desires to appeal any decision at this meeting will need a record of this proceeding. For this, such person may need to ensure that a verbatim record of such proceeding is made which includes the

AGENDA

- THE MEETING IS CALLED TO ORDER BY THE MAYOR
- FLAG SALUTE
- INVOCATION

1. OPEN FORUM/PUBLIC COMMENT (3 Minute Limit)

- a. Please email dburkhalter@town.windermere.fl.us prior to 5pm on September 7, 2020 to sign up
- b. Prior to meeting please state name, address and topic within chat box

2. SPECIAL PRESENTATION/PROCLAMATIONS/AWARDS

3. TIMED ITEMS AND PUBLIC HEARING

a. Resolution 2020-02 of the Town Council for the Town of Windermere, Florida pertaining to The Non-Ad Valorem Assessment Roll for Lot Clean-Up Resolution to be heard on September 9, 2020

b. Z19-11: 111 W 5th Avenue – Owner 111 5th Ave, LLC – Request for Conditional Use Approval for Micro-Brewery and Taproom – Development Review Board Tie Vote – No Recommendation

i. RESOLUTION 2020-05 111 W 5th Avenue Conditional Use

Whereas, Section 2.02.02(2)o, Land Development Code, provides that the Town Council may approve a proposed use not identified within the list of permitted uses with specific approval of Town Council with a finding that the proposed use is similar in character to another permitted use and is consistent with the overall purpose and intent of the Town's land development code and comprehensive plan

Please note, the resolution for this has unfilled areas that cannot be filled out until the result of the Town Council meeting. After the Town Council decision, Staff will complete the missing areas based on the action of the Town Council and send back to the Town Clerk for the Mayor's signature.

This item needs to be a public hearing since there was a tie vote at the DRB and no recommendation was provided. Section 15.00.03 states: "Upon receipt of the recommendation of the development review board, the town council at its option, may either affirm the development review board's recommendation without a public hearing or may hold a public hearing to consider the conditional use application and grant, grant with conditions or deny the application."

4. CONSENT AGENDA

- a. Z20-07: 111 W 5th Avenue – Owner 111 5th Ave, LLC – First Public Hearing for Major Development Proposed Commercial Building – Development Review Board recommends approval by a vote of 4-0.
- b. Z20-10: 826 Oakdale Street – Owner Will and Anna Headley – Variance to allow for an increase of an existing non-compliant gross floor area from 50.1% to 51.1% and existing non-compliant impervious area from 47.9% to 48.4% for the construction of a 67.75 square foot bathroom addition - Development Review Board recommends approval with the following condition: At time of building permitting, an engineered stormwater retention plan consistent with the stormwater retention

requirements of the Town, shall be provided with the building permit application and installed for all existing and new impervious areas on the property.

- c. Z20-11: 11214 Lake Butler Boulevard – Owner Lewis and Janet Ashenheim – Variance to allow an increase of floor area of an existing non-conforming detached garage from 1,386 square feet to 2,860 square feet, which is an increase of 106% of the existing gross floor area – Development Review Board motion to deny the variance failed due to tie vote – No Recommendation

5. NEW BUSINESS

a. MINUTES

- i. Town Council Meeting Minutes August 11, 2020 (Attachments-Staff Recommends Approval)

b. RESOLUTIONS/ORDINANCES FOR APPROVAL/FIRST READING

c. CONTRACTS & AGREEMENTS

- i. FY 2021 Renewal of Agreement for ON Call Land Planning Services (Attachment-Staff Recommends Approval)
- ii. KHA IPO Pedestrian Bridge (Attachments-Staff Recommends Approval)

d. FINANCIAL

e. OTHER ITEMS FOR CONSIDERATION:

6. MAYOR & COUNCIL LIAISON REPORTS

- a. MAYOR O'BRIEN
- b. COUNCILMAN MCKINLEY
- c. COUNCILMAN WILLIAMS
- d. COUNCILMAN SAPP
- e. COUNCILMAN MARTINI
- f. COUNCILMEMBER ANDERT

7. STAFF REPORTS

- a. TOWN MANAGER ROBERT SMITH
- b. TOWN ATTORNEY TOM WILKES
- c. POLICE CHIEF DAVE OGDEN
- d. PUBLIC WORKS DIRECTOR SCOTT BROWN

8. ADJOURN

• REPORTS:

- a. Final Master Water Plan Report

• FILED ITEMS

Town of Windermere

614 Main Street, Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Conditional Use – 111 W 5th Avenue – Z19-11

Date: August 31, 2020
Reviewer: Sarah Mastison and Brad Cornelius (Wade Trim)
Property: 111 W 5th Avenue Windermere, FL 34786
Parcel No.: 17-23-28-9336-02-891
Zoning: Commercial
Applicant: Andrew McGhee and Robert Williams
Point of Contact: Andrew McGhee
Email Address: andy@windermerebrewing.com

Description of Request: The applicant requests conditional use approval for the operation of a micro-brewery and taproom at 111 W 5th Avenue,

Need for Conditional Use Approval: The Town's land development code (LDC) does not specially state that micro-breweries or taprooms are an allowable use. However, neither use is specially prohibited. Because the proposed use is not specifically identified as an allowable use and is not specially prohibited, the Town Council may approve the proposed use as provided in Section 2.02.02(2)o, LDC. The Town Council must find that the proposed use is similar in character to another permitted use and is consistent with the overall purpose and intent of the Town's land development code and comprehensive plan.

In addition, the proposed micro-brewery and taproom will have on-site consumption of alcohol and is not licensed as a restaurant. Consequently, the proposed micro-brewery is subject to a 1,000 foot separation requirement from the First Baptist Church of Windermere and the existing Tim's Wine (Section 8-82, Code of Ordinances). However, Section 8-82, Code of Ordinances, also provides that the Town Council may waive the 1,000 foot separation requirement through the approval of a Conditional Use.

Section 8-82, Code of Ordinances, includes the following standards that would result in the revocation of the Conditional Use. These standards for revocation are:

1. Violates conditions of approval;

2. Receives more than two code enforcement violations; or
3. Receives more than two registered police incident reports in a calendar year.

In addition to the standard conditions, the Development Review Board may recommend, and the Town Council approve, additional conditions or restrictions on the operation to assure compatibility with the surrounding area.

Section 15.00.04 of the Land Development Code provides the standards of review for the DRB and Town Council. The standards of review are:

- Whether the conditional use will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area.
- Whether the conditional use will preserve any town, state or federally designated historic, scenic, archaeological, or cultural resources.
- Whether the conditional use will be compatible with adjacent residential development, if any, based on characteristics such as size, building style and scale; or whether such incompatibilities are mitigated through such means as screening, landscaping, setbacks, and other design features.
- Whether the conditional use will have significant adverse impacts on the livability and usability of nearby land due to: noise, dust, fumes, smoke, glare from lights, late-night operations, odors, truck and other delivery trips, the amount, location, and nature of any outside displays, storage, or activities, potential for increased litter, and privacy and safety issues.
- Whether the transportation system is capable of safely supporting the conditional use in addition to the existing uses in the area.
- Whether the minimum off-street parking area required and the amount of space needed for the loading and unloading of trucks, if applicable, has been provided and will function properly and safely.
- Whether generally, the public health, safety and welfare will be preserved, and any reasonable conditions necessary for such preservation have been made.

The applicant provided a plan of operation. The following provides a summary of the plan of operation and review comments where additional information is needed or recommended conditions of operation.

Proposed Hours of Operation: Section 8-83, Code of Ordinances, prohibits the sale of alcoholic beverages between the hours of 12:00 am and 7:00 am. The applicant’s proposed hours of operation are:

- Monday – Closed
- Tuesday – 3 pm – 10 pm
- Wednesday – 3 pm – 10 pm
- Thursday – 12 pm – 10 pm
- Friday – 12 pm – 11 pm
- Saturday – 12 pm – 11 pm
- Sunday – 1 pm – 8 pm

Please note, these proposed hours of operation are revised (included in the revised operating plan dated “Revised: August 21, 2020”) from what was presented to the DRB on August 18, 2020. The hours were revised for Saturday from an originally closing time of 12 am to a new proposed closing time of 11 pm, and the hours were revised for Sunday from an originally opening time of 12 pm to a new proposed opening time of 1 pm and revising the originally proposed closing time from 10 pm to a new proposed closing time of 8 pm.

Under the Conditional Use, the Town has the ability to regulate the hours of operation and impose other operating hours.

Production: The applicant states that this establishment will primarily produce malt beverages. However, they will also produce the following non-alcoholic items on-site: root beer, ginger ale, and sodas. Since the Town does not have this use specified in the code, there are no Town standards or limitations on production. However, Orange County does provide standards for production volume limitations. **Chapter 38 Article IV. Sec. 38-74 (180)** of Orange County’s code provides regulations on the maximum production volume per calendar year. Orange County limits micro-brewery’s production not to exceed 15,000 barrels in a calendar year. The Town would apply the County’s standards for brewing volume limitations.

The applicant states the planned production for the first year is 1,050 barrels. The full capacity of the proposed micro-brewery is 3,570 barrels. The applicant may not exceed 15,000 barrels per year of production.

Please note, after the DRB meeting, the applicant provided additional information regarding production (included in the revised operating plan dated “Revised: August 21, 2020”). The applicant clarified that the first year production is planned at 1,050 barrels, compared to the initial proposal of 1,200 barrels, with a 5-year increase in production to a maximum of 3,570 barrels.

Distribution/onsite consumption: Percentage of sales and volume for onsite consumption is needed to determine the primary use. To verify that the operation is not a primary distribution

operation as opposed to a primary onsite consumption and sale operation, more than 50% of the sales and volume consumed must be onsite.

The applicant states that 75% of sales will be taproom sales primarily for on-site consumption with secondary retail sales for beer-to-go.

Deliveries: The applicant states *“All deliveries will be limited to the hours allocated by Town ordinance & be kept to a minimal schedule based on the supply needs of the brewhouse. The building plan for the brewery allows for a delivery pad directly in front of the brewhouse to allow for trucks to sit stationary and off the main thoroughfare.”*

The Town’s code of ordinances does not specifically address hours for deliveries. However, the Town’s code of ordinances does address noise impacts, which would be related to delivery activities.

The applicant states that the hours for delivery will be Monday through Thursday from 10 am to 12 pm and 2 pm to 4 pm.

Trash: The applicant states that the proposed establishment will utilize the dumpster that currently serves the Windermere Market. The applicant will provide the Town with the shared use agreement for the shared use of the dumpster with Windermere Market.

Parking: Based on the Town Center Design Guidelines parking standards, the number of parking spaces required is 10 spaces. Parking is proposed to be shared with the existing parking at the Windermere Market. Based on the calculation of the required parking at the Windermere Market in comparison to the actual provided parking results in an excess of 9 parking spaces. These 9 parking spaces can be applied to the required parking for the proposed micro-brewery. There is also one parking space that is a handicap space provided on-site.

The Town’s code provides that off-site parking may be used based on the following factors:

1. Proximity of the off-site spaces to the use that they will serve.
2. East of pedestrian access to the off-site parking spaces.
3. Whether or not off-site parking spaces are compatible with the use intended to be served.
4. The location of the off-site parking spaces will not create unreasonable:
 - a. Hazards to pedestrians.
 - b. Hazards of vehicular traffic.
 - c. Traffic congestion.
 - d. Interference with access to other parking spaces in the vicinity.
 - e. Detriment to any nearby use.

5. The developer supplies a written agreement, approved in form by the town attorney, assuring the continued availability of the off-site parking facilities for the use they are intended to serve.

Traffic: The estimated traffic impact of the proposed taproom and micro-brewery based on traffic generation data from the Institute of Traffic Engineers (ITE) Trip Generation Manual 10th Edition. The ITE Code is 925 for “Drinking Place”. The ITE Trip Generation Manual provides that a “Drinking Place” (Code 925) generates 11.36 trips per 1,000 gross floor area in the PM peak hour. For small operations, less than 50,000 gross square feet, the PM peak hour trips may be reduced by 60% to account for primary local traffic to the use. The proposed gross floor area of the proposed building is 3,847 square feet, per the submitted plans. This equates to a PM peak hour trip generation of 17 trips in the PM peak hour ($3.847 \times 11.36 = 43.7$; $43.7 - 60\% = 17.48$). This equates to an increase of 16 trips from the previous single-family home located on the property. The 10th Edition of the ITE Trip Generation Manual provides that a single-family home generates 0.99 trips per PM peak hour per unit, or 1 trip in the PM peak hour. The 16 trip PM peak hour increase is de minimis and is not projected to result in a significant impact to W 5th Avenue.

Noise/Entertainment: The applicant states that they will be compliant with the Town’s noise ordinance and will not provide live entertainment.

Outdoor Storage: The applicant states there will be no outdoor storage with the exception of a brewing water effluent holding tank at the back of the building on the east side (closest to Windermere Market). The holding tank will be screened from view.

PUBLIC NOTICE:

Public notices were mailed to property owners within 500 feet of the subject property (33 notices sent). As of August 31, 2020, 92 responses were received. Of the 92 responses, 19 came from residences within 500 feet of the subject property: 11 in support and 8 in opposition. Of the total 92 responses received, 83 were in support and 9 were in opposition. The 92 responses came from 66 different households: 59 households in support and 7 households in opposition. An update to any responses received after August 31, 2020, will be provided at the Town Council meeting.

DEVELOPMENT REVIEW BOARD RECOMMENDATION:

On August 18, 2020, the Development Review Board (DRB) held a public hearing to consider the proposed conditional use for micro-brewery and taproom. Based on testimony provided in the staff report and at the DRB public hearing, there was a motion and second to approve the conditional use. The DRB vote on the motion was a tie at 2 in favor and 2 in opposition. Due to the tie vote, the motion failed, and no recommendation is provided to the Town Council.

RESOLUTION 2020-05:

Resolution 2020-05 is provided as part of the staff report for the conditional use. Based on the results of the Town Council public hearing on September 8, 2020, the remaining parts of the resolution will be completed for the Mayor’s signature.

RESOLUTION 2020-05

111 W 5th Avenue Conditional Use

Whereas, Section 2.02.02(2)o, Land Development Code, provides that the Town Council may approve a proposed use not identified within the list of permitted uses with specific approval of Town Council with a finding that the proposed use is similar in character to another permitted use and is consistent with the overall purpose and intent of the Town's land development code and comprehensive plan.

Whereas, Section 8-82, Code of Ordinances, allows for the consumption of wine and beer on-premises, less than 1,000 feet of a church, school, or other place of business with consumption on premises with the approval of a conditional use pursuant to Article XV, Land Development Code.

Whereas, Article XV, Land Development Code, provides for the process and review criteria for the consideration of conditional use requests.

Whereas, Article XV, Land Development Code, empowers the Development Review Board to review and make recommendations for approval, approval with conditions or denial to the Town Council on conditional use requests.

Whereas, Article XV, Land Development Code, requires the Town Council to either affirm the Development Review Board's recommendation without a public hearing or may hold a public hearing to consider the conditional use application and grant, grant with conditions, or deny the application.

Whereas, 111 5th Ave LLC, owner of 111 W 5th Avenue, represented by Andrew McGee, operator of Windermere Brewery, (see Attachment A for legal description), submitted to the Town an application and supporting documentation for conditional use approval pursuant to to Section 2.02.02(2)o, Land Development Code, and Section 8-82, Code of Ordinances, to allow the operation of a micro-brewery and taproom for on-site consumption of beer and wine on-premises at 111 W 5th Avenue, less than 1,000 feet from the First Baptist Church of Windermere and Tim's Wine Market.

Whereas, the Development Review Board held a duly notified public hearing to consider the conditional use application submitted for 111 W 5th Avenue on August 18, 2020. At the public hearing, the Development Review Board considered the application, supporting materials, and other pertinent testimony provided at the public hearing.

Whereas, the Development Review Board reviewed the conditional use application on the basis of the standards contained within Section 15.00.04 of the Land Development Code and a motion was made and seconded to approve the conditional use; however, the motion failed due to a two to two tie vote. The Development Review Board made no recommendation.

Whereas, the Town Council, at a public hearing on September 8, 2020, reviewed the conditional use application on the basis of the standards contained within Section 2.02,02(2) of the Land Development Code, and Section 15.00.04 of the Land Development Code and found *(complete after results of Town Council public hearing)*.

Now Therefore, Be It Resolved by the Town Council of the Town of Windermere, Florida:

1. The Town Council *(approves/denies – complete after results of Town Council public hearing)* the conditional use request to allow a micro-brewery and taproom for 111 W 5th Avenue.
2. The approval of the conditional use request is subject to the representations and commitments provided by the applicant within their application materials and their testimony provided at the public hearing, the standards and regulations contained within Article XV, Code of Ordinances, any additional conditions imposed by the Town Council, and as acknowledged in the Affidavit – Conditional Use, dated *(complete after results of Town Council public hearing)*, submitted by the applicant.

Resolved this 8th day of September, 2020.

TOWN OF WINDERMERE, FLORIDA

By: Town Council

By: _____
Mayor Jim O'Brien

Attest:

Town Clerk

Attachment A

Legal Description

**Plat of Windermere G/36, the E 80 Feet of Lot 289 and East 80
Feet of Lot 290
Parcel ID 17-23-28-9336-02-891**

WINDERMERE BREWING COMPANY

ESTD  2018

Windermere Brewing Company Conditional Use Proposal

05.28.2020

Revised: 8.21.20

Andrew McGhee

Co Founder | Head Brewer
Windermere Brewing Company

111 W. 5th Ave.

Windermere, FL 34786

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Overview

Windermere Brewing Company plans to operate a combined micro brewery & taproom within Windermere, Florida at 119 W. 5th Ave., Windermere, FL 34786. The purpose of this

proposal is to inform all parties involved in the Town of Windermere's decision making process as to what the operation of this business would require within the scope of the Town's conditional use review process.

Defining a Micro Brewery & Taproom

A micro brewery is a small scale malt beverage production facility that is self contained & does not create external noise pollution or foul odors. Although breweries may look like a large scale processing facility, most equipment is simply intended to hold liquids (i.e. water, fermenting process tanks, & beverage serving tanks). The primary purpose of the brewery is to supply the taproom with malt beverage for on-premise & to-go retail sales. The taproom serves to support the brewhouse with retail beverage sales and a gathering place for customers to enjoy their beverages on-site. A taproom operates much differently than the typical "bar" as we promote a place for the community to come together and enjoy conversation in a family-friendly environment.

Production Volume

Windermere Brewing Company will produce beer with a 7 barrel, stainless steel brewing plant. Production capacity of our 7 barrel brewing plant with 5 initial 14 barrel fermenters is approximately 1,785 barrels per year (1 barrel equals 31 gallons, which equals two standard 15.5 gallon kegs). The addition of more fermentation tanks at regular intervals will increase capacity to 3,570 barrels per year by year 5 and will be the full capacity of the facility. The management team intends to produce and sell approximately 1,050 barrels in the first year and then grow by a modest 18% year over year for the first 3 years. Thereafter, the management team will increase production and sales until the 3,570-barrel maximum capacity has been reached.

Production Growth

Once the maximum capacity has been reached within our brewhouse to be located at 111 W 5th Ave, Windermere Brewing will seek an outside solution to continue increased growth for distribution sales that will have no impact on the Town of Windermere or increase capacity at the proposed site.

Projected on Site Alcohol Sales

The management team of Windermere Brewing Company is determined to produce approximately 1,050 barrels during the first 12 months of production. These

approximately 2,100 kegs (15.5 gallon full keg) will be sold primarily through retail sales on premises and secondly through wholesale to distributors. The first 12 month split will be a concentration of 75% taproom sales to 25% wholesale. The wholesale market is of little gain to most micro breweries and serves primarily as a marketing source while driving minimal revenue. It is the intention to keep this percentage of on-site sales versus wholesale consistent year over year. Retail sales on premises consist of primarily on-site alcohol consumption & secondly through beer-to-go sold within the taproom.

Hours of Operation

Windermere Brewing Company is requesting the following hours of operation with the absolute willingness to negotiate hours based on the feel of the Town:

- Monday - Closed
- Tuesday - 3pm - 10pm
- Wednesday - 3pm - 10pm
- Thursday - 12pm - 10pm
- Friday - 12pm - 11pm
- Saturday - 12pm - 11pm
- Sunday - 1pm - 8pm

This request falls in line with the Town's Code of Ordinances in regards to alcoholic beverage sales under [Article IV Sec. 8-83](#).

Entertainment & Noise

In keeping with the Town Ordinance on the prohibition of "nightclubs", Windermere Brewing Company has no plans for live entertainment, which, in turn will allow for a low level of noise on site. Other mitigating factors we will take in tandem with the building owners to mitigate noise on site are landscape buffering & if our proposed hours are approved,, shutting down outdoor areas after 10pm.

Smoking Policy

Windermere Brewing Company will operate as a smoking prohibited business including all communal areas inside and outside the entire property.

Deliveries & Trash Pickup

All deliveries will be limited to the hours allocated by Town ordinance & be kept to a minimal schedule based on the supply needs of the brewhouse. The building plan for the brewery allows for a delivery pad directly in front of the brewhouse to allow for trucks to sit

stationary and off the main thoroughfare. Trash pickup will be scheduled in accordance with Town code & synchronized with other business trash pickups. Windermere Brewing Company will work with its suppliers to fit deliveries into timed windows that would be the least likely to impact traffic & noise. These hour will be set in two windows:

Monday - Thursday: 10am - 12pm & 2pm - 4pm

Beverages

Windermere Brewing Company plans to operate first and foremost as a cereal malt beverage manufacturer under State & Federal license. We pride ourselves on creating quality lagers & ales and in an effort to promote responsible alcohol consumption, we keep most ABV (alcohol by volume) around 4 - 6%. In addition to alcoholic beverage options, Windermere Brewing Company intends to produce NA (non-alcoholic) offerings such as root beer, ginger ale, & other “sodas” keeping with our commitment to a family friendly environment.

Drinking Responsibly

Windermere Brewing Company believes that alcohol should be enjoyed but never over consumed. Although, as dedicated by applicable laws already in place such as overserving & VIPs (visually intoxicated persons), Windermere Brewing Company will provide certified training to every employee on safe alcohol sales and also provide free ride share service to any consumers who we deem unable to operate a motor vehicle. The American Brewers Associations along with the Florida Brewers Guild provides a fund to help with this rideshare effort. It is our view that through elevated training, promoting healthy lifestyles, & enforcing our policies, we will act as a model for safe & responsible alcohol consumption.

Traffic & Parking

Windermere Brewing Company understands residents concerns over parking and traffic. First & foremost, we are dedicated to our local community, we know that many residents will utilize our space and many of them can either walk or utilize golf carts to come to our establishment. We also know that we will still attract outside Town Limit consumers, we are dedicated to working with the Town to alleviate any concerns that arise from this and continually improve our operations SOPs to ensure we are acting as a good business neighbor to our community. In addition, we in tandem with the building owners have planned a hard surface walk between our establishment & Windermere Market to facilitate the use of those parking spaces before other parking is sought. We also believe that any patron coming in from outside the Town will be traveling along Main & the first available

visible parking would be at Windermere Market were we are requesting our parking spaces be approved.

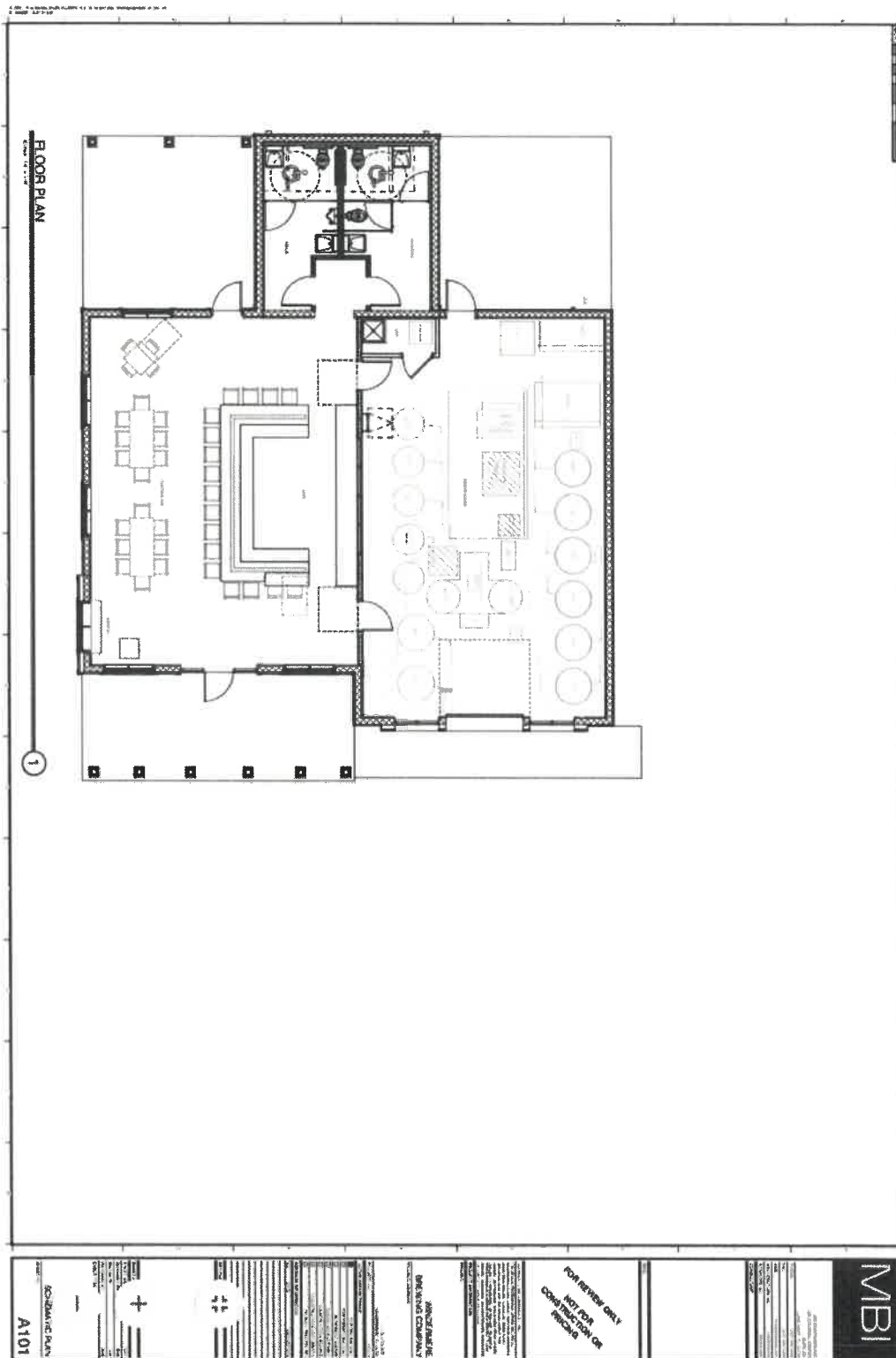
Outdoor Storage

Windermere Brewing will not have any outdoor storage or operational equipment on the outside of the building. The only exception will be a brewing water effluent holding tank on a rear concrete pad on the production plant side that will serve in our water recycling efforts. This tank will have no mechanical parts and produce no noise or odors and will be screened from public view.

Conclusion

Windermere Brewing Company looks forward to working with the Town to bring a great communal space to our wonderful area. As both owners are also indeed residents of the Town, our intent is simply to provide a unique place for our Town to relax, unwind, & have good conversation. We believe in a happy & vibrant Windermere with options in the business center for our residents.

Appendix A - Proposed Floor Plan



Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

POTTHAST THOMAS JR
425 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5th Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGhee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5th Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL: X _____

COMMENTS: see attached

SIGNATURE: [Signature]
POTTHAST THOMAS JR

DATE: 8/14/20

Conditional Use (111 W 5th Ave)

Sec. 8-84 of the Windermere Town Code of Ordinances prohibit nightclubs, which are defined as,
"an establishment exhibiting live entertainment, having a seating capacity of 25 or more persons and serving alcoholic beverages at retail to the public by glass or drink."

The applicant stated that he "has no plans for live entertainment", but must understand that live entertainment is **prohibited** at this type of establishment in Windermere.

Sec. 8-93 of the Windermere Town Code of Ordinances states:

- (a) Except as otherwise provided in subsections (b) and (c) of this section, it shall be unlawful for any person to possess or consume alcoholic beverages on public property within the corporate limits of the town. The term "public property" means all property owned or controlled by the town, including streets and roads. The term "public property" also includes private property which is provided for and open to public use, including but not limited to parking lots for invitees on business premises.

As this location is right across the street from our Town Square, it is a concern that this type of establishment would encourage drinking on public property.

Finally, Sec.8-82 of the Windermere Town Code of Ordinances states:

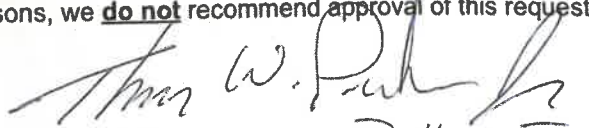
- (a) Any place of business in which alcoholic beverages or intoxicating beverages are sold or furnished at retail to the public by glass or drink within the town shall open directly and immediately on the street, and **no such place of business shall be less than 1,000 feet from an established church**, school or any other such place of business wherein consumption on premises is permitted which distance shall be measured by following the shortest route of ordinary pedestrian travel along the public thoroughfare from the main entrance of said place of business to the main entrance of the church and in case of a school, to the nearest point of the school grounds in use as part of the school facilities.

This establishment would be within 1000 feet of both the church and the chapel in Windermere, which is **prohibited** in our Town Codes. It is also within 500 feet of many residents, including our home. Our Town Codes were established to provide the amazing atmosphere that we all know and love.

We are highly concerned with having a place of business selling alcoholic beverages for many reasons:

- It is too close to churches, which is prohibited in our Town Codes.
- It is too close to homes. A microbrewery is known to produce odors which would have a negative effect on our quality of life, as we, along with many of our neighbors, enjoy sitting outdoors on our properties.
- Producing odors so close to a residential area would have a negative impact on our property values.
- Noise is a concern, especially with outdoor seating. No businesses in town remain open late such as the hours they are proposing. At the latest, businesses should close at 10PM on Friday and Saturday, and 6PM on Sunday, for the peace of the residents.

For these reasons, we **do not** recommend approval of this request.


Thomas W Pedhazt Jr

425 Butler St

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

POTTHAST THOMAS JR
425 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

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Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5th Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

COMMENTS: See attached

SIGNATURE: *Jim Potthast*
POTTHAST THOMAS JR *Genevieve*

DATE: 8-14-20

Conditional Use (111 W 5th Ave)

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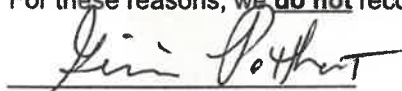
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For these reasons, we do not recommend approval of this request.


Genevieve Potthast, 425 Butler Street

8/14/20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

POTTHAST THOMAS JR
425 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

COMMENTS: _____

SIGNATURE: Christine Potthast
POTTHAST THOMAS JR CHRISTINE

DATE: 8-14-2020

RECOMMEND - Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

Received

COMMENTS: We do not think a business of this kind would be an asset to the beautiful Unique town of Windermere. The town of Windermere has always been known as a very nice, quiet, Prestigious and Prominent town, lets keep it that way, that is why we choose to live here. Thank you

Wade Thim

SIGNATURE: James L Cox
COX JAMES L

DATE: Aug. 3, 2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Wade Trim

Clerk
DOROTHY BURKHALTER

July 21, 2020

KOFFARNUS MARK L
515 BUTLER ST
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: X DISAPPROVAL _____

COMMENTS: _____

SIGNATURE: Mark L. Koffarnus
KOFFARNUS MARK L.

DATE: 7/27/2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager **Received**
ROBERT SMITH

Clerk **Wade Trim**
DOROTHY BURKHALTER

July 21, 2020

PARK RESIDENTIAL RENTALS LLC
4 PINE ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: DISAPPROVAL:

COMMENTS: _____

SIGNATURE: *Valerie Tucker, Manager*
PARK RESIDENTIAL RENTALS LLC
Dana

DATE: *7/25/2020*

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Wade Trim

July 21, 2020

501 MAIN L L C
901 ROSSER RD
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: DISAPPROVAL:

COMMENTS: _____

SIGNATURE:
501 MAIN L L C

DATE: 7/27/20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

JUL 29 2020

Wade Trim

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

BLACK AMANDA L
414 FOREST ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: DISAPPROVAL:

COMMENTS: Approved

SIGNATURE: *A. Black*
BLACK AMANDA L

DATE: 7-25-2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

JONES FRANCES K LIFE ESTATE
412 FOREST ST
WINDERMERE, FL 34786

Received

JUL 29 2020

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Wade Trim

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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL: JK Jones

COMMENTS: I live across the street - I do not want this in my neighborhood. We do not need this in Windermere - Plenty of other places other than our neighborhood - No - no - NO - NO

SIGNATURE: Frances K Jones
JONES FRANCES K LIFE ESTATE

DATE: July 26, 2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received

JUL 29 2020

Wade Trim

July 21, 2020

DAVID J HAAS LIVING TRUST
211 W 6TH AVE
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: DISAPPROVAL

COMMENTS: DOG-FRIENDLY WOULD BE GREAT!

SIGNATURE:
DAVID J HAAS LIVING TRUST

DATE: 7.24.2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Wade Trim

Clerk
DOROTHY BURKHALTER

July 21, 2020

435 BUTLER TRUST
435 BUTLER ST
WINDERMERE, FL 34786

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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

Highly Disapprove!

COMMENTS:

The Town said "We didn't say a brewery is going in. Right?!! We live 3 lots from this proposed brewery and we don't want a bar in Windermere. You all will do what you want this disapproval is meaningless!"

SIGNATURE: Robert Fahmy
435 BUTLER TRUST

DATE: 29 July 2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

WINDERMERE MARKET LLC
901 ROSSER RD
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5th Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5th Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL: _____

COMMENTS: _____

SIGNATURE: _____
WINDERMERE MARKET LLC

DATE: 7.27.2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Wade Trim

July 21, 2020

DIEDERICH ANDREA
635 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL: _____

COMMENTS:

I Don't want a BAR A
Block From My House!

SIGNATURE: _____
DIEDERICH ANDREA

DATE: 7/28/20

RECOMMEND - Conditional Use (111 W 5th Ave.)

APPROVAL: DISAPPROVAL

Received

COMMENTS: _____

Wade Trim

SIGNATURE: 
ROSS SCOTT M

DATE: 7/28/20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Mayor
JIM O'BRIEN



July 21, 2020

111 5TH AVE LLC
901 ROSSER RD
WINDERMERE, FL 34786

Owner Response

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery.

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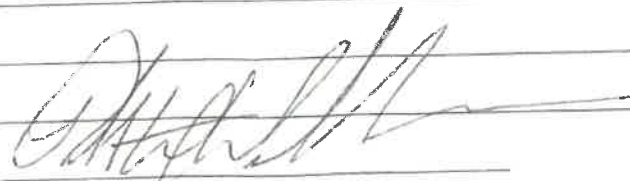
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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: **DISAPPROVAL:**

COMMENTS: _____

SIGNATURE:  _____
DATE: 7/27/20

111 5TH AVE LLC

To: Mayor and Town Council and Development Review Board

From: JEANNE F. GRAHAM

Date: AUGUST 10, 2020

Address: 235 PALM STREET
WINDERMERE FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Eric Graham

Date: Aug. 10, 2020

Address: 235 Palm St., Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



Mastison, Sarah

From: Cornelius, Brad
Sent: Monday, July 27, 2020 12:09 PM
To: Robert Smith
Cc: Warner, Amanda; Mastison, Sarah
Subject: Public Response Proposed Tap Room/Micro-Brewery

Robert,

Two Responses from same person.

FYI – I received a phone call today from Ms. Jones who lives at 412 Forest Street. She called to express her extreme objection to the opening of a micro-brewery and tap room in the Town. I advised her to submit her letter of objection and it will be included as part of the record for the DRB and Town Council hearings.

Take care,
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President
One Tampa City Center
201 North Franklin Street, Suite 1350, Tampa, FL 33602
813-882-4373 office
813-415-4952 cell



To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>

Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Angie Winn

Date: August 4, 2020

Address: 908 Rosser Road, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Angie Winn

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards, Bill Bardoe 225 E 9TH AVE

Sent from my iPhone

Mastison, Sarah

From: Cornelius, Brad
Sent: Tuesday, August 11, 2020 9:02 AM
To: Mastison, Sarah
Subject: FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Follow Up Flag: Follow up
Flag Status: Flagged

Another one.....

Brad

From: bconnors@cfl.rr.com <bconnors@cfl.rr.com>
Sent: Tuesday, August 4, 2020 4:03 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>; 'nconnors34786@gmail.com' <nconnors34786@gmail.com>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Brynna Connors

Date: August 4, 2020

Address: 217 Oakdale Street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Brynna Connors

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Douglas Kegler
12 Pine St, Windermere, FL 34786
August 7, 2020

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

I would like to voice my approval for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

Regards,
Douglas Kegler

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, July 29, 2020 4:26 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Get [Outlook for iOS](#)

From: Heather Oles <heather_oles@yahoo.com>
Sent: Wednesday, July 29, 2020 1:24:49 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

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Once again, I am in full support of both the conditional use proposal & commercial building development. Please note that I am full time resident of the Town of Windermere, of legal voting age (plus some!) and my address is 11230 Lake Butler Blvd. Contact information provided below.

Regards,

Heather Oles
11230 Lake Butler Blvd

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, July 29, 2020 4:26 PM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Want to make sure you're getting these!

Get [Outlook for iOS](#)

From: David Tulk <davetulk@hotmail.com>
Sent: Wednesday, July 29, 2020 1:37:57 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: David Tulk

Date: 7/29/2020

Address: 3340 Wax Berry Ct, Windermere FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

David Tulk

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, July 29, 2020 4:27 PM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Get [Outlook for iOS](#)

From: Rob Matheison <rob@matheison.com>
Sent: Wednesday, July 29, 2020 12:52:41 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Mayor and Town Council and Development Review Board

From: Rob Matheison

Date: July 29, 2020

Address: 610 Ridgewood Drive, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Rob Matheison

rob@matheison.com

From: Lindsey Tomaszewski

Date: August 7, 2020

Address: 40 Main st Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

Lindsey Tomaszewski
40 Main Street Windermere, FL 34786
321-624-3070

Address: 40 Main st Windermere FL 34786

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Best,

Matt Tomaszewski

C. [407.719.5956](tel:407.719.5956)

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Anne DeBoer

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

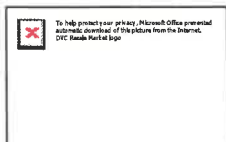
Derek DeBoer | derek@dvcresalemarket.com

DIRECT: (407) 900-0226

PHONE: (844) 382-7767

FAX: (407) 210-0112

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From: Ryan Mendro

Date: August 3, 2020

Address: 10864 Bayshore Dr, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Ryan Mendro

Address: [10864 Bayshore Dr, Windermere, FL 34786](#)

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at [111 W 5th Avenue](#)

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at [111 W 5th Avenue](#) will occur in front of the Development Revue Board [on August 18, 2020](#) & later by the Windermere Town Council [on September 8, 2020](#).

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
[Lucía Roca Mendro](#)

Sent from my iPhone

From: Steve Ruffner

Date: August 5, 2020

Address: 2108 Kane Park Way

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Steve Ruffner

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 4, 2020 7:05 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Sara Ruffner <sarajruffner@gmail.com>
Sent: Tuesday, August 4, 2020 4:34 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Sara Ruffner

Date: August 4, 2020

Address: 2108 Kane Park Way, Windermere 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Sara Ruffner

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Thursday, August 6, 2020 3:22 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: I am in full support

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Teresa Aken <tkaken@cfl.rr.com>
Sent: Thursday, August 6, 2020 3:06 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>; 'Teresa Aken' <tkaken@cfl.rr.com>
Subject: I am in full support

To: Mayor and Town Council and Development Review Board

From: Teresa Aken, Town Resident @ 70 Forest Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It understand a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020. The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. I do feel this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District. I agree so much of our Town's charm is our unique downtown district and town square where residents come together as a community. I fully support small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Thank you,
Teresa Aken
70 Forest St
Windermere, FL 34786
407-376-4141
tkaken@cfl.rr.com

Date: July 30, 2020

Address: 215 Forest St., Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom and Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 and also by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom and micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both of these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the town's character and will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal and commercial building development.

Regards,

Michael Guthrie

215 Forest St.

Windermere, FL 34786

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 4, 2020 7:05 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Build the Brewery Support

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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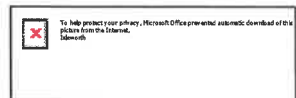
From: Wayne Sheffield <WSheffield@Isleworth.com>

Sent: Tuesday, August 4, 2020 4:33 PM

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

Cc: Diane Edwards <dedwards@town.windermere.fl.us>; andy@windermerebrewing.com <andy@windermerebrewing.com>

Subject: Build the Brewery Support



To: Mayor and Town Council and Development Review Board

From: Wayne & Carey Sheffield

Date: 8/4/2020

Address: 101, Lee Street, Windermere, FL34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

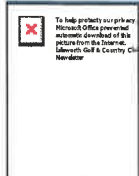
Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Wayne Sheffield
President, General Manager

ISLEWORTH GOLF & COUNTRY CLUB
ISLEWORTH REALTY
6100 Payne Stewart Drive
Windermere, FL 34786
Main: 407.909.2000
Direct: 407.909.2006
Cell: 407.274.2256
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Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 3, 2020 9:28 AM
To: Cornelius, Brad; Warner, Amanda
Subject: FW: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Richard Montgomery <richmontgom@gmail.com>
Sent: Monday, August 03, 2020 9:26 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to strongly state my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Richard Montgomery
11067 Schooner Way

Windermere, FL 34786

407-637-1929

From:

Hubert van Alphen

Date:

8/06/20

Address:

11200 cedar grove ct, windermere, fl , 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Hubert

From: Tim Kelly

Date: 8/5/2020

Address: 2829 Marquesas Ct., Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Tim Kelly

Date: August 5, 2020

Address: 515 W 2nd Ave, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lily Siviglia

From: Krista Kirk

Date: August 3rd, 2020

Address: 11311 Willow Gardens Dr

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Krista Kirk

Sent from my iPhone

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Friday, July 31, 2020 10:34 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: chamblissn@aol.com <chamblissn@aol.com>

Sent: Friday, July 31, 2020 10:32 AM

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

Cc: Diane Edwards <dedwards@town.windermere.fl.us>

Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Neal Chambliss

Date: July 31, 2020

Address: 117 Palm Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Neal Chambliss

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Friday, August 7, 2020 9:50 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

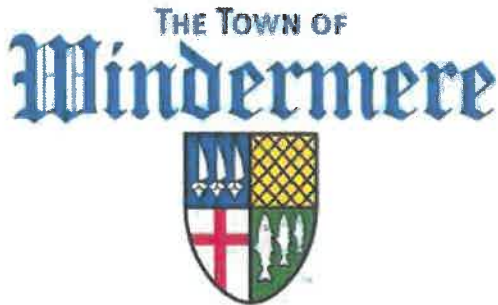
614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Joshua Lieberman <joshua.lieberman@yahoo.com>
Sent: Friday, August 07, 2020 9:47 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Joshua & Maria Lieberman

Date: 08/07/2020

Address: 41 Pine St Windermere Fl, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Joshua Lieberman
C -407-616-1589
Joshua.lieberman@yahoo.com

To: Mayor and Town Council and Development Review Board

From: Lauren Gurr

Date: 07/30/2020

Address: 44 oakdale street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lauren Gurr

To: Mayor and Town Council and Development Review Board

From: Stephen @ Wendy Fasen

Date: 7/30/2020

Address: 10808 Bayshore Dr. / Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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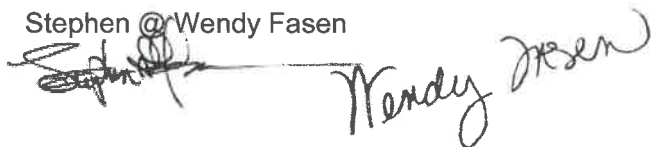
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Stephen @ Wendy Fasen

Handwritten signatures of Stephen and Wendy Fasen. The signature for Stephen is on the left, and the signature for Wendy is on the right, written in cursive.

LYNN AND JIM SALMON
8 PINE STREET
BEAUTIFUL WINDERMERE, FL 34786

7 August 2020

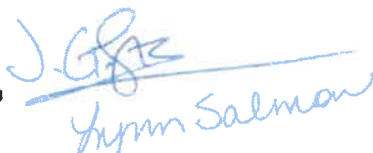
TO: The Honorable Jim O'Brien, Mayor of Windermere
Members of the Windermere Town Council

Subject: Support of Windermere Town Brewery

As a twenty plus year residents of Windermere, we have been pleased with the addition of social and business opportunities allowed to our town members in the "Heart of Downtown". The current restaurant, coffee shop and ice cream parlor are all welcome improvements to give our citizens a place to go without having to leave our town (for most in walking distance) and fight the massive traffic we incur at times.

In this same view, we see the addition of a brewery in the downtown area as a welcome establishment and fully support its participation in our town. It would give town residents a place to go and socialize without having to leave our area. We feel the Windermere community would widely support this business and look forward to seeing our local friends there once opened.

Lynn and Jim Salmon

A handwritten signature in blue ink, appearing to read "Lynn and Jim Salmon", is written over a horizontal line. The signature is stylized and cursive.

To: Mayor and Town Council and Development Review Board

From: George E. Foote, Jr.

Date: 8/6/2020

Address: 407 E. 7th Ave.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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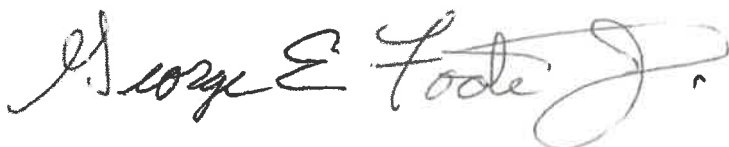
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Agnes Foote

Date: 08/06/2020

Address: 407 E. Seventh Ave
Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W. 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Karen Fay

Date: 8/6/2020

Address: 28 Pine St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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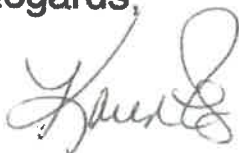
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



Mastison, Sarah

From: Cornelius, Brad
Sent: Friday, July 31, 2020 4:00 PM
To: Robert Smith
Cc: Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter
Subject: Call from Mr. Spears - Public Response Proposed Tap Room/Micro-Brewery

Robert,

FYI – I received a call this afternoon from Mr. Spears at 406 Forest Street. Mr. Spears had a general question regarding the conditional use process, expressed concerns about the proposed parking not sufficient for the use, control of crowds at the proposed operation, commercial fire standards for buildings not meeting sufficient spacing from another commercial building, and possibility of moving the rear patio from the west side to the east side of the building closest to Windermere Market.

Mr. Spears was understanding of my explanation of the conditional use process.

Take care,
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President
One Tampa City Center
201 North Franklin Street, Suite 1350, Tampa, FL 33602
813-882-4373 office
813-415-4952 cell



From: Robert Smith <rsmith@town.windermere.fl.us>
Sent: Monday, July 27, 2020 12:38 PM
To: Cornelius, Brad <bcornelius@wadetrim.com>
Subject: Re: Public Response Proposed Tap Room/Micro-Brewery

Ok thanks

Sent from my iPhone

On Jul 27, 2020, at 12:09 PM, Cornelius, Brad <bcornelius@wadetrim.com> wrote:

To: Mayor and Town Council and Development Review Board

From: Dean Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FI 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Dean Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere Fl 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere Fl 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

Mastison, Sarah

From: Cornelius, Brad
Sent: Tuesday, August 4, 2020 10:30 AM
To: Robert Smith
Cc: Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter
Subject: Call from Lesha Miller - Public Response Proposed Tap Room/Micro-Brewery

Robert,

This morning I received a call from Lesha Miller regarding the proposed micro-brewery/tap room. Lesha expressed support for the proposal. Her only comment was potential impact on Forest Street and if there is a way to prohibit people from parking on Forest Street or using Forest Street to access the business.

Take care,
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President
One Tampa City Center
201 North Franklin Street, Suite 1350, Tampa, FL 33602
813-882-4373 office
813-415-4952 cell



Mastison, Sarah

From: Robert Smith <rsmith@town.windermere.fl.us>
Sent: Monday, August 3, 2020 9:48 AM
To: Cornelius, Brad
Subject: Fw: Brewery

Regards,

Robert Smith
Town Manager
Town of Windermere
614 Main St.
Windermere, FL 34786
rsmith@town.windermere.fl.us
Cell: (407) 797-5004
Main: (407) 876-2563 x5324
Fax: (407) 876-0103

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From: Elle Rickerson <amandascoolmom@cfl.rr.com>
Sent: Monday, August 3, 2020 7:29 AM
To: Robert Smith <rsmith@town.windermere.fl.us>
Cc: Jim O'Brien <jobrien@town.windermere.fl.us>
Subject: Brewery

884 Main St.

Why are we allowing a Brewery in our Town? We just don't understand. These people wanting to open the Brewery say it is to attract people in the neighborhood that can walk to the Brewery and have a "pint". It will attract unwanted people to our area. I think we have seen an increase in people coming to Town for the wrong reasons. We want to keep our Town a small family Town. You can see the 1000 to 2000 people that the Food Trucks bring to Town. A nice restaurant similar to a "Dexters" Restaurant like we had in the Grove would be wonderful. We use to go there and enjoy eating outside with our dog. Lunch Time and Dinner Time was a meeting place for people in the area to come and enjoy friendship. I know we have Dixie Cream which is a great welcome to our community. We all enjoy that. If a restaurant could incorporate with them I believe it would be an awesome addition. We just cannot see opening a Brewery. It is not a family atmosphere. We have seen lives ruined by the start of early

drinking in a friendly atmosphere. Everyone is different when drinking alcohol. One thing is clear everyone shows the effect of alcohol. We don't like it. I expressed our views to the ones wanting to open this Brewery. They want to have a conversation to change our mind. There is no changing our mind. We have felt the same through high school, college and raising our 3 children. If you want to drink in your home, fine. Our opinion is SOLID. Thank you for allowing our input. Best, Elle

Mastison, Sarah

From: Robert Smith <rsmith@town.windermere.fl.us>
Sent: Monday, August 3, 2020 9:48 AM
To: Cornelius, Brad
Subject: Fw: Brewery

Regards,

Robert Smith
Town Manager
Town of Windermere
614 Main St.
Windermere, FL 34786
rsmith@town.windermere.fl.us
Cell: (407) 797-5004
Main: (407) 876-2563 x5324
Fax: (407) 876-0103

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From: Elle Rickerson <amandascoolmom@cfl.rr.com>
Sent: Monday, August 3, 2020 8:27 AM
To: Robert Smith <rsmith@town.windermere.fl.us>
Cc: Jim O'Brien <jobrien@town.windermere.fl.us>
Subject: Brewery

884 Main St.

I would like to add one more thought to my previous email. I am not a "prude" where I think any alcohol should not be served. If we had a nice restaurant as I described in my previous email that serves wine or beer with our meal that is different. It is just the fact that a Brewery is a destination for alcohol only. Thank you again for allowing my opinion. My Best, Elle

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 4, 2020 7:03 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Build The Brewery

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Simon Simaan <simon@simonsimaan.com>
Sent: Tuesday, August 4, 2020 4:50 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Build The Brewery

To: Mayor and Town Council and Development Review Board

From: Simon and Simona Simaan

Date: 8/4/2020

Address: 812 East Blvd and 820 East Blvd

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

--

Simon Simaan | Realtor® | Broker
The Simon Simaan Group | Real Estate
Cell: 407-558-1396
Email: simon@simonsimaan.com
Website: www.simonsimaan.com

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

PEARL CYNTHIA E
525 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5th Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5th Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: X DISAPPROVAL _____

COMMENTS: ABSOLUTELY APPROVE AND WELCOME THIS PROJECT.

SIGNATURE: CE Pearl
PEARL CYNTHIA E

DATE: 7/25/2020

From: Jackie Leigh Andrus

Date: August 13, 2020

Address: 11416 Willow Stowe Lane, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Jackie Leigh Andrus

From: Todd Andrus

Date: August 13, 2020

Address: 11416 Willow Stowe Lane, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

Todd Andrus

"jroper@town.windermere.fl.us" <jroper@town.windermere.fl.us>, "mrose@town.windermere.fl.us" <mrose@town.windermere.fl.us>, "nsutton@town.windermere.fl.us" <nsutton@town.windermere.fl.us>, "swithers@town.windermere.fl.us" <swithers@town.windermere.fl.us>

To: Mayor and Town Council and Development Review Board

From: Chad McGhee

Date: 8/3/2020

Address: 125 Forest St. Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Nicole Carsten

Date: August 13, 2020

Address: 124 Forest St

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Nicole Carsten

Sent from my iPad

The information contained in this e-mail message is intended solely for the recipient(s) and may contain privileged information. Tampering with or altering the contents of this message is prohibited. This information is the same as any written document and may be subject to all rules governing public information according to Florida Statutes. Any message that falls under Chapter 119 shall not be altered in a manner that misrepresents the activities of Orange County Public Schools.

[References: Florida State Constitution I.24, Florida State Statutes Chapter 119, and OCPS Management Directive A-9.] If you have received this message in error, or are not the named recipient notify the sender and delete this message from your computer.

From: jeff winn <[jajawinn@gmail.com](mailto:jawinn@gmail.com)>

Sent: Thursday, August 13, 2020 9:45 PM

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

Cc: Diane Edwards <dedwards@town.windermere.fl.us>

Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Jeff Winn

Date: August 4, 2020

Address: 908 Rosser Road, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Jeff Winn

From: Joseph Ata <drjosephata@gmail.com>
Sent: Friday, August 14, 2020 9:38 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Joseph Ata

Date: 08-14-20

Address: 5 Pine St. Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Joseph Ata D.M.D.

DrJosephAta@gmail.com
407-857-6501

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

CESTERO RICARDO
415 BUTLER ST
WINDERMERE, FL 34786

Received

AUG 3 4 2020

Wade Trim

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5th Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5th Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: 
CESTERO RICARDO

DATE: 8/9/2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

POTTHAST THOMAS JR
425 BUTLER ST
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL: X

COMMENTS: see attch 6, 0

SIGNATURE: [Signature]
POTTHAST THOMAS JR

DATE: 8/14/20

Conditional Use (111 W 5th Ave)

Sec. 8-84 of the Windermere Town Code of Ordinances prohibit nightclubs, which are defined as,
"an establishment exhibiting live entertainment, having a seating capacity of 25 or more persons and serving alcoholic beverages at retail to the public by glass or drink."

The applicant stated that he "has no plans for live entertainment", but must understand that live entertainment is **prohibited** at this type of establishment in Windermere.

Sec. 8-93 of the Windermere Town Code of Ordinances states:

- (a) Except as otherwise provided in subsections (b) and (c) of this section, it shall be unlawful for any person to possess or consume alcoholic beverages on public property within the corporate limits of the town. The term "public property" means all property owned or controlled by the town, including streets and roads. The term "public property" also includes private property which is provided for and open to public use, including but not limited to parking lots for invitees on business premises.

As this location is right across the street from our Town Square, it is a concern that this type of establishment would encourage drinking on public property.

Finally, Sec.8-82 of the Windermere Town Code of Ordinances states:

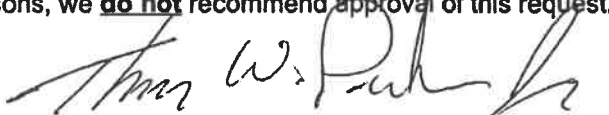
- (a) Any place of business in which alcoholic beverages or intoxicating beverages are sold or furnished at retail to the public by glass or drink within the town shall open directly and immediately on the street, and **no such place of business shall be less than 1,000 feet from an established church**, school or any other such place of business wherein consumption on premises is permitted which distance shall be measured by following the shortest route of ordinary pedestrian travel along the public thoroughfare from the main entrance of said place of business to the main entrance of the church and in case of a school, to the nearest point of the school grounds in use as part of the school facilities.

This establishment would be within 1000 feet of both the church and the chapel in Windermere, which is **prohibited** in our Town Codes. It is also within 500 feet of many residents, including our home. Our Town Codes were established to provide the amazing atmosphere that we all know and love.

We are highly concerned with having a place of business selling alcoholic beverages for many reasons:

- It is too close to churches, which is prohibited in our Town Codes.
- It is too close to homes. A microbrewery is known to produce odors which would have a negative effect on our quality of life, as we, along with many of our neighbors, enjoy sitting outdoors on our properties.
- Producing odors so close to a residential area would have a negative impact on our property values.
- Noise is a concern, especially with outdoor seating. No businesses in town remain open late such as the hours they are proposing. At the latest, businesses should close at 10PM on Friday and Saturday, and 6PM on Sunday, for the peace of the residents.

For these reasons, we **do not** recommend approval of this request.


Thomas W Potthast Jr

425 Better
ST

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

POTTHAST THOMAS JR
425 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Conditional Use Public Hearing – 111 W 5th Avenue – Proposed Taproom and Micro-brewery

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND = Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL:

COMMENTS: See attached

SIGNATURE: Kevin Potthast
POTTHAST THOMAS JR Genevieve

DATE: 8-14-20

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Genevieve Potthast, 425 Butler Street

8/14/20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Conditional Use (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

COMMENTS: _____

SIGNATURE: Christine
POTTHAST THOMAS JR CHRISTINE

DATE: 8-14-2020

To: Mayor and Town Council and Development Review Board

From:

Joseph and Christine Tenczar

Date:

8/14/2020

Address:

327 E. 8th Ave.

Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

A handwritten signature in blue ink, consisting of a large, stylized initial 'J' followed by a long, sweeping horizontal line that tapers to the right.

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Thursday, August 20, 2020 9:00 AM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Get [Outlook for iOS](#)

From: Lena <lenchana@gmail.com>
Sent: Wednesday, August 19, 2020 9:41:08 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Elena LaRochelle

Date: August 19, 2020

Address: 515 Oakdale Street Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will

serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

--

Elena LaRochelle

T. [407-443-4311](tel:407-443-4311)

E. lenchana@gmail.com

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 18, 2020 8:25 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

From: Bridgette <bmatthews3@gmail.com>
Sent: Tuesday, August 18, 2020 6:32 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Bridgette Matthews

Date: 8/17/2020

Address: 420 Butler Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Bridgette Matthews

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 18, 2020 11:34 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Adam Plotkin <Adam@nopactalent.com>
Sent: Tuesday, August 18, 2020 10:31 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Adam Plotkin

Date: August 18, 2020

Address: 904 Main Street
Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Good morning, It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



Adam Plotkin
[888.550.6672](tel:888.550.6672) office
[407.468.4770](tel:407.468.4770) direct
[888.752-3532](tel:888.752-3532) fax

Adam@NOPACTalent.com
www.NOPACTalent.com

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 17, 2020 2:14 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development
Attachments: Conditional+Use+&+Building+Development+Letter+of+Support (1).docx

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From: David Reagan <david@redrocketstudios.com>
Sent: Monday, August 17, 2020 2:01:15 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Hello Town of Windermere,

It's time for an indoor park ;) 🏠🍺

To: Mayor and Town Council and Development Review Board

From: David Reagan

Date: 7/17/20

Address: 227 W. 2nd Ave Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

David Reagan

Stay Safe



David Reagan

Captain

Red Rocket Studios

407 948 7044

redrocketstudios.com

Orlando, FL USA



Red Rocket Studios – a collective group of highly imaginative individuals offering creative corporate identity solutions, powerful marketing ideas, clever graphic design, digital media, web platforms and state of the art video & technical production for live meetings and events. We specialize in bold, successful and innovative ideas with solid and memorable results. Let us launch your next meeting or event.

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 17, 2020 2:12 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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From: Amy Rucki <amy.rucki@gmail.com>
Sent: Monday, August 17, 2020 12:41:21 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Swithers <swithers@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Mayor and Town Council and Development Review Board

From: Amy Rucki

Date: 8/17/20

Address: 3229 Wauseon Dr. Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Amy Rucki

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 17, 2020 2:07 PM
To: Cornelius, Brad
Subject: Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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From: Chris Rucki <chris.rucki@gmail.com>
Sent: Monday, August 17, 2020 10:10:07 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Mayor and Town Council and Development Review Board

From: Chris Rucki

Date: 8/17/20

Address: [3229 Wauseon Dr. Windermere, FL 34786](#)

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at [111 W 5th Avenue](#)

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at [111 W 5th Avenue](#) will occur in front of the Development Revue Board [on August 18, 2020](#) & later by the Windermere Town Council [on September 8, 2020](#).

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Chris Rucki

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 17, 2020 2:10 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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From: Stephanie Weisz <weiszs@me.com>
Sent: Sunday, August 16, 2020 4:55:05 PM
To: Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Development Review Board

From: Stephanie Weisz
Date: August 16, 2020
Address: 11449 Lake Butler Blvd

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Stephanie Weisz

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, August 19, 2020 8:22 PM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

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From: Andert, Christopher M <christopher.m.andert@lmco.com>
Sent: Wednesday, August 19, 2020 5:18:32 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Chris Andert

Date: August 19, 2020

Address: 60 Oakdale St, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue occurred in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Chris Andert

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 18, 2020 8:25 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Kim Campbell <kfcampbell25@gmail.com>
Sent: Tuesday, August 18, 2020 7:27 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Kim Campbell

Date: August 17, 2020

Address: 611 Forest Street
Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Kim Campbell

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, August 19, 2020 7:36 AM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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From: Daniel Floyd <d@packetflo.com>
Sent: Tuesday, August 18, 2020 5:20:39 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Mayor and Town Council and Development Review Board

From: Daniel Floyd

Date: 8/18/2020

Address: 515 Oakdale Street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Daniel Floyd

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 17, 2020 2:09 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Support For Proposed Taproom & Micro-brewery

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From: Matt Henry <m4tt.henry@gmail.com>
Sent: Sunday, August 16, 2020 9:43:31 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support For Proposed Taproom & Micro-brewery

To: Mayor and Town Council and Development Review Board
From: Matt Henry
Date: 2020-08-16
Address: 619 Magnolia Street, Windermere FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Matt Henry

Cornelius, Brad

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 17, 2020 2:09 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use and Major Site Development

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From: K HPNW <kirsten.koci@gmail.com>
Sent: Sunday, August 16, 2020 9:42:01 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use and Major Site Development

To: Mayor and Town Council and Development Review Board
From: KIRSTEN HENRY
Date: AUGUST 16, 2020
Address: 619 MAGNOLIA, WINDERMERE FL 34786

Re:

Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020

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Once again, I am in full support of both the conditional use proposal & commercial building development .
Regards,

KIRSTEN HENRY

--

- Sent by Kirsten

To: Mayor and Town Council and Development Review Board

From: Jackie Rappart

Date: 8/14/20

Address: 226 Forest St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Regards,

Jackie Rappart

To: Mayor and Town Council and Development Review Board

From: JERRY HOWARD

Date: 8/14/20

Address: 215 MAGNOLIA ST. WINDERMERE

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Mary Fran Howard

Date: 8/14/2020

Address: 215 Magnolia St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

Mary Fran Howard

To: Mayor and Town Council and Development Review Board

From: Gerald W. Fay

Date: Aug. 15, 2020

Address: 28 Pine St.
Windermere, Fla 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Gerald W. Fay



To: Mayor and Town Council and Development Review Board

From: Judith A. Plett

Date: 8-5-2020

Address: 220 E. 4th Avenue, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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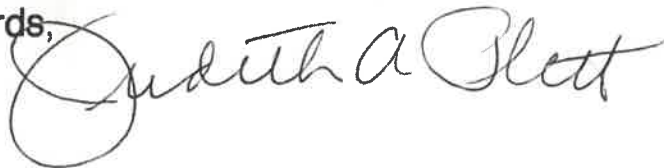
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Regards,



To: Mayor and Town Council and Development Review Board

From: *Richard H. Quinn*

Date: 8-13-20

Address: 11355 Windermere 34726

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

Richard H. Quinn

To: Mayor and Town Council and Development Review Board

From: Karen Quinn

Date: 08/13/20

Address: 11355 Windermere Rd

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Regards,



To: Mayor and Town Council and Development Review Board

From:

Jay M. KARR (SUZI)

Date:

8-14-2020

Address:

637 RIVERWOOD DRIVE

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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To: Mayor and Town Council and Development Review Board

From: *Talia M. Bonfanti*

Date: *August 14 2020*

Address: *414 E. 5th Ave.*

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Regards,

Talia M. Bonfanti

To: Mayor and Town Council and Development Review Board

From: *Giovanni Bonfanti*

Date: *14 August 2020*

Address: *414 E. 5th Ave*

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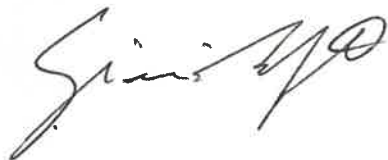
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OCAPA Web Map	
	Major Roads
	Proposed Road
	Block Line
	Commercial/Institutional
	Hydro
	Golf Course
	Florida Turnpike
	Public Roads
	Brick Road
	Lot Line
	Governmental/Institutional/Misc
	Waste Land
	Lakes and Rivers
	Interstate 4
	Gated Roads
	Rail Road
	Residential
	Commercial/Industrial/Vacant Land
	Building
	Toll Road
	Road Under Construction
	Proposed Sun/Fall
	Agriculture
	Agricultural Curbside
	County Boundary
	Parks
	Hospital



Created: 8/10/2020 17:15

This map is for reference only and is not a survey.

Name	Address	Response	Responses Per Person	Within 500 Ft
COX JAMES L	405 BUTLER ST	N	1	Y
SPEARS JOHN A	406 FOREST ST	N	1	Y
JONES FRANCES K LIFE ESTATE (JONES FRANCES)	412 FOREST ST	N	2	Y
POTTHAST THOMAS JR	425 BUTLER ST	N	1	Y
POTTHAST GENEVIEVE M	425 BUTLER ST	N	1	Y
POTTHAST CHRISTINE	425 BUTLER ST	N	1	Y
435 BUTLER TRUST	435 BUTLER ST	N	1	Y
DIEDERICH ANDREA	505 BUTLER ST	N	1	Y
RICKERSON LANCE L LIFE ESTATE (ELLE RICKERSON)	804 MAIN ST	N	2	N
SHEFFIELD WAYNE STUART	101 LEE ST	Y	1	N
SHEFFIELD CAREY ANNE	101 LEE ST	Y	1	N
STEPHEN FASEN	10808 BAYSHORE DR	Y	1	N
WENDY FASEN	10808 BAYSHORE DR	Y	1	N
MENDRO RYAN L	10864 BAYSHORE DR	Y	1	N
LUCIA ROCA MENDRO	10864 BAYSHORE DR	Y	1	N
MONTGOMERY RICHARD L	11067 SCHOONER WAY	Y	1	N
VAN ALPHEN HUBERT	11200 CEDAR GROVE CT	Y	1	N
OLES HEATHER H	11230 LAKE BUTLER BLVD	Y	1	N
KIRK KRISTA JEAN	11311 WILLOW GARDENS DR	Y	1	N
QUINN RICHARD	11355 WINDERMERE RD	Y	1	N
QUINN KAREN	11355 WINDERMERE RD	Y	1	N
ANDRUS JACKIE L	11416 WILLOW STOWE LN	Y	1	N
ANDRUS TODD L	11416 WILLOW STOWE LN	Y	1	N
WEISZ STEPHANIE	11449 LAKE BUTLER BLVD	Y	1	N
CHAMBLISS ROBERT NEAL	117 PALM ST	Y	1	N
DOUGLAS ANTHONY KEGLER TRUST (DOUGLAS KEGLER)	12 PINE ST	Y	1	N
CARSTON NICOLE	124 FOREST ST	Y	1	N
MCGHEE CHAD	125 FOREST ST	Y	1	N
ROSS SCOTT M	201 W 5TH AVE	Y	1	Y
BISSEN MARY	203 W 6TH AVE	Y	1	Y
STEVE RUFFNER	2108 KANE PARK WAY	Y	1	N
SARA RUFFNER	2108 KANE PARK WAY	Y	1	N
DAVID J HAAS LIVING TRUST	211 W 6TH AVE	Y	1	Y
GUTHRIE MICHAEL	215 FOREST ST	Y	1	N
HOWARD JERRY	215 MAGNOLIA ST	Y	1	N
HOWARD MARY FRAN	215 MAGNOLIA ST	Y	1	N
BRYNNA E CONNORS REVOCABLE TRUST (BRYNNA CONNORS)	217 OAKDALE ST	Y	1	N
PLATT JUDITH	220 E 4TH AVE	Y	1	N
BARDOT WILLIAM G (BILL)	225 E 9TH AVE	Y	1	N
IRAPPORT JACKIE	226 FOREST ST	Y	1	N
REAGAN DAVID	227 W 2ND AVE	Y	1	N
GRAHAM JEANNE F	235 PALM ST	Y	1	N
GRAHAM ERIC A	235 PALM ST	Y	1	N
FAY KAREN F	28 PINE ST	Y	1	N
FAY GERALD	28 PINE ST	Y	1	N
KELLY TIM	2829 MARQUESAS CT	Y	1	N
DEBOER ANNE	306 BUTLER ST	Y	1	N
DEBOER DEREK	306 BUTLER ST	Y	1	N
RUCKI AMY	3229 WALUSEON DR	Y	1	N
RUCKI CHRIS	3229 WALUSEON DR	Y	1	N
TENCZAR JOSEPH	327 E 8TH AVE	Y	1	N
TENCZAR CHRISTINE	327 E 8TH AVE	Y	1	N
TULK DAVID WILLIAM	3340 WAK BERRY CT	Y	1	N
TOMASZEWSKI LINDSEY A	40 MAIN ST	Y	1	N
TOMASZEWSKI MATT M	40 MAIN ST	Y	1	N
FOOTE GEORGE E JR	407 E 7TH AVE	Y	1	N
FOOTE AGNES	407 E 7TH AVE	Y	1	N
LIEBERMAN JOSHUA JOEL	41 PINE ST	Y	1	N
LIEBERMAN MARIA CECELIA	41 PINE ST	Y	1	N
BONFANTI DALIA	414 E 5TH AVE	Y	1	N
BONFANTI GIOVANNI	414 E 5TH AVE	Y	1	N
BLACK AMANDA L	414 FOREST ST	Y	1	Y
CESTERO RICARDO	415 BUTLER ST	Y	1	Y
WINDERMERE MARKET LLC	428 MAIN ST	Y	1	Y
MATTHEWS BRIDGETTE	430 BUTLER ST	Y	1	N
GURR LAUREN NICOLE	44 OAKDALE ST	Y	1	N
ATA JOSEPH ADAM	5 PINE ST	Y	1	N
501 MAIN L L C	501 MAIN ST	Y	1	Y
PARK RESIDENTIAL RENTALS LLC	505 MAIN ST	Y	1	Y
KOFFARNUS MARK L	515 BUTLER ST	Y	1	Y
LaROCHELLE ELENA	515 OAKDALE ST	Y	1	N
FLOYD DANIEL	515 OAKDALE ST	Y	1	N
LILY SIVIGLIA	515 W 2ND AVE	Y	1	N
CRAVEN BARRY T	516 FOREST ST	Y	1	Y
PEARL CYNTHIA E	525 BUTLER ST	Y	1	Y
ANDERT CHRIS	60 OAKDALE ST	Y	1	N
MATHEISON ROBERT A	610 RIDGEWOOD DR	Y	1	N
CAMPBELL KIM	611 FOREST ST	Y	1	N
HENRY MATT	619 MAGNOLIA ST	Y	1	N
HENRY KIRSTEN	619 MAGNOLIA ST	Y	1	N
MILLER LESHA C	625 BUTLER ST	Y	3	N
MILLER DEAN A	625 BUTLER ST	Y	1	N
MILLER LAUREN	625 BUTLER ST	Y	1	N
KARR SUZI	637 RIDGEWOOD DR	Y	1	N
AKEN TERESA L	70 FOREST ST	Y	1	N
SALMON JAMES G (JIM)	8 PINE ST	Y	1	N
SALMON LYNN T	8 PINE ST	Y	1	N
SIMAAAN SIMON T	812 & 820 EAST BLVD	Y	1	N
SIMAAAN SIMONA	812 & 820 EAST BLVD	Y	1	N
PLOTKIN ADAM	904 MAIN ST	Y	1	N
WINN ANGELA D (ANGIE)	908 ROSSER RD	Y	1	N
WINN JEFFREY G	908 ROSSER RD	Y	1	N

Updated As of 08.31.2020:		Responses
Responses Within 500 Ft		19
	Total Support	11
	Total Opposed	8
Total Person Responses		92
	Total Person Support	83
	Total Person Opposed	9
Total Households		66
	Total Household Support	59
	Total Household Opposed	7

Town of Windermere

614 Main Street, Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Major Development – 111 W 5th Ave. – Z20-07

Date: August 31, 2020
Reviewer: Sarah Mastison and Brad Cornelius (Wade Trim)
Property: 111 W 5th Avenue Windermere, FL 34786
Parcel No.: 17-23-28-9336-02-891
Zoning: Commercial
Owner/Applicant: 111 5th Ave, LLC
Point of Contact: Robert and Lavina Williams

Description of Request: The applicant proposes the construction of a commercial building. The subject property was rezoned to commercial by the Town Council on September 10, 2019. A condition of the approval was that development on the subject site would proceed as a major development with reviews and public hearings with the Development Review Board (DRB) and Town Council. In addition, a condition of the rezoning was that the building and site shall be developed consistent with the standards of the Town Center Design Guidelines.

The major development required two (2) public hearings with the Town Council. The September 8, 2020, public hearing is the first public hearing. At the first public hearing the project will be presented and opened for public comment. The Town Council may provide comments or suggestions for revisions to the proposed major development plan. The second public hearing will occur at the Town Council meeting on October 13, 2020, for final consideration.

Standards: This Major Development plan was reviewed based on the Town Center Design Guidelines. Where standards were not specifically addressed within the Town Center Design Guidelines, the Town's general code standards were applied.

Use of Building: The applicant has stated their intent to utilize the proposed commercial building as a micro-brewery and taproom. The proposed use is under separate review as a conditional use (Case Z19-11).

Floor Area: The gross floor areas of the proposed commercial building, per the site plan, is 24.8%, which is less than the permitted maximum.

Setbacks:

	Proposed	Required Min.	
Front (South)	20'	15'	<u>Compliant</u>
Side (West)	15.4'	0'	<u>Compliant</u>
Side (East)	9.5'	0'	<u>Compliant</u>

Building Height: The height of the proposed building is limited to 35' high. The proposed building is one-story and 21'8" high.

Awnings: Awnings are allowed and encouraged in the Town Center Design Guidelines. The proposed elevation sheet shows a proposed metal awning.

Sign: The area of any sign cannot exceed 20 square feet. The plans show a proposed wall mounted sign on located above the proposed awning. However, the plans indicate the sign will not exceed 20 square feet.

Landscaping: The Town Center Design Guidelines does not provide full landscaping standards that would be applicable to the subject property. However, in combination with the Town's code, the proposed development is required to provide the following landscaping standards:

1. A 4-foot wide landscape area in between the building and right-of-way at the base of the building that extends at least 50% of the building frontage. The applicant is not providing the landscaping at the base of the building due to the desire to create a courtyard in the front. However, the applicant is providing landscaping along the front property line in lieu of the landscaping at the base of the building.
2. Stormwater retention area must be buffered. The landscape plans show compliance with this standard.
3. A minimum of 10' wide landscape buffer along the North property line, to buffer incompatible uses and zoning districts. That landscape plans show a landscape buffer along the North property line at 10 feet with plantings.

Trash/Dumpster Screening: Applicant stated that the proposed commercial building will utilize the dumpster that currently serves the Windermere Market. The applicant has proposed plans to update and improve the existing dumpster area. The plans show a 6-foot fence that extends into the right-of-way with a two outward swinging gates. Because the proposed dumpster improvements encroach into the ROW of W 5th Avenue, these improvements must also be permitted separately as a ROW permit with the Town's Public Works. The applicant is required to provide documentation showing the agreement between the two properties that allows 111 W 5th Avenue to utilize the existing dumpster at 428 Main Street and obtain a separate ROW permit for improvements within the ROW of W 5th Avenue.

Septic: The septic system for the proposed commercial building will be permitted with the Orange County Health Department.

Potable Water: The commercial building will be served by Orange County Utilities with potable water.

Stormwater: The proposed building will be fully guttered and the water will be discharged to a dry stormwater detention area, as shown on plans. The project engineer certified that the project does not require permitting through the South Florida Water Management District due to its limited size.

Traffic: Based on the Institute of Traffic Engineers (ITE) Trip Generation Manual, using the trip generation rates for a "Drinking Place". The 10th Edition of the ITE Trip Generation Manual provides that a "Drinking Place" (Code 925) generates 11.36 trips per 1,000 gross floor area in the PM peak hour. For small operations, less than 50,000 gross square feet, the PM peak hour trips may be reduced by 60% to account for primary local traffic to the use. The proposed gross floor area of the proposed building is 3,847 square feet, per the submitted plans. This equates to a PM peak hour trip generation of 17 trips in the PM peak hour ($3.847 \times 11.36 = 43.7$; $43.7 - 60\% = 17.48$). This equates to an increase of 16 trips from the previous single-family home located on the property. The 10th Edition of the ITE Trip Generation Manual provides that a single-family home generates 0.99 trips per PM peak hour per unit, or 1 trip in the PM peak hour. The 16 trip PM peak hour is de minimis and is not projected to result in a significant impact to W 5th Avenue.

Parking: The Town Center Design Guidelines requires 4 parking spaces per 1,000 square feet. The proposed A/C area of the building is 2,519 square feet. This equates to 10 parking spaces. The applicant is providing one (1) handicap parking space on-site. The applicant has provided a justification letter stating that there is a surplus of parking spaces at the adjacent Windermere Market (428 Main St.) that the proposed business would be able to utilize. There are 45 parking spaces in the Windermere Market shopping complex. Based on the square footage of the building, the Windermere market is only required to have 36 parking spaces. This provides a surplus of 9 spaces. Additionally, the hours of operation will not significantly overlap with the businesses in the Windermere Market. There is also a public parking lot to the adjacent property to the west (119 W 5th Ave.). Based on the nine (9) surplus parking spaces available at the Windermere Market in addition to the one (1) on-site handicap parking space, the applicant believes the availability of these parking spaces will allow the applicant to provide adequate parking. Based on the Town's code, the proposed development would be required to provide one (1) bicycle parking. The Town's code allows for an applicant to provide required off-site parking on an adjacent property with DRB approval based on the following factors:

1. Proximity of the off-site spaces to the use that they will serve.
2. East of pedestrian access to the off-site parking spaces.
3. Whether or not off-site parking spaces are compatible with the use intended to be served.

4. The location of the off-site parking spaces will not create unreasonable:

- a. Hazards to pedestrians.
- b. Hazards of vehicular traffic.
- c. Traffic congestion.
- d. Interference with access to other parking spaces in the vicinity.
- e. Detriment to any nearby use.

5. The developer supplies a written agreement, approved in form by the town attorney, assuring the continued availability of the off-site parking facilities for the use they are intended to serve.

The Town's code for parking requires that on-site parking may not directly connect to the public right-of-way and must be accessed from an internal drive aisle. The proposed handicapped space connects directly to W 5th Avenue. The Town's code does allow for the DRB to permit exceptions to this requirement with a finding that the direct access to W 5th Avenue will not result in a traffic hazard.

Loading/Unloading: The applicant's plans do not show loading/unloading areas. The Town's code requires one on-site loading/unloading area at a dimension of 25 feet long by 10 feet wide. The loading/unloading can be provided on an off-site property, as with the required parking, subject to DRB approval. The applicant is proposing to provide for loading and unloading on the adjacent Windermere Market property, which requires a shared use agreement.

Architectural Style: As required by the condition of the rezoning, the building architectural character must be consistent with the architectural style provided within the Town Center Design Guidelines.

PUBLIC NOTICES:

Public notices were mailed to property owners within 500 feet of the subject property (33 notices sent). As of August 31, 2020, 89 responses were received. Of the 89 responses, 16 came from residences within 500 feet of the subject property: 8 in support and 8 in opposition. Of the total 89 responses received, 80 were in support and 9 were in opposition. The 89 responses came from 64 different households: 57 households in support and 7 households in opposition. An update to any responses received after August 31, 2020, will be provided at the at the Town Council meeting.

DEVELOPMENT REVIEW BOARD RECOMMENDATION:

On August 18, 2020, the Development Review Board (DRB) held a public hearing to consider the major development for the proposed commercial building at 111 W 5th Avenue. Based on testimony provided in the staff report and at the DRB public hearing, the DRB unanimously (4-0) recommended approval of the proposed major development as presented.

WFP - Commercial Building

Issued for: Town Of Windermere

Date: June 1st, 2020

Major Development Plan

111 W 5th Ave. Windermere FL 34786

Applicant:
Windermere Brewing Company LLC
Andrew McGhee
226 Butler Blvd Windermere FL 34786

Owner:
111 5th Ave LLC
Robert Williams, Lavina Williams
901 Rosser Road Windermere FL 34786

Parcel ID: 17-23-28-9336-02-891

Legal Description:
THE EAST 80 FEET OF LOT 289 AND THE EAST 80 FEET OF LOT 290, REPLAT OF WINDERMERE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK G, PAGES 36-39 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Sheet Index:

Pg 2 Site Plan
Pg 3 Site Details
Pg 4 Grading Plan
Pg 5 Erosion Control & Demo Plan
Pg 6 Architectural Cover Page - MBI
Pg 7 Floor Plan
Pg 8-9 Elevations
Pg 10 Wall Section
Pg 11-13 Renderings
Pg 14/15 Landscape Plan / Notes & Details
Pg 16/17 Irrigation Plan / Notes & Details
Pg 18 Current Boundary Survey
& Topography
Pg 19 Current Aerial Map & Zoning Map
Pg 20 Parking & Variance Request
Pg 21 Additional Parking & Dumpster
Layouts

Civil Engineer:
Timothy W. Schutz, P.E.
111 Suffolk Ct.
Longwood, FL 32779

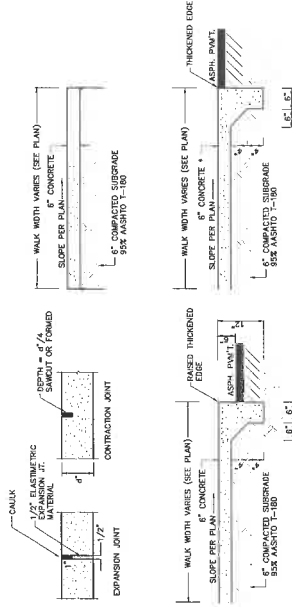
Construction Contractor:
Hembree Construction, Inc.
4397 36th St., S.W
Orlando, FL 32811
407-841-9460 Office

Architect:
Scott Malenock, AIA
MBI

architecture - interiors
100 Colonial Center Pkwy, Suite 230
Lake Mary, FL 32746
(407) 585.0330
www.mbiarchitects.com

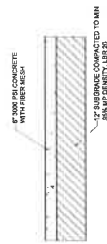


Landscape Architect:
Magley Designs
817 East Washington
street, Orlando, FL, 32803



NOTE:
 1. 6" THICK SIDEWALK WITH BROOM FINISH AS THICKLED EDGE.
 2. JOINTS AT A MAXIMUM SPACING OF 8 FEET AND A SAW CUT INTERVALS NOT TO EXCEED 8 LINKS FEET.

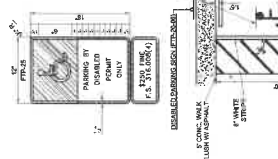
CONCRETE SIDEWALK



CONCRETE DRIVEWAY AND PARKING SECTION

NOTE:
 1. ALL LETTERS SHALL BE BLACK AND SHALL CONFORM TO THE STANDARD LETTERING SPECIFICATIONS.
 2. TOP SURFACE OF CURB SHALL BE FINISHED WITH BROOM FINISH.
 3. CURB SHALL BE FINISHED WITH BROOM FINISH.
 4. CURB SHALL BE FINISHED WITH BROOM FINISH.
 5. CURB SHALL BE FINISHED WITH BROOM FINISH.
 6. CURB SHALL BE FINISHED WITH BROOM FINISH.

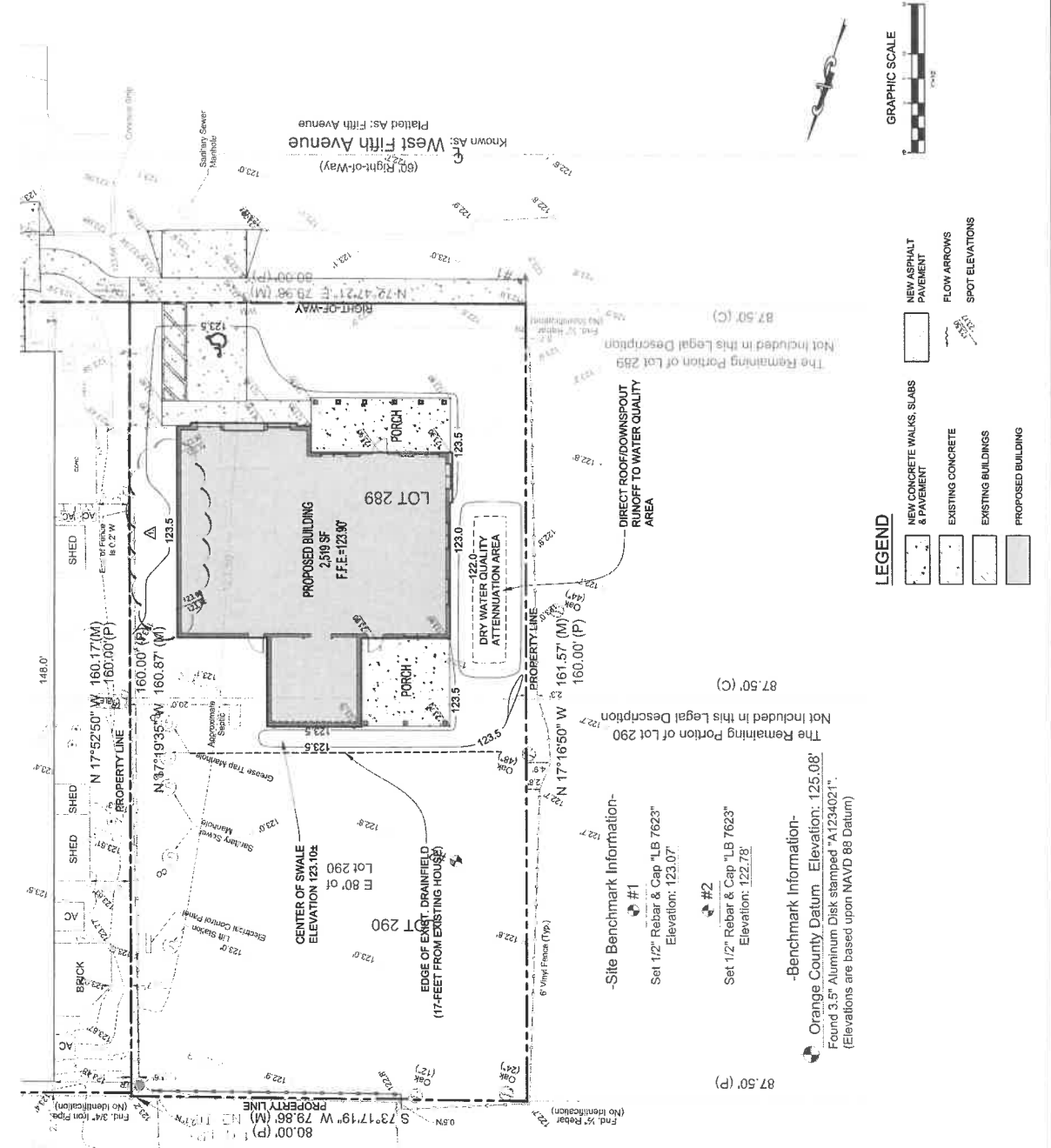
ACCESSIBILITY:
 1. ACCESSIBILITY AID FOR BLINDING SHALL BE PROVIDED FOR ALL CURBS.
 2. CURB SHALL BE FINISHED WITH BROOM FINISH.
 3. CURB SHALL BE FINISHED WITH BROOM FINISH.
 4. CURB SHALL BE FINISHED WITH BROOM FINISH.
 5. CURB SHALL BE FINISHED WITH BROOM FINISH.
 6. CURB SHALL BE FINISHED WITH BROOM FINISH.

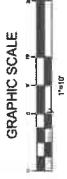


HANDICAPPED PARKING STALL

SCALE	AS SHOWN
DATE	09/25/2019
PROJECT #	190925-20
DESIGNED	TWS
CHECKED	SES
SEAL	

SCALE	AS SHOWN
DATE	07/13/2019
PROJECT #	190925-20
DESIGNED	TWS
CHECKED	SES
DRAWN	SWL





FREE TO BE REMOVED
(SEE LANDSCAPE PLAN
FOR DETAILS)

As Platted As: Fifth Avenue
West Fifth Avenue
(60' Right-of-Way)

LEGEND

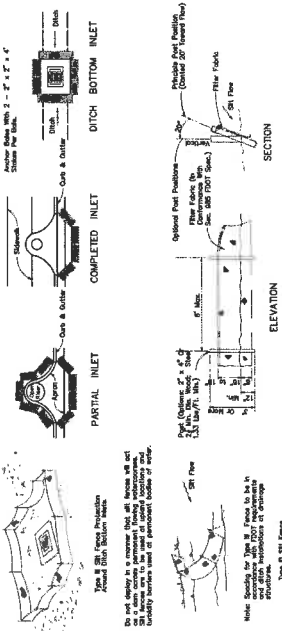
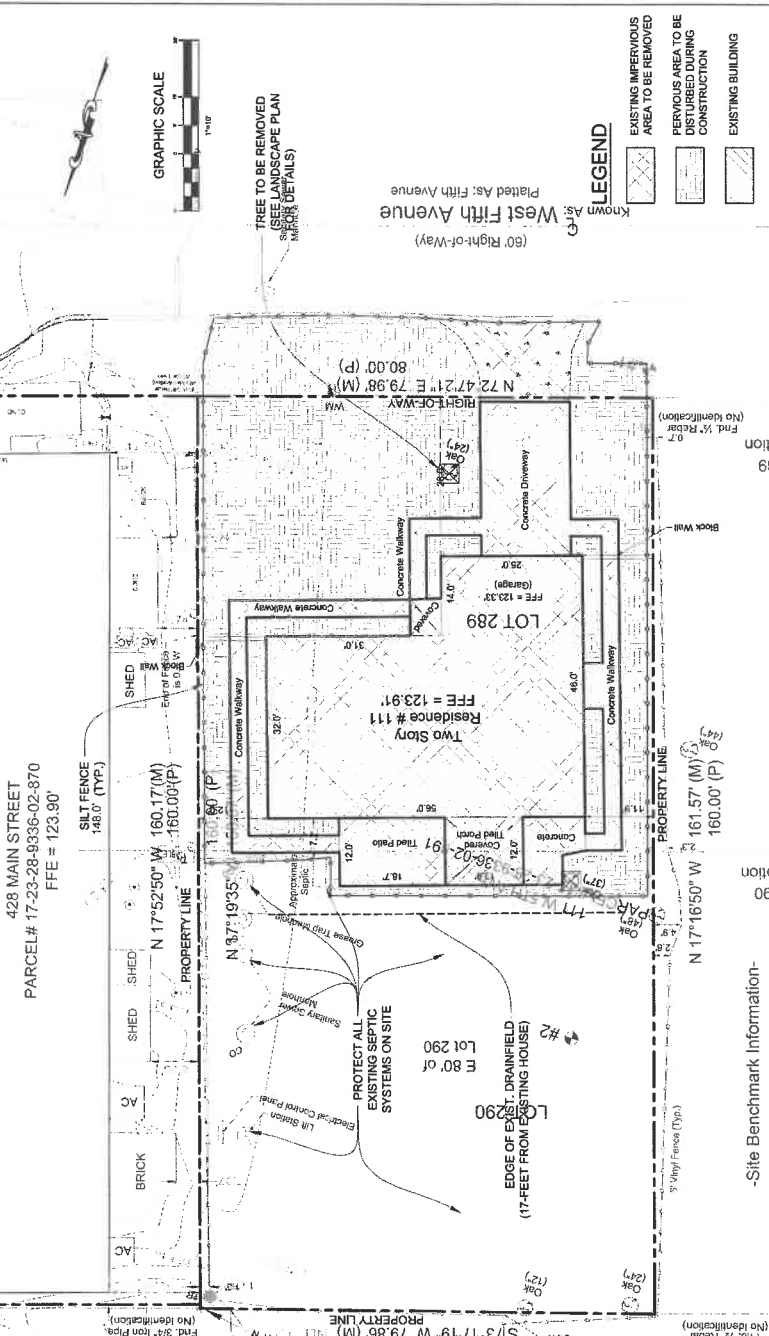
- EXISTING IMPERVIOUS AREAS TO BE REMOVED
- PERVIOUS AREA TO BE DISTURBED DURING CONSTRUCTION
- EXISTING BUILDING
- SILT FENCE
- TREE TO BE REMOVED

CIVIL CONSTRUCTION DOCUMENTS
SUBCONSULTANT

REVISIONS:

SCALE	AS SHOWN
DATE	09/25/2019
PROJECT #	190925-20
DESIGNED	TWS
CHECKED	SES
DRAWN	SWL

C-200
SHEET



EROSION CONTROL MEASURES:

- REGULATIONS GOVERNING POLLUTION OF THE ENVIRONMENT AND LOCAL ORDINANCES, ORDINANCES & REGULATIONS GOVERNING POLLUTION OF THE ENVIRONMENT AND LOCAL ORDINANCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO OR EXCEED THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS, ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS. INSTALLATION OF SILT FENCES IS A NECESSARY PART OF THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- EROSION & SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. EROSION & SEDIMENT CONTROL MEASURES ARE TO BE APPLIED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE OR INTO ADJACENT WATER BODIES OR WETLANDS.
- THE CONTRACTOR SHALL PREPARE & IMPLEMENT AN EROSION CONTROL PLAN AS PART OF THE SCOPE OF WORK COVERED BY THESE PLANS. THE CONTRACTOR SHALL USE THE BEST MANAGEMENT PRACTICES (BMP) AND EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION & SEDIMENTATION FROM THE WORK AREAS. THE FOLLOWING ARE MINIMUM EROSION & SEDIMENTATION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD OF THE EROSION & SEDIMENTATION CONTROL PLAN:
 - STOCKPILING OF MATERIAL
 - NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF OF MATERIAL FROM THE CONSTRUCTION SITE INTO ANY ADJACENT WATER BODY OR UNDERWATER COLLECTION FACILITY.
 - EXPOSED AREA LIMITATION & PROTECTION
 - THE SURFACE AREA OF OPEN, BARE ERODIBLE SOIL EXPOSED BY CLEARING & GRUBBING OPERATIONS SHALL BE LIMITED TO THE MINIMUM AREA NECESSARY TO PERFORM THE WORK. MINIMIZE THE POTENTIAL OF OFF-SITE SEDIMENT TRANSPORT. ALL EXPOSED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES SUCH AS SLOTTED CURBS, SYNTHETIC SLOTTED CURBS, TURBOBARRIERS, SWALES, OR A COMBINATION OF THESE & OTHER MEASURES AS WARRANTED.
 - INLET PROTECTION
 - CONSTRUCTION AREAS SHALL BE PROTECTED FROM CONSTRUCTION FROM EROSION CONTROL MEASURES BY PROVIDING A COMBINATION OF SLOTTED CURBS, SYNTHETIC SLOTTED CURBS, TURBOBARRIERS, SWALES, OR OTHER MEASURES AS NECESSARY TO CONTROL THE EROSION & SEDIMENTATION.
 - TRUCKWASH FACILITIES
 - AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR REVEGETATED SHALL BE PROTECTED FROM EROSION BY PROVIDING A COMBINATION OF SLOTTED CURBS, SYNTHETIC SLOTTED CURBS, TURBOBARRIERS, SWALES, OR OTHER MEASURES AS NECESSARY TO CONTROL THE EROSION & SEDIMENTATION. TEMPORARY SEEDING SHALL BE CONTROLLED AS TO NOT ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 1/2 INCHES OF LOOSE MULCH OF FERTILIZER OR OTHER MATERIALS. MULCHING SHALL BE PERFORMED AS NECESSARY TO MAINTAIN THE DESIRED VEGETATION COVER.
 - EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION & SEDIMENT CONTROL MEASURES DURING CONSTRUCTION TO ENSURE THEY ARE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - AREAS OF SOIL DISTURBANCE IS AT A MINIMUM THE AREA AS SHOWN ON THIS PLAN.
 - SEEDS SHALL NOT BE UTILIZED UNLESS SPECIFIED NECESSARY BY THE CONTRACTOR.
 - FERTILIZERS AND PESTICIDES SHALL BE USED IN ACCORDANCE WITH ALL LABEL DIRECTIONS AND APPLICATION RATES. THEY SHALL BE STORED UNDER COVER AND PROTECTED FROM HEAVY METAL APPLICATION RATES. THEY SHALL BE STORED UNDER COVER AND PROTECTED FROM HEAVY METAL APPLICATION RATES.
 - ONLY SYNTHETIC BALES ARE TO BE USED. NO HAY OR STRAW IS ALLOWED.
 - WHEN ANY PORTS OF EXISTING TREES ARE ENCOUNTERED DURING LAND CLEARING AND/OR CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN THE EXISTING TREE ROOT SYSTEMS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TREE ROOT SYSTEMS.
 - LAND PREPARATION PROCESSES SHALL CONFORM TO CHAPTER 6, STORMWATER AND EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES FOR DEVELOPING AREAS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) BEST MANAGEMENT PRACTICES BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF EXISTING UTILITIES & OTHER FEATURES ARE SHOWN ON THE PLANS ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, & THE DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, & THE DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, & THE DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, & THE DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES.
- THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION AND PREPARATION OF SHIP DRAWINGS.
- THE CONTRACTOR SHALL PRIOR TO REMOVAL OF ANY SITE CLEANING OR OTHER CONSTRUCTION ACTIVITIES, INSTALL AND MAINTAIN SILT FENCES TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES. THE CONTRACTOR SHALL MAINTAIN OTHER STRUCTURAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES. THE CONTRACTOR SHALL MAINTAIN OTHER STRUCTURAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES.
- ALL TRASH, DEBRIS, & OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE & FEDERAL REGULATIONS.
- ANY EXCAVATED TRENCHES ARE TO BE BACKFILLED WITH CLEAN SAND COMPACTED TO AT LEAST 90% OF THE MOISTURE CONTENT NEAR OPTIMUM MOISTURE (MOC) TO EXCEEDING 12" IN LOOSE TRENCHES. REFER TO THE CONTRACTOR'S BEST MANAGEMENT PRACTICES FOR SPECIFIC COMPACTATION REQUIREMENTS UNDER BUILDING & OTHER STRUCTURES.
- THE CONTRACTOR SHALL CALL 1-800-424-0773 FOR SUBMUNE LOCATES BEFORE EXCAVATION. F.S. 65A.01 THROUGH 65A.11.

EROSION CONTROL MEASURES FOR NON-STORMWATER DISCHARGES:

WASTE MATERIAL SHALL BE COLLECTED AND STORED IN A SECURELY CLOSED METAL DRUMMER WHICH SHALL BE MAINTAINED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY IN DUNEDIN COUNTY. THE WASTE SHALL BE MAINTAINED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY IN DUNEDIN COUNTY. THE WASTE SHALL BE MAINTAINED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY IN DUNEDIN COUNTY. THE WASTE SHALL BE MAINTAINED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY IN DUNEDIN COUNTY.

OFF-SITE VEHICLE TRACKING:
A SPECIAL CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE VEHICLE TRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE VEHICLE TRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE VEHICLE TRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE VEHICLE TRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE VEHICLE TRACKING.

MBI COMPANIES INC.
 100 CALIFORNIA CENTER
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 100 CALIFORNIA CENTER
 LAWREY BLDG. #200
 100 CALIFORNIA CENTER
 LAWREY BLDG. #200
 100 CALIFORNIA CENTER
 LAWREY BLDG. #200

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 PRINTING

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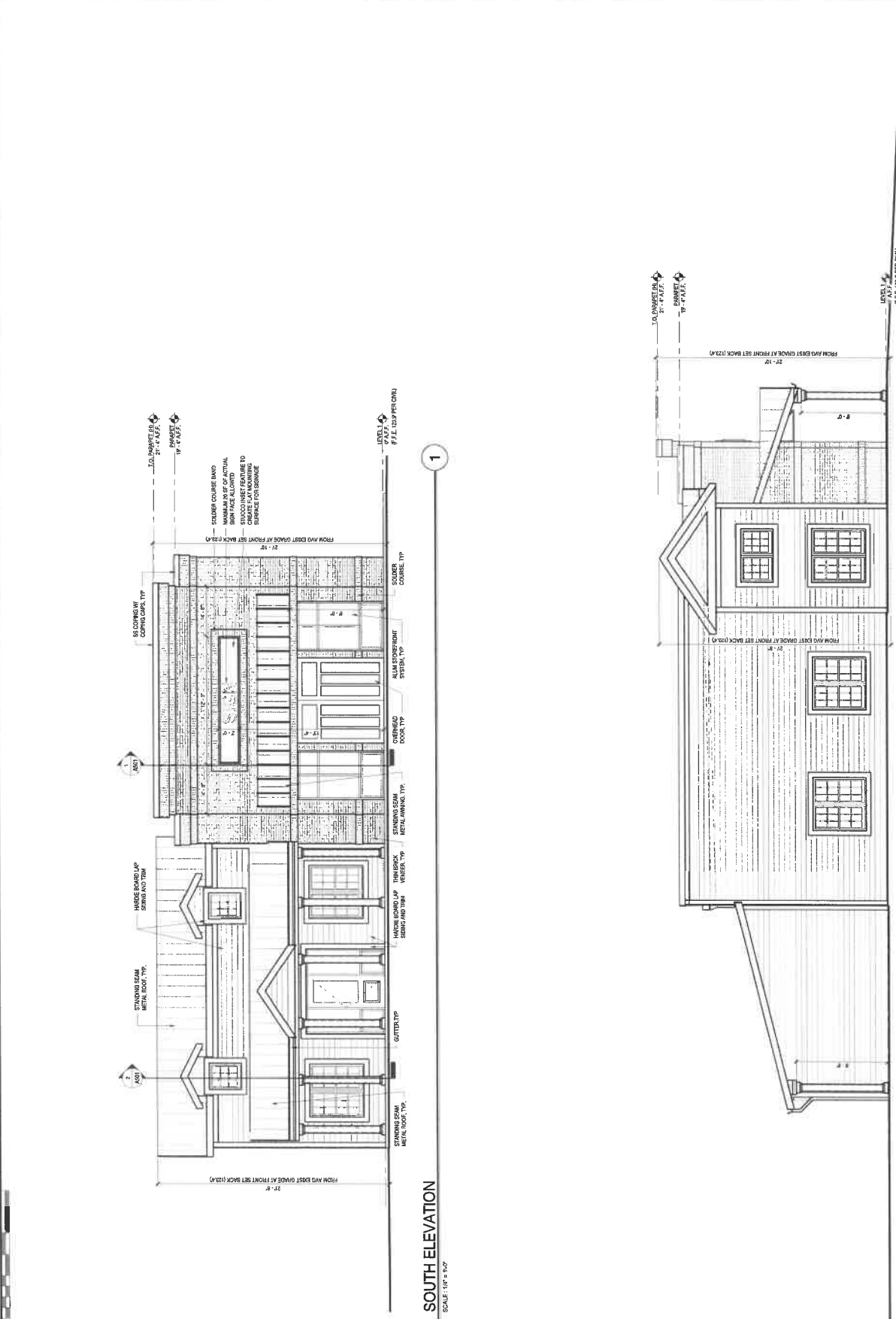
WFP COMMERCIAL
 PROJECT ADDRESS:

111 N. 9TH AVE.
 MINNEAPOLIS, MN 55402
 PROJECT NO.:
 DATE:

DESIGN DEVELOPMENT
 PERMITTING
 CONTRACT DOCUMENTS
 RECORD SET

SHEET NO.:
 SHEET TITLE:

EXTERIOR ELEVATIONS
A401



1

SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

2

WEST ELEVATION
 SCALE: 1/8" = 1'-0"

FOR REVIEW ONLY
CONSTRUCTION OR

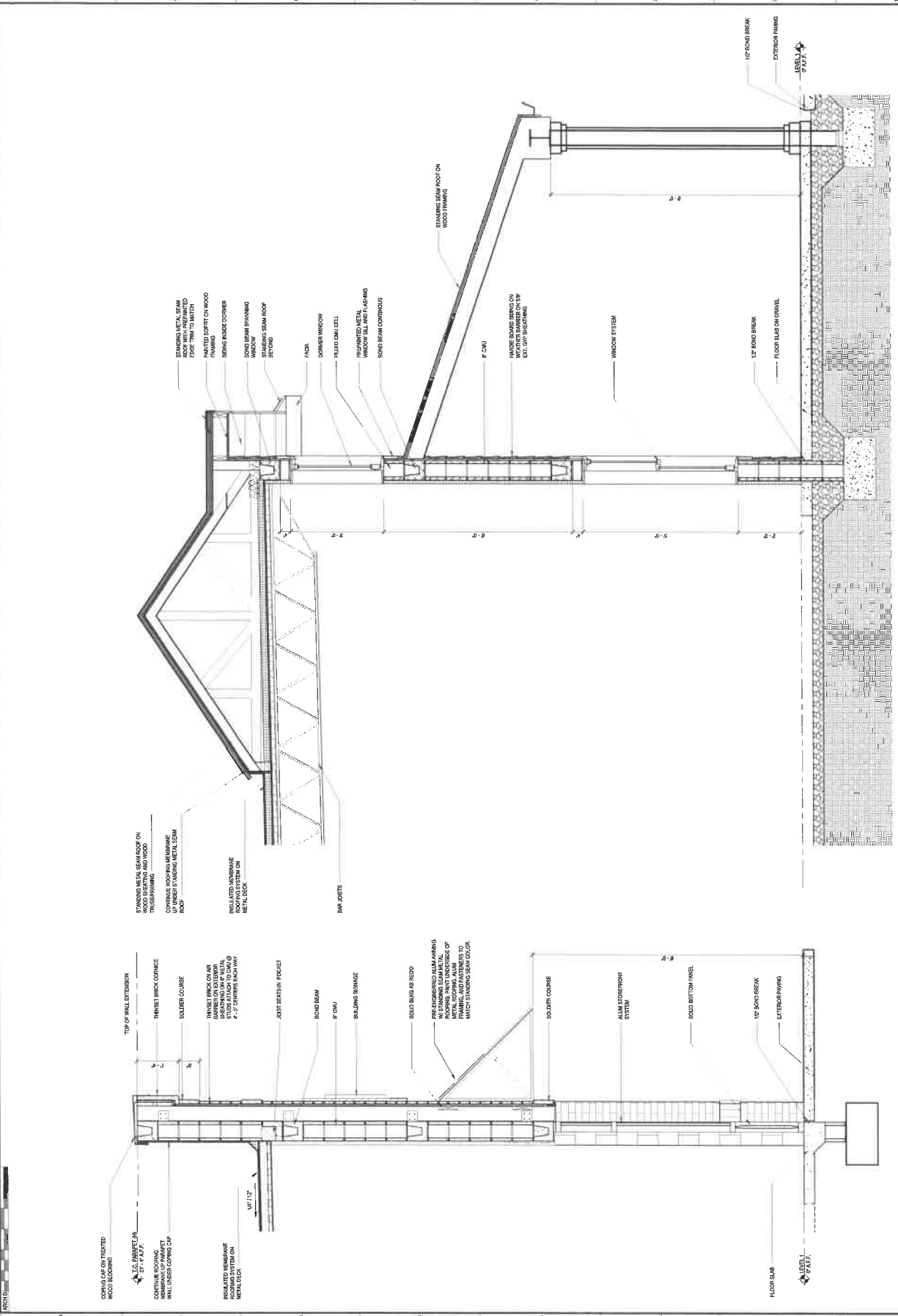
CONTRACTOR'S USE ONLY
 THE DESIGN PROFESSIONAL HAS REVIEWED AND APPROVED THE CONSTRUCTION DOCUMENTS FOR THE PROJECT DESCRIBED HEREIN. THIS REVIEW IS LIMITED TO THE DESIGN AND CONSTRUCTION DOCUMENTS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT.

WFP COMMERCIAL
 PROJECT ADDRESS:

PROJECT NO.:
 ARCHITECT: WFP COMMERCIAL
 DATE: 01/15/2020
 FOR REVIEW ONLY
 FOR ARCHITECT'S RECORD
 DESIGN DEVELOPMENT
 CONTRACT DOCUMENTS
 ALL FEES PAID
 DESCRIPTION:

MARKED REVISIONS
 DATE: 01/15/2020
 DRAWN BY: ABBY
 REVIEWED BY: CHANE
 SHEET TITLE:

WALL SECTIONS
A501
 SHEET NO.:



2

WALL SECTION
 SCALE: 3/8" = 1'-0"

1

WALL SECTION
 SCALE: 3/8" = 1'-0"



MBI COMPANIES, INC.
 100 COLONIAL AVENUE
 SUITE 200
 LAWRENCEVILLE, GA 30046
 (770) 962-8800
 (770) 962-8801
 WWW.MBI-CORP.COM
 MBI PROJECTS, INC.
 100 COLONIAL AVENUE
 SUITE 200
 LAWRENCEVILLE, GA 30046
 (770) 962-8800

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 CONSTRUCTION OR
 PRINTING**

CONTRACT NO. 15-000000-0000
 SHEET NO. 15-000000-0000
 PROJECT NO. 15-000000-0000
 DATE: 11/15/2015
 TIME: 10:00 AM
 PROJECT: 15-000000-0000

WFP COMMERCIAL
 PROJECT ADDRESS:

PROJECT CLASS: COMMERCIAL
 PROJECT TYPE: COMMERCIAL
 PROJECT STATUS: FOR REVIEW ONLY
 PROJECT PHASE: DESIGN DEVELOPMENT
 PROJECT LOCATION: CONSTRUCTION DOCUMENTS
 PROJECT DESCRIPTION: AS-BUILT RECORD SET
 PROJECT INFORMATION: DISBURSEMENTS

PROJECT NO.:
 SHEET NO.:
 DATE:
 DRAWN BY:
 CHECKED BY:
 REVISIONS:
 SHEET TITLE:

PERSPECTIVE
 SHEET NO.: A901



MBI

MBI COMPANIES INC.
100 COLONIAL BLVD.
LAKE HAVEN, FL 33404
TEL: 888-842-6262
FAX: 888-238-2028
WWW.MBI-CORP.COM
100 COLONIAL BLVD., SUITE 100
LAKE HAVEN, FL 33404
TEL: 888-842-6262

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PROJECT INFORMATION
PROJECT:

WFP COMMERCIAL

PROJECT NUMBER:

PROJECT NO.:
PROJECT NAME:
PROJECT ADDRESS:
PROJECT CITY:
PROJECT STATE:
PROJECT ZIP:
PROJECT PHONE:
PROJECT FAX:
PROJECT EMAIL:

DESIGN INFORMATION
DESIGNER:
DATE:
SCALE:

REVISIONS
NO. DATE DESCRIPTION

APPROVED BY:
DATE:
SCALE:

PROJECT NO.:
SHEET NO.:
SHEET TITLE:

PERSPECTIVE
A902



MBI

MBI

MBI COMPANIES INC.
116 COLEMAN AVENUE
SUITE 100
MARIETTA, GA 30066
(770) 576-5500
www.mbi.com

PROJECT NO. _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

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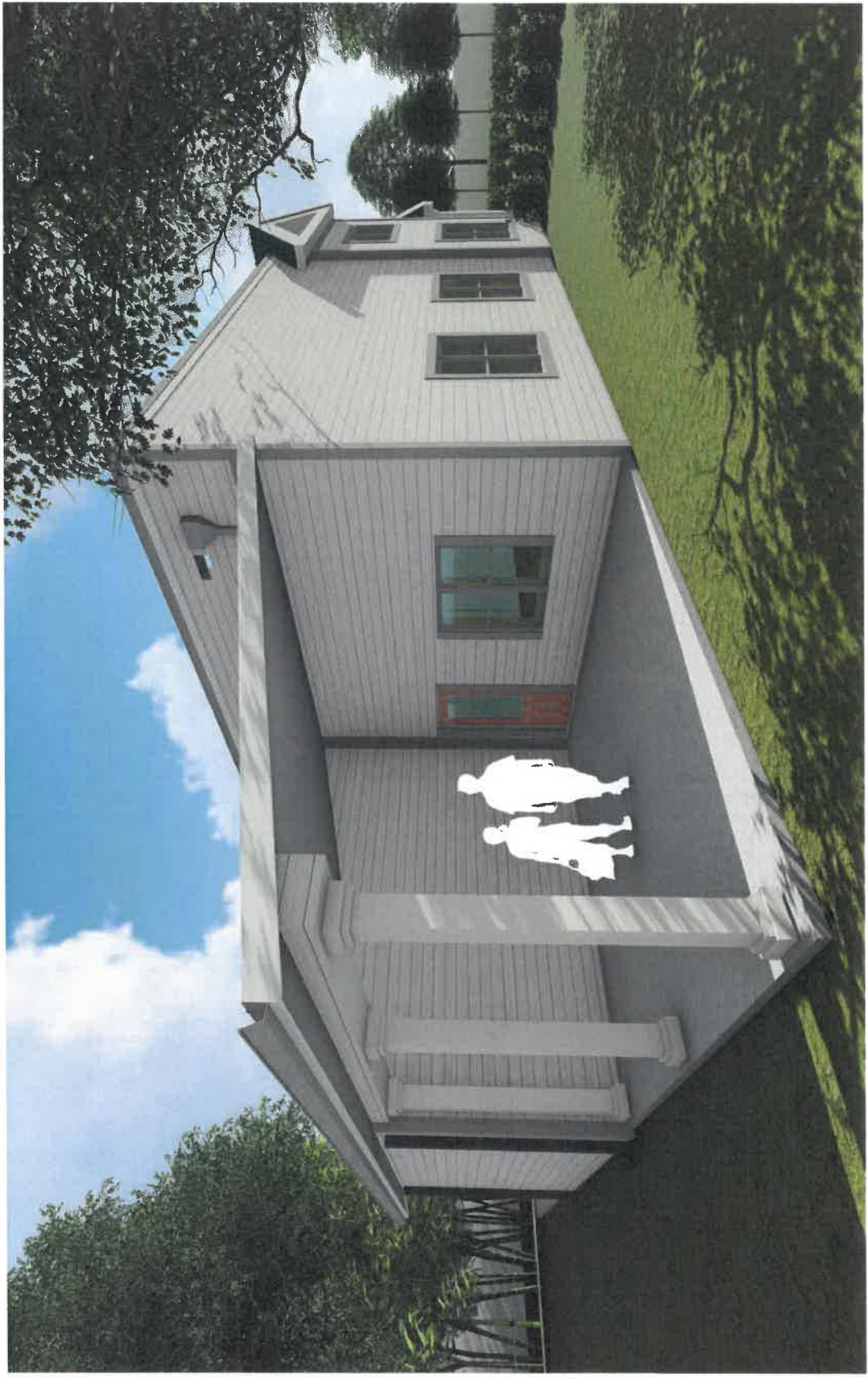
WFF COMMERCIAL
PROJECT NUMBER: _____

111 W. 5TH AVE.
MARIETTA, GA 30066
PROJECT NO. _____
DATE: _____

REVISIONS
NO. DESCRIPTION
DATE

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SHEET NO. _____
PERSPECTIVE
A903



ARCHD

BY: 8/26/2012 11:58:12 AM

Seal

WFP RETAIL BUILDING

Windermere, Florida

Revision No: _____ Date: _____
 1. _____ July 20, 2020

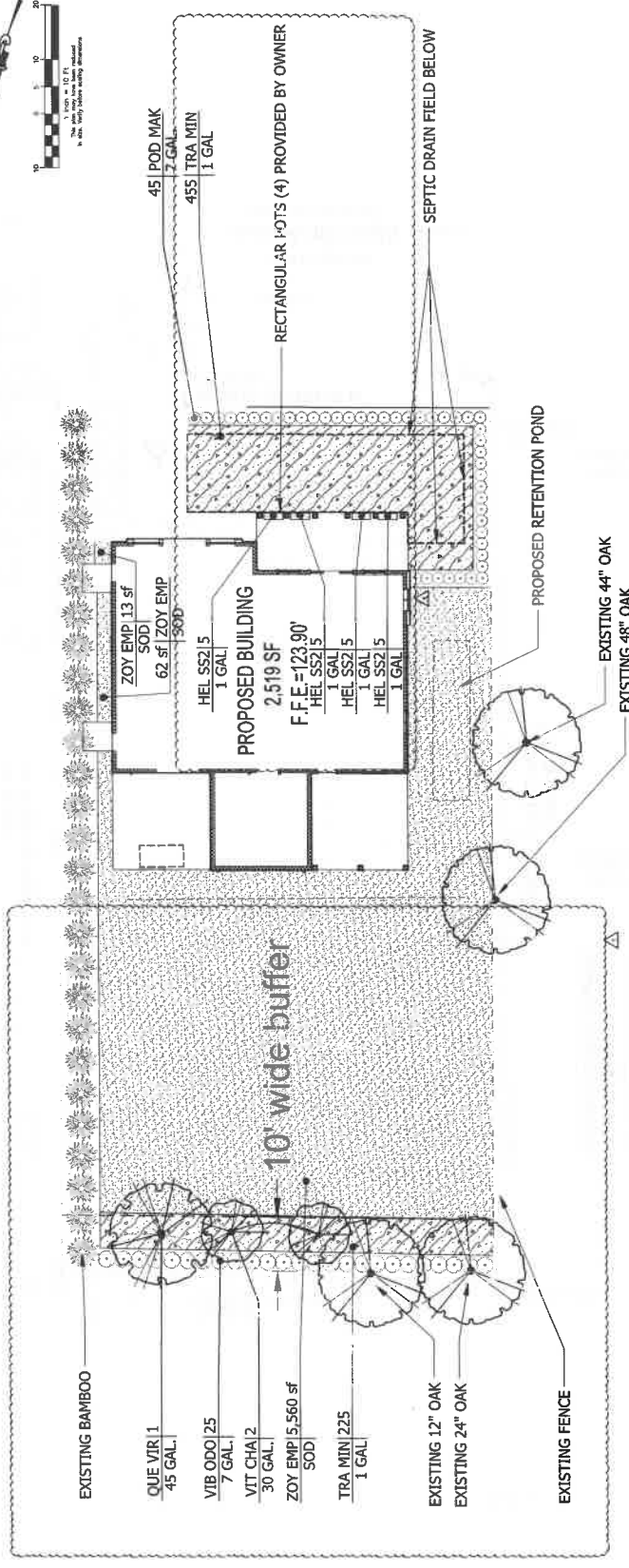
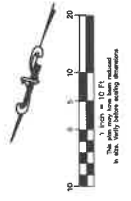
Drawn: M.H. 2020
 Scale: AS SHOWN
 Project Number: 2015

Sheet Title: _____

LANDSCAPE PLAN

Sheet Number

L1

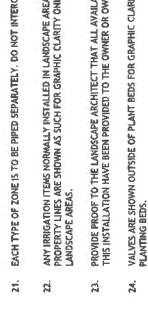
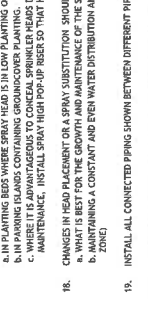
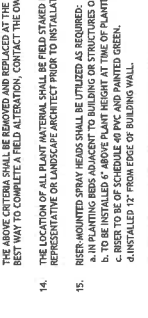
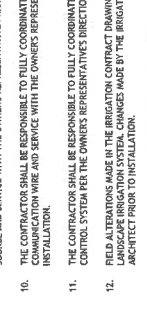
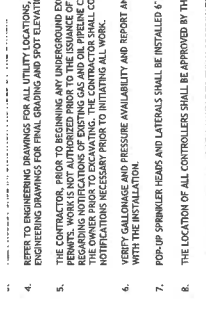
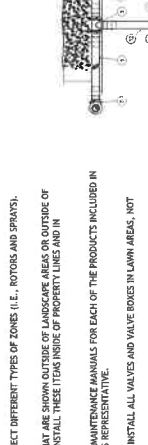
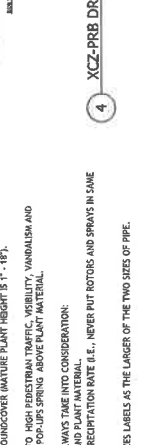
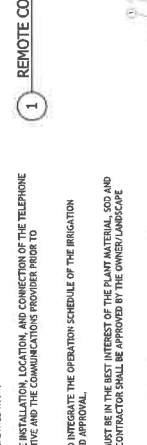
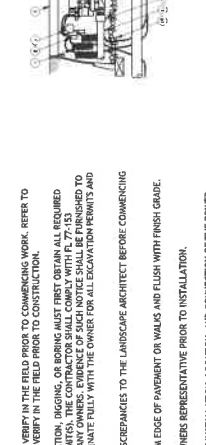
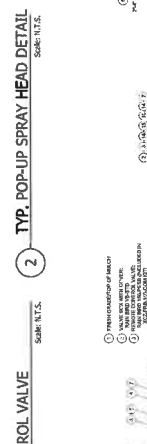
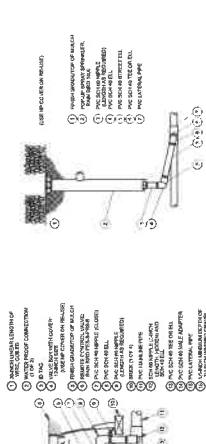
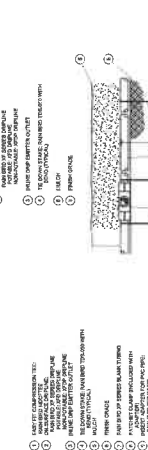
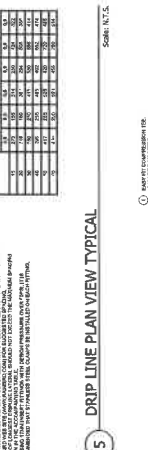
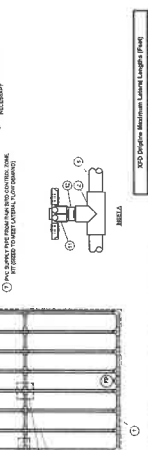


PLANT SCHEDULE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL./CM	SPECIFICATION	WATER USAGE	NATIVE	REMARKS
TREES	QUE VIR 1	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15 GAL.	1.5" DIA.	12" MIN. X 5" SPR MIN.	LOW-MEDIUM	YES	SINGLE STRAIGHT TRUNK FULL
TREES	VIT OAK 2	2	VITIS AEMUL-CRISTUS 'SPICAL CREEK'	CHATELAIN	30 GAL.	6" H X 3" S		LOW	YES	
SPRINGS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	REMARKS
	POD MAK 45	45	PODOCARPUS MCDONNELLII 'MAY'	SHERBEE YEW	7 GAL.	36" HGT. X 18" W		LOW-MEDIUM	NO	FULL
	VIB ODO 25	25	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	7 GAL.	36" HGT. X 18" W		LOW	NO	FULL
EXISTING PLANT MATERIAL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	REMARKS
	BAM PAL 27	27	BAMBUSA NULTIFLORA 'MORNING STAR' (EXISTING)	COMMON NAME	1 GAL.	12" H X 1.25"		MEDIUM	NO	FULL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	REMARKS
	HEL SSO 20	20	HELIANTHUS DEBILIS	PROSTRATE CLOVERLEAF SUNFLOWER	1 GAL.	12" H X 1.25"		LOW-MED	YES	SPACING
	TRA MIN 669	669	TRACHELOPOGON ASYRATICUM 'NIGRA'	DWARF ASIAN JASMINE	1 GAL.	12" H X 1.25"		LOW-MED	NO	SPACING
	ZOY EMP 5,560 SF	5,560 SF	ZOYSIA JAPONICA 'EMPER'	KOREAN GRASS	(20)			LOW	NO	CLEAN AND WEED FREE

Copyright 2020, Manley Design. All items not shown are indicated as recommended by the County within the project of land use. The information of service of Manley Design and was developed for use with the specific project. These items, designs, and plans are not to be used, reproduced, altered or presented in any manner without the express written consent of Manley Design. Manley Design shall not be held responsible for any omissions or errors. Contractors shall verify and be responsible for all dimensions and conditions on the job. Manley Design may be notified immediately of any violation from the dimensions and conditions shown by drawings. Shop details must be submitted to this office for approval prior to fabrication unless otherwise provided for under the specific contractual agreement between the Landscape Architect and the Client.



4. REFER TO ENGINEERING DRAWINGS FOR ALL UTILITY LOCATIONS. ALWAYS VERIFY IN THE FIELD PRIOR TO CONSTRUCTION WORK. REFER TO THE CONTRACTOR DRAWINGS FOR TRAIL, GROUNDING AND SPOT LOCATIONS. VERIFY IN THE FIELD PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY UNDERGROUND OR OVERGROUND WORK. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS REGARDING NOTIFICATIONS OF EXISTING GAS AND OIL PIPELINE COMPANY OWNERS. EVIDENCE OF SUCH NOTIFICATION SHALL BE FURNISHED TO THE OWNER PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL COORDINATE FULLY WITH THE OWNER FOR ALL EXCAVATION PERMITS AND NOTIFICATIONS NECESSARY PRIOR TO INITIATING ALL WORK.
6. VERIFY GROUNDWATER AND PRESSURE AVAILABILITY AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WITH THE INSTALLATION.
7. POP-UP SPRINKLER HEADS AND LATERALS SHALL BE INSTALLED 6" FROM EDGE OF PAVEMENT OR WALKS AND FLUSH WITH FINISH GRADE.
8. THE LOCATION OF ALL CONTROLLERS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE POWER SOURCE AND SERVICE WITH THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE COMMUNICATION WIRE AND SERVICE WITH THE OWNERS REPRESENTATIVE AND THE COMMUNICATIONS PROVIDER PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE AND INTEGRATE THE OPERATION SCHEDULE OF THE IRRIGATION CONTROL SYSTEM PER THE OWNERS REPRESENTATIVE'S DIRECTION AND APPROVAL.
12. FIELD ALTERATIONS MADE IN THE IRRIGATION CONTRACT DRAWINGS MUST BE IN THE BEST INTEREST OF THE PLANT MATERIAL, SOIL AND DRAINAGE. ANY ALTERATIONS MADE TO THE IRRIGATION CONTRACT SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. NO MATERIAL SUBSTITUTIONS ARE ALLOWED. ANY ALTERATION DEEMED BY THE OWNERS REPRESENTATIVE NOT IN CONFORMANCE WITH THE IRRIGATION CONTRACT SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE BEST WAY TO COMPLETE A FIELD ALTERATION, CONTACT THE OWNERS REPRESENTATIVE FOR APPROVAL.
14. THE LOCATION OF ALL PLANT MATERIAL SHALL BE FIELD STAGED BY THE LANDSCAPE CONTRACTOR FOR APPROVAL BY THE OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
15. RISER-MOUNTED SPRAY HEADS SHALL BE UTILIZED AS REQUIRED:
 - a. IN PLANTING BEDS ADJACENT TO BUILDING OR STRUCTURES ONLY.
 - b. TO BE INSTALLED 6" ABOVE PLANT HEIGHT AT TIME OF PLANTING.
 - c. TO BE INSTALLED 12" ABOVE PLANT HEIGHT AT TIME OF PLANTING.
 - d. INSTALLED 12" FROM EDGE OF BUILDING WALL.
17. HIGH POP-UP SPRAYS SHALL BE UTILIZED AS REQUIRED:
 - a. IN PLANTING BEDS ADJACENT TO BUILDING OR STRUCTURES ONLY.
 - b. IN PLANTING BEDS ADJACENT TO BUILDING OR STRUCTURES ONLY.
 - c. WHERE IT IS ADVANTAGEOUS TO CONICAL SPRINKLER HEADS DUE TO HIGH PEDESTRIAN TRAFFIC, VISIBILITY, VANDALISM AND MAINTENANCE. INSTALL SPRAY HIGH POP-UP RISER SO THAT HIGH POP-UPS SPRING ABOVE PLANT MATERIAL.
18. CHANGES IN HEAD PLACEMENT OR A SPRAY SUBSTITUTION SHOULD ALWAYS TAKE INTO CONSIDERATION:
 - a. WHAT IS BEST FOR THE GROWTH AND MAINTENANCE OF THE SOIL AND PLANT MATERIAL.
 - b. MAINTAINING A CONSTANT AND EVEN WATER DISTRIBUTION AND PRECIPITATION RATE (I.E., NEVER PUT ROTORS AND SPRAYS IN SAME ZONE).
19. INSTALL ALL CONNECTED PIPING BETWEEN DIFFERENT PIPE SIZES LABELS AS THE LARGER OF THE TWO SIZES OF PIPE.
20. INSTALL ALL PIPING TO INDIVIDUAL SPRAY HEADS AND BUBBLERS AS 3/4"
21. EACH TYPE OF ZONE IS TO BE PIPED SEPARATELY. DO NOT INTERCONNECT DIFFERENT TYPES OF ZONES (I.E., ROTORS AND SPRAYS).
22. ANY IRRIGATION ITEMS NORMALLY INSTALLED IN LANDSCAPE AREAS THAT ARE SHOWN OUTSIDE OF LANDSCAPE AREAS OR OUTSIDE OF PROPERTY LINES ARE SHOWN AS SUCH FOR GRAPHIC CLARITY ONLY. INSTALL THESE ITEMS INSIDE OF PROPERTY LINES AND IN LANDSCAPE AREAS.
23. PROVIDE RISER TO THE LANDSCAPE ARCHITECT THAT ALL AVAILABLE MAINTENANCE MANUALS FOR EACH OF THE PRODUCTS INCLUDED IN THIS INSTALLATION HAVE BEEN PROVIDED TO THE OWNER OR OWNERS REPRESENTATIVE.
24. VALVES ARE SHOWN OUTSIDE OF PLANT BEDS FOR GRAPHIC CLARITY. INSTALL ALL VALVES AND VALVE BOXES IN LAWN AREAS, NOT PLANTING BEDS.
25. THE CONTRACTORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CODES, INCLUDING THOSE REGARDING SEPARATION DISTANCE MINIMUMS FOR POTABLE WATER VERSUS EFFLUENT WATER AND SHALL INSTALL THE SYSTEM IN ACCORDANCE WITH THOSE CODES.
26. INSTALL 1/2" POP-UP SPRAY HEADS AT FINISHED GRADE IN ALL GROUNDCOVER AREAS.
27. INSTALL ALL SPRAYHEADS IN SHRUB BEDS OR RISERS ALONG BUILDING SIDEWALKS.
28. SPACE ALL SPRAY HEADS AT A MAXIMUM OF 55% OF THEIR EFFECTIVE COVERAGE DIAMETER OR CLOSER WHERE SHOWN AS SUCH ON THE PLANS.
29. ALL BARRA SOIL WILL NOT BE IRRIGATED. UNLESS SHOWN OTHERWISE, CONTRACTOR WILL BE RESPONSIBLE FOR HAND WATERING UNTIL IT IS WELL ENOUGH ESTABLISHED TO SURVIVE THROUGH THE WARRANTY PERIOD.
31. CONTRACTOR SHALL VERIFY THE AVAILABLE PRESSURE AND FLOW REQUIREMENTS MEET THE PRESSURE AND FLOW PROVIDED IN THE ORIGINAL IRRIGATION DETAILS PRIOR TO IRRIGATION SYSTEM INSTALLATION.



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1.0000 2020 09 04 04 PM

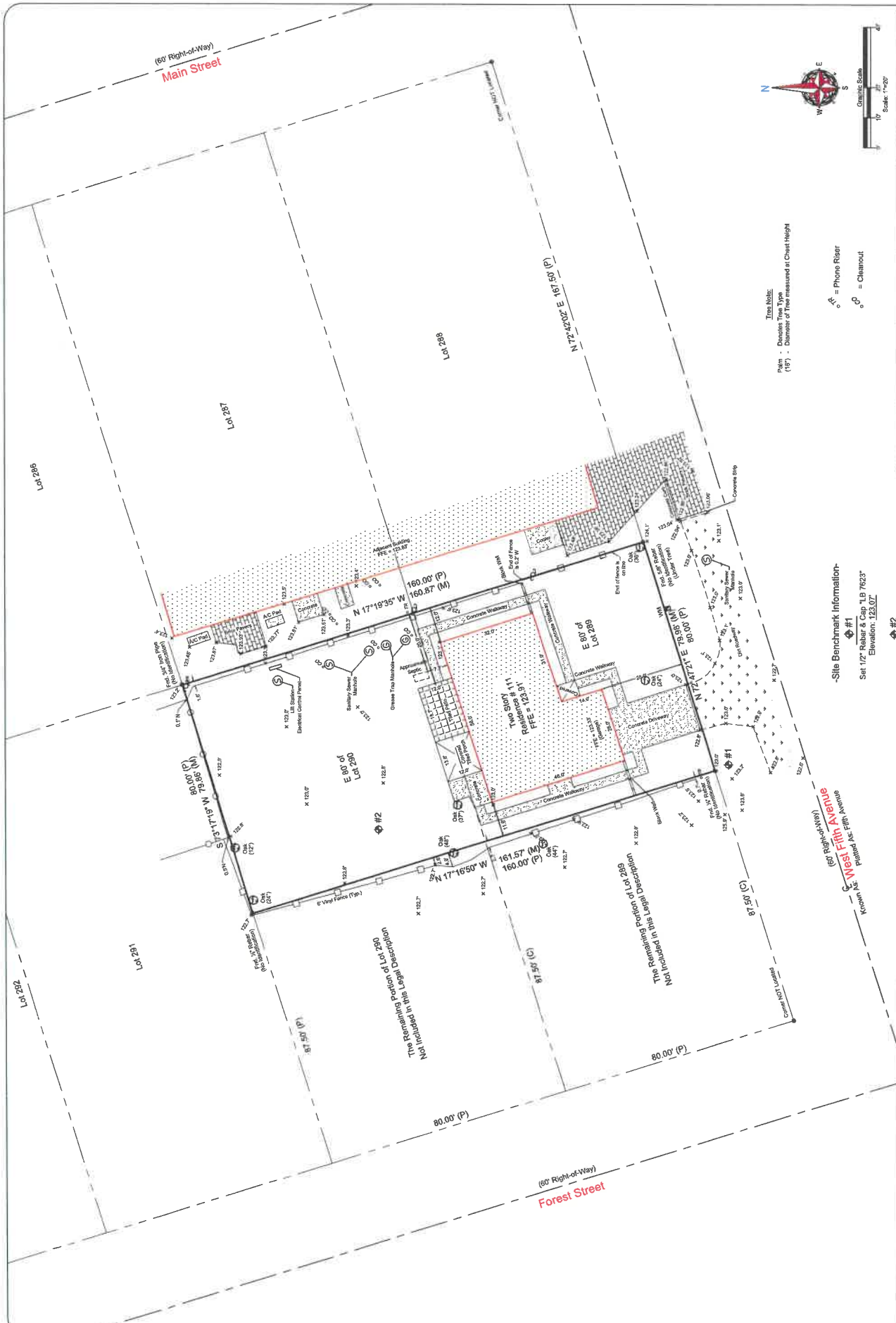
1.0000 2020 09 04 04 PM

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Boundary Survey
Legal Description:
 THE EAST 80 FEET OF LOT 289 AND THE EAST 80 FEET OF LOT 290, REPLAY OF WINDERMERE, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CERTIFIED TO:
 ANDY WILLIAMS
 of Windermere, community number 12381, dated 09/25/2006.

Bound Description:
 By performing a search with the local governing municipality or www.firma.gov, the property appears to be located in zone X. This property was found in Town of Windermere, community number 12381, dated 09/25/2006.

Client	Date Completed	File Number
Owner: GLO	5-05-19	15-00851

Site Benchmark Information:
 #1
 Sat 1/2" Robar & Cap "LB 7823"
 Elevation: 123.07'

#2
 Sat 1/2" Robar & Cap "LB 7823"
 Elevation: 122.78'

Benchmark Information:
 #1
 Found 3.5" Aluminum Disk stamped "A1234021"
 (Elevations are based upon NAVD 80 Datum)

Notes:
 This survey is based upon the legal description supplied by client. The client warrants that the legal description is correct and that the property is located within the boundaries of the public records of Orange County, Florida. The survey is intended to show the boundaries of the property and is not intended to show the location of any structures or other improvements on the property. The survey is not intended to show the location of any easements or other rights in the property. The survey is not intended to show the location of any utility lines or other underground facilities. The survey is not intended to show the location of any other features or structures on the property. The survey is not intended to show the location of any other features or structures on the property.

Legend:
 (P) - Diameter of pipe measured at Chest Height
 (R) - Phone Riser
 (C) - Clearout

Scale: 1" = 20'

North Arrow: N

Graphic Scale: 0 10 20

Surveyor:
 Ireland & Associates Surveying, Inc.
 8000 Lake Nona Blvd
 Lake Nona, Florida 32749
 www.irelandandassociates.com
 Phone: 407.878.3368 Fax: 407.260.8105

RECOMMEND - Major Development (111 W 5th Ave.)

APPROVAL: ✓ DISAPPROVAL _____

Received

COMMENTS: _____

Wade Trim

Wade Trim

SIGNATURE: [Signature]
ROSS SCOTT M

DATE: 8/1/20

RECOMMEND - Major Development (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL X

COMMENTS: Absolutely no - we do not need - Especially a
top room - I live across the street - hope I do not have
to state "no" again. Thank you

SIGNATURE: [Signature]
JONES FRANCES K LIFE ESTATE

DATE: July 31, 2020

Received
Wade Trim

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

BLACK AMANDA L
414 FOREST ST
WINDERMERE, FL 34786

RE: Public Notice of Major Development – 111 W 5th Avenue – Proposed New Commercial Building

111 W 5th Ave LLC, owner of 111 W 5th Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: DISAPPROVAL:

COMMENTS: Approved

SIGNATURE: [Signature]
BLACK AMANDA L

DATE: 8-1-20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

DAVID J HAAS LIVING TRUST
211 W 6TH AVE
WINDERMERE, FL 34786

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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: 
DAVID J HAAS LIVING TRUST

DATE: 8/1/2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Made Trim

Clerk
DOROTHY BURKHALTER

July 29, 2020

PARK RESIDENTIAL RENTALS LLC
4 PINE ST
WINDERMERE, FL 34786

RE: Public Notice of Major Development – 111 W 5th Avenue – Proposed New Commercial Building

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: Valery Jucke, Manager
PARK RESIDENTIAL RENTALS LLC

DATE: 8-3-2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received

Wade Trim

July 29, 2020

501 MAIN L L C
901 ROSSER RD
WINDERMERE, FL 34786

RE: Public Notice of Major Development – 111 W 5th Avenue – Proposed New Commercial Building

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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: DISAPPROVAL:

COMMENTS: _____

SIGNATURE: _____
501 MAIN L L C

DATE: 8/2/20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received
7/29 10:00 AM
Wade Trim

July 29, 2020

111 5TH AVE LLC
901 ROSSER RD
WINDERMERE, FL 34786

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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE:  DATE: 8/2/20
111 5TH AVE LLC

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received
JUL 29 2020
Wade Trim

July 29, 2020

CRAVEN BARRY T
PO BOX 574
WINDERMERE, FL 34786

RE: Public Notice of Major Development – 111 W 5th Avenue – Proposed New Commercial Building

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Sincerely,
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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL X _____

COMMENTS: Not clear where the parking will be. If they plan to use the 5th + Forest Parking, that will interfere with church parking on Sunday. Clear that up and I'm OK with it.

SIGNATURE: Craven Barry T
CRAVEN BARRY T

DATE: _____

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received

Wade Trim

July 29, 2020

DIEDERICH ANDREA
635 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Major Development – 111 W 5th Avenue – Proposed New Commercial Building

111 W 5th Ave LLC, owner of 111 W 5th Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: _____ **DISAPPROVAL**

COMMENTS: No New Commercial In Residential
area!

SIGNATURE: _____
DIEDERICH ANDREA

DATE: 8/3/20

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

PEARL CYNTHIA E
525 BUTLER ST
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: ✓ DISAPPROVAL _____

COMMENTS: WE APPROVE AND SUPPORT
THIS PROJECT.

SIGNATURE: *CE Pearl*
PEARL CYNTHIA E

DATE: 8/01/2020

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

435 BUTLER TRUST
435 BUTLER ST
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL X _____

COMMENTS: I do not want a brewery or taproom less than 300 feet from my home and my 3 grandchildren home.

SIGNATURE: Mehal July Jr
435 BUTLER TRUST

DATE: 8/4/20

To: Mayor and Town Council and Development Review Board

From: JEANNE F. GRAHAM

Date: AUGUST 10, 2020

Address: 235 PALM STREET
WINDERMERE FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Eric Graham

Date: Aug. 10, 2020

Address: 235 Palm St., Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



Mastison, Sarah

From: Cornelius, Brad
Sent: Monday, July 27, 2020 12:09 PM
To: Robert Smith
Cc: Warner, Amanda; Mastison, Sarah
Subject: Public Response Proposed Tap Room/Micro-Brewery

Robert,

Two Responses from same person.

FYI – I received a phone call today from Ms. Jones who lives at 412 Forest Street. She called to express her extreme objection to the opening of a micro-brewery and tap room in the Town. I advised her to submit her letter of objection and it will be included as part of the record for the DRB and Town Council hearings.

Take care,
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President
One Tampa City Center
201 North Franklin Street, Suite 1350, Tampa, FL 33602
813-882-4373 office
813-415-4952 cell



To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>

Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Angie Winn

Date: August 4, 2020

Address: 908 Rosser Road, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Angie Winn

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards, Bill Bardoe

225 E 9TH AVE

Sent from my iPhone

Mastison, Sarah

From: Cornelius, Brad
Sent: Tuesday, August 11, 2020 9:02 AM
To: Mastison, Sarah
Subject: FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Follow Up Flag: Follow up
Flag Status: Flagged

Another one.....

Brad

From: bconnors@cfl.rr.com <bconnors@cfl.rr.com>
Sent: Tuesday, August 4, 2020 4:03 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>; 'nconnors34786@gmail.com' <nconnors34786@gmail.com>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Brynna Connors

Date: August 4, 2020

Address: 217 Oakdale Street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Brynna Connors

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Douglas Kegler
12 Pine St, Windermere, FL 34786
August 7, 2020

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

I would like to voice my approval for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

Regards,
Douglas Kegler

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, July 29, 2020 4:26 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Get [Outlook for iOS](#)

From: Heather Oles <heather_oles@yahoo.com>
Sent: Wednesday, July 29, 2020 1:24:49 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development. Please note that I am full time resident of the Town of Windermere, of legal voting age (plus some!) and my address is 11230 Lake Butler Blvd. Contact information provided below.

Regards,

Heather Oles
11230 Lake Butler Blvd

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, July 29, 2020 4:26 PM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Want to make sure you're getting these!

Get [Outlook for iOS](#)

From: David Tulk <davetulk@hotmail.com>
Sent: Wednesday, July 29, 2020 1:37:57 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: David Tulk

Date: 7/29/2020

Address: 3340 Wax Berry Ct, Windermere FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

David Tulk

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Wednesday, July 29, 2020 4:27 PM
To: Cornelius, Brad; Warner, Amanda
Subject: Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Get [Outlook for iOS](#)

From: Rob Matheison <rob@matheison.com>
Sent: Wednesday, July 29, 2020 12:52:41 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Mayor and Town Council and Development Review Board

From: Rob Matheison

Date: July 29, 2020

Address: 610 Ridgewood Drive, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Rob Matheison

rob@matheison.com

From: Lindsey Tomaszewski

Date: August 7, 2020

Address: 40 Main st Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lindsey Tomaszewski
40 Main Street Windermere, FL 34786
321-624-3070

Address: 40 Main st Windermere FL 34786

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Best,

Matt Tomaszewski

C. [407.719.5956](tel:407.719.5956)

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Anne DeBoer

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

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Regards,

Derek DeBoer | derek@dvcresalemarket.com

DIRECT: (407) 900-0226

PHONE: (844) 382-7767

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From: Ryan Mendro

Date: August 3, 2020

Address: 10864 Bayshore Dr, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Ryan Mendro

Address: [10864 Bayshore Dr, Windermere, FL 34786](#)

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at [111 W 5th Avenue](#)

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at [111 W 5th Avenue](#) will occur in front of the Development Revue Board [on August 18, 2020](#) & later by the Windermere Town Council [on September 8, 2020](#).

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Lucía Roca Mendro

Sent from my iPhone

From: Steve Ruffner

Date: August 5, 2020

Address: 2108 Kane Park Way

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Steve Ruffner

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 4, 2020 7:05 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Sara Ruffner <sarajruffner@gmail.com>
Sent: Tuesday, August 4, 2020 4:34 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Sara Ruffner

Date: August 4, 2020

Address: 2108 Kane Park Way, Windermere 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Sara Ruffner

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Thursday, August 6, 2020 3:22 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: I am in full support

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Teresa Aken <tkaken@cfl.rr.com>
Sent: Thursday, August 6, 2020 3:06 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>; 'Teresa Aken' <tkaken@cfl.rr.com>
Subject: I am in full support

To: Mayor and Town Council and Development Review Board

From: Teresa Aken, Town Resident @ 70 Forest Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It understand a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020. The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. I do feel this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District. I agree so much of our Town's charm is our unique downtown district and town square where residents come together as a community. I fully support small businesses to create an even better quality of life for the residents of Windermere.

Once again, **I am in full support of both the conditional use proposal & commercial building development.**

Thank you,
Teresa Aken
70 Forest St

Windermere, FL 34786
407-376-4141
tkaken@cfl.rr.com

Date: July 30, 2020

Address: 215 Forest St., Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom and Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 and also by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom and micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both of these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the town's character and will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal and commercial building development.

Regards,
Michael Guthrie
215 Forest St.
Windermere, FL 34786

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 4, 2020 7:05 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Build the Brewery Support

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Wayne Sheffield <WSheffield@Isleworth.com>

Sent: Tuesday, August 4, 2020 4:33 PM

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

Cc: Diane Edwards <dedwards@town.windermere.fl.us>; andy@windermerebrewing.com <andy@windermerebrewing.com>

Subject: Build the Brewery Support



To: Mayor and Town Council and Development Review Board

From: Wayne & Carey Sheffield

Date: 8/4/2020

Address: 101, Lee Street, Windermere, FL34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town’s character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Wayne Sheffield
President, General Manager

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Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Monday, August 3, 2020 9:28 AM
To: Cornelius, Brad; Warner, Amanda
Subject: FW: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Richard Montgomery <richmontgom@gmail.com>
Sent: Monday, August 03, 2020 9:26 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to strongly state my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Richard Montgomery
11067 Schooner Way

Windermere, FL 34786

407-637-1929

From:

Hubert van Alphen

Date:

8/06/20

Address:

11200 cedar grove ct, windermere, fl , 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Hubert

From: Tim Kelly

Date: 8/5/2020

Address: 2829 Marquesas Ct., Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Tim Kelly

Date: August 5, 2020

Address: 515 W 2nd Ave, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lily Siviglia

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Friday, July 31, 2020 10:34 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: chamblissn@aol.com <chamblissn@aol.com>

Sent: Friday, July 31, 2020 10:32 AM

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

Cc: Diane Edwards <dedwards@town.windermere.fl.us>

Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Neal Chambliss

Date: July 31, 2020

Address: 117 Palm Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Neal Chambliss

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Friday, August 7, 2020 9:50 AM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

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From: Joshua Lieberman <joshua.lieberman@yahoo.com>
Sent: Friday, August 07, 2020 9:47 AM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Joshua & Maria Lieberman

Date: 08/07/2020

Address: 41 Pine St Windermere Fl, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Joshua Lieberman
C -407-616-1589
Joshua.lieberman@yahoo.com

To: Mayor and Town Council and Development Review Board

From: Lauren Gurr

Date: 07/30/2020

Address: 44 oakdale street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lauren Gurr

To: Mayor and Town Council and Development Review Board

From: Stephen @ Wendy Fasen

Date: 7/30/2020

Address: 10808 Bayshore Dr. / Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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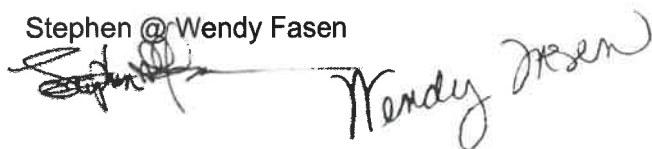
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Stephen @ Wendy Fasen

Handwritten signatures of Stephen and Wendy Fasen. The signature for Stephen is on the left, and the signature for Wendy is on the right, connected by a horizontal line.

LYNN AND JIM SALMON
8 PINE STREET
BEAUTIFUL WINDERMERE, FL 34786

7 August 2020

TO: The Honorable Jim O'Brien, Mayor of Windermere
Members of the Windermere Town Council

Subject: Support of Windermere Town Brewery

As a twenty plus year residents of Windermere, we have been pleased with the addition of social and business opportunities allowed to our town members in the "Heart of Downtown". The current restaurant, coffee shop and ice cream parlor are all welcome improvements to give our citizens a place to go without having to leave our town (for most in walking distance) and fight the massive traffic we incur at times.

In this same view, we see the addition of a brewery in the downtown area as a welcome establishment and fully support its participation in our town. It would give town residents a place to go and socialize without having to leave our area. We feel the Windermere community would widely support this business and look forward to seeing our local friends there once opened.

Lynn and Jim Salmon

A handwritten signature in blue ink that reads "Lynn Salmon". The signature is written over a horizontal line.

To: Mayor and Town Council and Development Review Board

From: George E. Foote, Jr.

Date: 8/6/2020

Address: 407 E. 7th Ave.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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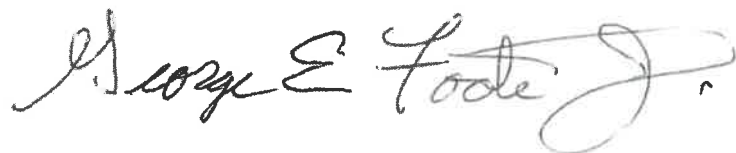
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Agnes Foote

Date: 08/06/2020

Address: 407 E. Seventh Ave
Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W. 5th Avenue
It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Karen Fay

Date: 9/6/2020

Address: 28 Pine St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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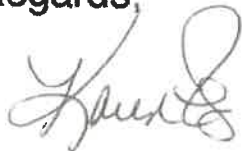
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



Mastison, Sarah

From: Cornelius, Brad
Sent: Friday, July 31, 2020 4:00 PM
To: Robert Smith
Cc: Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter
Subject: Call from Mr. Spears - Public Response Proposed Tap Room/Micro-Brewery

Robert,

FYI – I received a call this afternoon from Mr. Spears at 406 Forest Street. Mr. Spears had a general question regarding the conditional use process, expressed concerns about the proposed parking not sufficient for the use, control of crowds at the proposed operation, commercial fire standards for buildings not meeting sufficient spacing from another commercial building, and possibility of moving the rear patio from the west side to the east side of the building closest to Windermere Market.

Mr. Spears was understanding of my explanation of the conditional use process.

Take care,
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President
One Tampa City Center
201 North Franklin Street, Suite 1350, Tampa, FL 33602
813-882-4373 office
813-415-4952 cell



From: Robert Smith <rsmith@town.windermere.fl.us>
Sent: Monday, July 27, 2020 12:38 PM
To: Cornelius, Brad <bcornelius@wadetrim.com>
Subject: Re: Public Response Proposed Tap Room/Micro-Brewery

Ok thanks

Sent from my iPhone

On Jul 27, 2020, at 12:09 PM, Cornelius, Brad <bcornelius@wadetrim.com> wrote:

To: Mayor and Town Council and Development Review Board

From: Dean Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere Fl 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Dean Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FI 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FI 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

Mastison, Sarah

From: Cornelius, Brad
Sent: Tuesday, August 4, 2020 10:30 AM
To: Robert Smith
Cc: Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter
Subject: Call from Lesha Miller - Public Response Proposed Tap Room/Micro-Brewery

Robert,

This morning I received a call from Lesha Miller regarding the proposed micro-brewery/tap room. Lesha expressed support for the proposal. Her only comment was potential impact on Forest Street and if there is a way to prohibit people from parking on Forest Street or using Forest Street to access the business.

Take care,
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President
One Tampa City Center
201 North Franklin Street, Suite 1350, Tampa, FL 33602
813-882-4373 office
813-415-4952 cell



Mastison, Sarah

From: Robert Smith <rsmith@town.windermere.fl.us>
Sent: Monday, August 3, 2020 9:48 AM
To: Cornelius, Brad
Subject: Fw: Brewery

Regards,

Robert Smith
Town Manager
Town of Windermere
614 Main St.
Windermere, FL 34786
rsmith@town.windermere.fl.us
Cell: (407) 797-5004
Main: (407) 876-2563 x5324
Fax: (407) 876-0103

Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

From: Elle Rickerson <amandascoolmom@cfl.rr.com>
Sent: Monday, August 3, 2020 7:29 AM
To: Robert Smith <rsmith@town.windermere.fl.us>
Cc: Jim O'Brien <jobrien@town.windermere.fl.us>
Subject: Brewery

884 Main St.

Why are we allowing a Brewery in our Town? We just don't understand. These people wanting to open the Brewery say it is to attract people in the neighborhood that can walk to the Brewery and have a "pint". It will attract unwanted people to our area. I think we have seen an increase in people coming to Town for the wrong reasons. We want to keep our Town a small family Town. You can see the 1000 to 2000 people that the Food Trucks bring to Town. A nice restaurant similar to a "Dexters" Restaurant like we had in the Grove would be wonderful. We use to go there and enjoy eating outside with our dog. Lunch Time and Dinner Time was a meeting place for people in the area to come and enjoy friendship. I know we have Dixie Cream which is a great welcome to our community. We all enjoy that. If a restaurant could incorporate with them I believe it would be an awesome addition. We just cannot see opening a Brewery. It is not a family atmosphere. We have seen lives ruined by the start of early

drinking in a friendly atmosphere. Everyone is different when drinking alcohol. One thing is clear everyone shows the effect of alcohol. We don't like it. I expressed our views to the ones wanting to open this Brewery. They want to have a conversation to change our mind. There is no changing our mind. We have felt the same through high school, college and raising our 3 children. If you want to drink in your home, fine. Our opinion is SOLID. Thank you for allowing our input. Best, Elle

Mastison, Sarah

From: Robert Smith <rsmith@town.windermere.fl.us>
Sent: Monday, August 3, 2020 9:48 AM
To: Cornelius, Brad
Subject: Fw: Brewery

Regards,

Robert Smith
Town Manager
Town of Windermere
614 Main St.
Windermere, FL 34786
rsmith@town.windermere.fl.us
Cell: (407) 797-5004
Main: (407) 876-2563 x5324
Fax: (407) 876-0103

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From: Elle Rickerson <amandascoolmom@cfl.rr.com>
Sent: Monday, August 3, 2020 8:27 AM
To: Robert Smith <rsmith@town.windermere.fl.us>
Cc: Jim O'Brien <jobrien@town.windermere.fl.us>
Subject: Brewery

884 Main St.

I would like to add one more thought to my previous email. I am not a "prude" where I think any alcohol should not be served. If we had a nice restaurant as I described in my previous email that serves wine or beer with our meal that is different. It is just the fact that a Brewery is a destination for alcohol only. Thank you again for allowing my opinion. My Best, Elle

Mastison, Sarah

From: Diane Edwards <dedwards@town.windermere.fl.us>
Sent: Tuesday, August 4, 2020 7:03 PM
To: Cornelius, Brad
Cc: Warner, Amanda
Subject: Fw: Build The Brewery

Diane Edwards

Administrative Assistant

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: dedwards@town.windermere.fl.us

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



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From: Simon Simaan <simon@simonsimaan.com>
Sent: Tuesday, August 4, 2020 4:50 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Build The Brewery

To: Mayor and Town Council and Development Review Board

From: Simon and Simona Simaan

Date: 8/4/2020

Address: 812 East Blvd and 820 East Blvd

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

--

Simon Simaan | Realtor® | Broker
The Simon Simaan Group | Real Estate

Cell: 407-558-1396

Email: simon@simonsimaan.com

Website: www.simonsimaan.com

From: Jackie Leigh Andrus

Date: August 13, 2020

Address: 11416 Willow Stowe Lane, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Jackie Leigh Andrus

From: Todd Andrus

Date: August 13, 2020

Address: 11416 Willow Stowe Lane, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Todd Andrus

"jroper@town.windermere.fl.us" <jroper@town.windermere.fl.us>, "mrose@town.windermere.fl.us" <mrose@town.windermere.fl.us>, "nsutton@town.windermere.fl.us" <nsutton@town.windermere.fl.us>, "swithers@town.windermere.fl.us" <swithers@town.windermere.fl.us>

To: Mayor and Town Council and Development Review Board

From: Chad McGhee

Date: 8/3/2020

Address: 125 Forest St. Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Nicole Carsten

Date: August 13, 2020

Address: 124 Forest St

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,
Nicole Carsten

Sent from my iPad

The information contained in this e-mail message is intended solely for the recipient(s) and may contain privileged information. Tampering with or altering the contents of this message is prohibited. This information is the same as any written document and may be subject to all rules governing public information according to Florida Statutes. Any message that falls under Chapter 119 shall not be altered in a manner that misrepresents the activities of Orange County Public Schools. [References: Florida State Constitution I.24, Florida State Statutes Chapter 119, and OCPS Management Directive A-9.] If you have received this message in error, or are not the named recipient notify the sender and delete this message from your computer.

From: jeff winn <jajawinn@gmail.com>
Sent: Thursday, August 13, 2020 9:45 PM
To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>
Cc: Diane Edwards <dedwards@town.windermere.fl.us>
Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Jeff Winn

Date: August 4, 2020

Address: 908 Rosser Road, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Jeff Winn

From: Joseph Ata <drjosephata@gmail.com>

Sent: Friday, August 14, 2020 9:38 AM

To: Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

Cc: Diane Edwards <dedwards@town.windermere.fl.us>

Subject: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Joseph Ata

Date: 08-14-20

Address: 5 Pine St. Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

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Regards,

Joseph Ata D.M.D.

DrJosephAta@gmail.com
407-857-6501

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

POTTHAST THOMAS JR
425 BUTLER ST
WINDERMERE, FL 34786

RE: Public Notice of Major Development – 111 W 5th Avenue – Proposed New Commercial Building

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL X _____

COMMENTS: see attached letter

SIGNATURE: 
POTTHAST THOMAS JR

DATE: 8/14/20

Major Development (111 W 5th Ave)

Sec. 8-84 of the Windermere Town Code of Ordinances prohibit nightclubs, which are defined as,
"an establishment exhibiting live entertainment, having a seating capacity of 25 or more persons and serving alcoholic beverages at retail to the public by glass or drink."

The applicant stated that he "has no plans for live entertainment", but must understand that live entertainment is **prohibited** at this type of establishment in Windermere.

Sec. 8-93 of the Windermere Town Code of Ordinances states:

- (a) Except as otherwise provided in subsections (b) and (c) of this section, it shall be unlawful for any person to possess or consume alcoholic beverages on public property within the corporate limits of the town. The term "public property" means all property owned or controlled by the town, including streets and roads. The term "public property" also includes private property which is provided for and open to public use, including but not limited to parking lots for invitees on business premises.

As this location is right across the street from our Town Square, it is a concern that this type of establishment would encourage drinking on public property.

Finally, Sec.8-82 of the Windermere Town Code of Ordinances states:

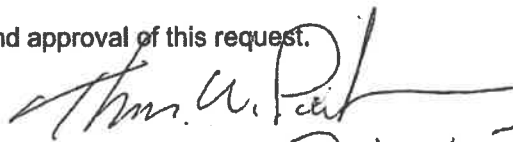
- (a) Any place of business in which alcoholic beverages or intoxicating beverages are sold or furnished at retail to the public by glass or drink within the town shall open directly and immediately on the street, and **no such place of business shall be less than 1,000 feet from an established church**, school or any other such place of business wherein consumption on premises is permitted which distance shall be measured by following the shortest route of ordinary pedestrian travel along the public thoroughfare from the main entrance of said place of business to the main entrance of the church and in case of a school, to the nearest point of the school grounds in use as part of the school facilities.

This establishment would be within 1000 feet of both the church and the chapel in Windermere, which is **prohibited** in our Town Codes. It is also within 500 feet of many residents, including our home. Our Town Codes were established to provide the amazing atmosphere that we all know and love.

We are highly concerned with having a place of business selling alcoholic beverages for many reasons:

- It is too close to churches, which is prohibited in our Town Codes.
- It is too close to homes. A microbrewery is known to produce odors which would have a negative effect on our quality of life, as we, along with many of our neighbors, enjoy sitting outdoors on our properties.
- Producing odors so close to a residential area would have a negative impact on our property values.
- Noise is a concern, especially with outdoor seating. No businesses in town remain open late such as the hours they are proposing. At the latest, businesses should close at 10PM on Friday and Saturday, and 6PM on Sunday, for the peace of the residents.

For these reasons, we **do not** recommend approval of this request.


Thomas W Pothoff, Jr. 8/14/20
425 Butler
St.

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

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425 BUTLER ST
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

COMMENTS: see attached

SIGNATURE: *Genie Potthast*
POTTHAST THOMAS JR
Genevieve

DATE: 8-14-20

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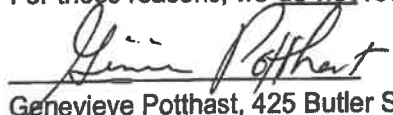
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For these reasons, we **do not** recommend approval of this request.


Genevieve Potthast, 425 Butler Street

8/14/20

Major Development: (111 W 5th Ave)

Landscaping: This proposal seems lacking in landscaping. See the following Town Codes:

Sec. 6-06-02 states:

(9) Solid waste refuse facilities shall be screened by a six-foot high masonry wall if located within the building setback areas. Such walls shall screen the refuse receptacle on three sides with the access side oriented towards the interior of the site. Refuse receptacles which are located in areas visible by the patrons of the site or abutting properties shall be screened in accordance with the criteria in this subsection. Such walls shall be landscaped with shrubs planted adjacent to the wall at a standard of 25 per 100 feet of wall. The wall and hedge shall not be located within the required buffer zone.

If this building is sharing the solid waste refuse facilities at the Windermere Market, the facilities should be screened in accordance to the Town Codes.

(11) A landscaped area shall be provided around the base of all buildings, oriented toward public rights-of-way and equal to 50 percent of the linear length of the building oriented toward the right-of-way, with a minimum width of four feet.

Looking at the site renderings of the buildings, the bases of the buildings are sorely lacking landscaping. It would be a nice addition to the town canopy if some shade trees were added to this property as well.

Genevieve Pothast
425 Butler St
Genevieve Pothast

8-14-20

Town of Windermere

614 Main Street Windermere, FL 34786
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July 29, 2020

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Wade Trim, Inc.
813.882.4373
bcornelius@wadetrim.com
Encl.

RECOMMEND – Major Development (111 W 5th Ave.)

APPROVAL: _____ DISAPPROVAL

COMMENTS: _____

SIGNATURE: *Christine Potthast*
POTTHAST THOMAS JR CHRISTINE

DATE: 8-14-2020

To: Mayor and Town Council and Development Review Board

From: Jackie Rapport

Date: 8/14/20

Address: 226 Forest St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Jackie Rapport

To: Mayor and Town Council and Development Review Board

From: JERRY HOWARD

Date: 8/14/20

Address: 215 MAGNOLIA ST. WINDERMERE

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Mary Jean Howard

Date: 8/14/2020

Address: 215 Magnolia St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Mary Jean Howard

To: Mayor and Town Council and Development Review Board

From: Gerald W. Fay

Date: Aug. 15, 2020

Address: 28 Pine St.
Windermere, Fla 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Regards,

Gerald W. Fay



To: Mayor and Town Council and Development Review Board

From: Judith A. Plett

Date: 8-5-2020

Address: 220 E. 4th Avenue, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

A handwritten signature in cursive script that reads "Judith A. Plett". The signature is written in black ink and is positioned below the word "Regards,".

To: Mayor and Town Council and Development Review Board

From: *Richard H Quinn*

Date: 8-13-20

Address: 11355 Windermere 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue
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Regards,

Richard H Quinn

To: Mayor and Town Council and Development Review Board

From: *Karen Quinn*

Date: *08/13/20*

Address: *11355 Windermere Rd*

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Regards,



To: Mayor and Town Council and Development Review Board

From:

Suz M. KARR (SUZI)

Date:

8-14-2020

Address:

637 RIDGEWOOD DRIVE

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Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: *Talia M. Bonfanti*

Date: *August 14 2020*

Address: *414 E. 5th Ave.*

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Regards,

Talia M. Bonfanti

To: Mayor and Town Council and Development Review Board

From: *Giovanni Bonfanti*

Date: *14 August 2020*

Address: *414 E. 5th Ave*

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To: Mayor and Town Council and Development Review Board

From:

Joseph and Christine Tenczar

Date:

8/14/2020

Address:

327 E. 8th Ave.

Windermere, Fl 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

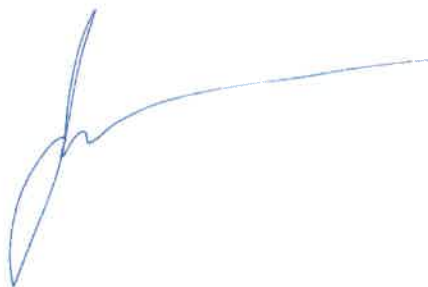
It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

A handwritten signature in blue ink, consisting of a large, stylized initial 'J' followed by a long, sweeping horizontal line that tapers off to the right.

Name	Address	Response	Responses Per Person	Within 500 Ft
SPEARS JOHN A	406 FOREST ST	N	1	Y
JONES FRANCES K LIFE ESTATE (JONES FRANCES)	412 FOREST ST	N	2	Y
POTTHAST CHRISTINE	425 BUTLER ST	N	1	Y
POTTHAST GENEVIEVE M	425 BUTLER ST	N	1	Y
POTTHAST THOMAS JR	425 BUTLER ST	N	1	Y
435 BUTLER TRUST	435 BUTLER ST	N	1	Y
DIEDERICH ANDREA	505 BUTLER ST	N	1	Y
CRAVEN BARRY T	516 FOREST ST	N	1	Y
RICKERSON LANCE L LIFE ESTATE (ELLE RICKERSON)	884 MAIN ST	N	2	N
SHEFFIELD CAREY ANNE	101 LEE ST	Y	1	N
SHEFFIELD WAYNE STUART	101 LEE ST	Y	1	N
STEPHEN FASEN	10808 BAYSHORE DR	Y	1	N
WENDY FASEN	10808 BAYSHORE DR	Y	1	N
LUCIA ROCA MENDRO	10864 BAYSHORE DR	Y	1	N
MENDRO RYAN L	10864 BAYSHORE DR	Y	1	N
MONTGOMERY RICHARD L	11067 SCHOONER WAY	Y	1	N
VAN ALPHEN HUBERT	11200 CEDAR GROVE CT	Y	1	N
OLES HEATHER H	11230 LAKE BUTLER BLVD	Y	1	N
KIRK KRISTA JEAN	11311 WILLOW GARDENS DR	Y	1	N
QUINN KAREN	11355 WINDERMERE RD	Y	1	N
QUINN RICHARD	11355 WINDERMERE RD	Y	1	N
ANDRUS JACKIE L	11416 WILLOW STOWE LN	Y	1	N
ANDRUS TODD L	11416 WILLOW STOWE LN	Y	1	N
WEISZ STEPHANIE	11449 LAKE BUTLER BLVD	Y	1	N
CHAMBLISS ROBERT NEAL	117 PALM ST	Y	1	N
DOUGLAS ANTHONY KEGLER TRUST (DOUGLAS KEGLER)	12 PINE ST	Y	1	N
CARSETEN NICOLE	124 Forest St	Y	1	N
MCGHEE CHAD	125 FOREST ST	Y	1	N
ROSS SCOTT M	201 W 5TH AVE	Y	1	Y
BISSEN MARY	203 W 6TH AVE	Y	1	Y
SARA RUFFNER	2108 KANE PARK WAY	Y	1	N
STEVE RUFFNER	2108 KANE PARK WAY	Y	1	N
DAVID J HAAS LIVING TRUST	211 W 6TH AVE	Y	1	Y
GUTHRIE MICHAEL	215 FOREST ST	Y	1	N
HOWARD JERRY	215 MAGNOLIA ST	Y	1	N
HOWARD MARY FRAN	215 MAGNOLIA ST	Y	1	N
BRYNNA E CONNORS REVOCABLE TRUST (BRYNNA CONNORS)	217 OAKDALE ST	Y	1	N
PLATT JUDITH	220 E 4TH AVE	Y	1	N
BARDOE WILLIAM G (BILL)	225 E 9TH AVE	Y	1	N
RAPPORT JACKIE	226 FOREST ST	Y	1	N
REAGAN DAVID	227 W 2ND AVE	Y	1	N
GRAHAM ERIC A	235 PALM ST	Y	1	N
GRAHAM JEANNE F	235 PALM ST	Y	1	N
FAY GERALD	28 PINE ST	Y	1	N
FAY KAREN F	28 PINE ST	Y	1	N
KELLY TIM	2829 MARQUESAS CT	Y	1	N
DEBOER ANNE	306 BUTLER ST	Y	1	N
DEBOER DEREK	306 BUTLER ST	Y	1	N
RUCKI AMY	3229 WAUSEON DR	Y	1	N
RUCKI CHRIS	3229 WAUSEON DR	Y	1	N
TENCZAR JOSEPH	327 E 8TH AVE	Y	1	N
TENCZAR CHRISTINE	327 E 8TH AVE	Y	1	N
TULK DAVID WILLIAM	3340 WAX BERRY CT	Y	1	N
TOMASZEWSKI LINDSEY A	40 MAIN ST	Y	1	N
TOMASZEWSKI MATT M	40 MAIN ST	Y	1	N
FOOTE AGNES	407 E 7TH AVE	Y	1	N
FOOTE GEORGE E JR	407 E 7TH AVE	Y	1	N
LIEBERMAN JOSHUA JOEL	41 PINE ST	Y	1	N
LIEBERMAN MARIA CECELIA	41 PINE ST	Y	1	N
BONFANTI DALIA	414 E 5TH AVE	Y	1	N
BONFANTI GIOVANNI	414 E 5TH AVE	Y	1	N
BLACK AMANDA L	414 FOREST ST	Y	1	Y
WINDERMERE MARKET LLC	428 MAIN ST	Y	1	Y
MATTHEWS BRIDGETTE	430 BUTLER ST	Y	1	N
GURR LAUREN NICOLE	44 OAKDALE ST	Y	1	N
ATA JOSEPH ADAM	5 PINE ST	Y	1	N
501 MAIN L L C	501 MAIN ST	Y	1	Y
PARK RESIDENTIAL RENTALS LLC	505 MAIN ST	Y	1	Y
LaROCHELLE ELENA	515 OAKDALE ST	Y	1	N
LILY SIVIGLIA	515 W 2ND AVE	Y	1	N
PEARL CYNTHIA E	525 BUTLER ST	Y	1	Y
ANDERT CHRIS	60 OAKDALE ST	Y	1	N
MATHEISON ROBERT A	610 RIDGEWOOD DR	Y	1	N
CAMPBELL KIM	611 FOREST ST	Y	1	N
HENRY KIRSTEN	619 MAGNOLIA ST	Y	1	N
HENRY MATT	619 MAGNOLIA ST	Y	1	N
MILLER DEAN A	625 BUTLER ST	Y	1	N
MILLER LAUREN	625 BUTLER ST	Y	1	N
MILLER LESHIA C	625 BUTLER ST	Y	3	N
KARR SUZI	637 RIDGEWOOD DR	Y	1	N
AKEN TERESA L	70 FOREST ST	Y	1	N
SALMON JAMES G (JIM)	8 PINE ST	Y	1	N
SALMON LYNN T	8 PINE ST	Y	1	N
SIMAAAN SIMON T	812 & 820 EAST BLVD	Y	1	N
SIMAAAN SIMONA	812 & 820 EAST BLVD	Y	1	N
PLOTKIN ADAM	904 MAIN ST	Y	1	N
WINN ANGELA D (ANGIE)	908 ROSSER RD	Y	1	N
WINN JEFFREY G	908 ROSSER RD	Y	1	N

Updated As of 08.31.2020:

Responses Within 500 Ft	16
Total Support	8
Total Opposed	8
Total Person Responses	89
Total Person Support	80
Total Person Opposed	9
Total Households	64
Total Household Support	57
Total Households Opposed	7

OCA Web Map			
	Major Roads		Proposed Road
	Public Roads		Brick Road
	Gated Roads		Rail Road
	Road Under Construction		Proposed Sunfall
	Block Line		Lot Line
	Residential		Agriculture
	Commercial/Institutional		Governmental/Institutional/Misc
	Vacant Land		Agricultural Curtilage
	Hydro		Waste Land
	County Boundary		Parks
	Golf Course		Lakes and Rivers
	Building		Hospital



Created: 8/10/2020 17:16

This map is for reference only and is not a survey.

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor

JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Development Review Board August 18, 2020

Town Council September 8, 2020

Case No.: Z20-10

Applicant/Representative: Will and Anna Headley

Property Owners: Will and Anna Headley

Requested Action: Variance to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing property's home and detached garage floor area ratio is 50.1%, and the existing property impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's maximum floor area is 38% and maximum impervious surface area is 45%.

Property Address: 826 Oakdale Street Windermere, FL 34786

Legal Description: PLAT OF WINDERMERE G/36 LOT 109

Future Land Use/Zoning: Residential/Residential

Existing Use: Residential (Single Family)

Surrounding Future Land Use/Zoning

North: Residential/Residential
East: Residential/Residential
South: Residential/Residential
West: Residential/Residential

CASE SUMMARY:

The applicant requests to allow for an increase of a nonconforming floor area ratio (FAR) and impervious surface ratio (ISR). The Town's maximum FAR is 38% and maximum ISR is 45%. The structure is non-conforming due to the existing FAR (50.1%) and ISR (47.9%) exceeding the Town's maximum limit.

The applicant is proposing to add a 56 square foot bathroom addition in the rear yard. The total lot area is 12,804 square feet. The existing floor area is 6,489 square feet and the proposed floor area is 6,545 square feet. The existing FAR is 50.1% and the FAR with the addition is 51.1%. The existing impervious surface area is 6,134 square feet and the proposed impervious surface area 6,201.75 square feet. The existing ISR is 47.9% and the proposed ISR is 48.4%.

Division 10.02.00 of the LDC empowers the Development Review Board to review and make recommendations for approval, approval with conditions or denial to the Town Council on variance requests.

Division 10.02.00 of the LDC requires the Town Council to consider the recommendation of the Development Review Board and to take final action to either approve or deny the variance request.

CASE ANALYSIS:

Section 10.02.02 of the LDC provides the specific standards by which the Development Review Board and Town Council are to review to consider the approval or denial of a variance application. In addition, this Section requires a positive finding, based on substantial competent evidence, for each of the standards. These standards are summarized as follows:

1. The need for the variance arises out of the physical surroundings, shape, topographical condition or other physical or environmental conditions that are unique to the subject property. Variances should be granted for conditions peculiar to the property and not the result of actions of the property owner;
2. There are practical or economic difficulties in carrying out the strict letter of the regulation;
3. The variance request is not based exclusively upon a desire to reduce the cost of developing the site;
4. The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire or other hazard to the public;
5. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site;

6. The effect of the proposed variance is in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code; and
7. The variance will not encourage further requests for changes where such a land use would not be deemed appropriate.

It is also important to note that this Section also provides specific standards that are not to be considered in the review of a variance application. These standards are:

1. That the implementation of these regulations would impose an economic hardship on the cost of the building or redevelopment project;
2. That these regulations impose a hardship by decreasing the maximum density of a property in terms of the number of units, square footage of buildings, etc.; and
3. That other adjacent lands, structures or buildings not in conformance with these regulations provide a rationale for a lessening of their application in this specific case.

Section 10.02.02(c) of the LDC allows the imposition of conditions and restrictions as may be necessary to allow a positive finding to be made on any of the variance standards to minimize the negative effect of the variance. The conditions and restrictions should further the interest of the LDC.

The applicant submitted a site plan and other materials in support of the variance request. The following is a summary of the information provided by the applicants in support of their variance request:

1. The nonconformities cited existed at the time they bought the house. To their knowledge the construction of the house had already been fully permitted by the Town, including the nonconformities.
2. The existing conditions are unique to the residence and not the result of their prior actions.
3. Adhering to the strict letter of the Town code will inhibit the full and practical enjoyment of the outdoor pool area, especially in light of their young children.
4. The requested variance is not based on a desire to reduce the cost of development.
5. The variance will not increase congestion on surrounding public streets or create any public hazards.

6. The variance will not diminish property values or alter the character of the area surrounding the site.
7. The proposed improvement will not be visible from any of the adjoining properties.
8. The adjoining neighbors are supportive of this request and letters indicating “no objection” are submitted with this application.
9. They believe the variance is in harmony with the general intent of the Town codes and would not create any public hardship.

PUBLIC NOTICE:

Public notices were mailed to property owners within 500 feet of the subject property (54 notices sent). As of August 31, 2020, 27 responses were returned, 26 in support and one (1) in opposition. Of the 27 responses two (2) were received from the same address, one from the owner and one from the tenant.

DEVELOPMENT REVIEW BOARD RECOMMENDATION:

On August 18, 2020, the Development Review Board (DRB) held a public hearing to consider the subject variance. Based on testimony provided in the staff report and at the DRB public hearing, the DRB unanimously (4-0) recommended approval of the variance with the following condition:

1. At time of building permitting, an engineered stormwater retention plan consistent with the stormwater retention requirements of the Town, shall be provided with the building permit application and installed for all existing and new impervious areas on the property.

Will and Anna Headley
826 Oakdale Street
Windermere, Florida 34786

June 8, 2020

Dorothy Burkhalter, Town Clerk
Town of Windermere
614 Main Street
Windermere, Florida 34786

RE: Variance Request for 826 Oakdale Street

Dear Ms. Burkhalter:

My husband and I live at 826 Oakdale Street. We purchased our residence in August of 2017 from the second owners of the house who lived there for 3 years. The couple who constructed the house in 2004 lived there for 10 years.

I am the daughter of Jim and Carol Ann Willard and grew up in the Town just a few blocks away at 228 W. 7th Avenue. My husband and I purchased our house on Oakdale Street to raise our two children, currently aged 5 and 3. As our children grow up we have become aware of the need to add a small bathroom addition in the rear of the house that would be accessible from both the interior of the house and the gated pool area in the rear.

After retaining a contractor to design the proposed bathroom addition, we were made aware that the 67.75 square foot addition (bathroom plus landing and stepdown) would increase an existing nonconforming FAR ratio (FAR) by 1% and the impervious surface ratio (ISR) by .5%. Because of these minimal increases to the existing nonconformity, the Town Planner denied our building permit request thus creating the need for this variance.

In support of our variance request, please consider the following:

1. The nonconformities cited existed at the time we bought our house. To our knowledge the construction of our house had already been fully permitted by the Town, including the nonconformities.
2. The existing conditions are unique to our residence and not the result of our prior actions.

3. Adhering to the strict letter of the Town code will inhibit the full and practical enjoyment of the outdoor pool area, especially in light of our young children.
4. The requested variance is not based on a desire to reduce the cost of development.
5. The variance will not increase congestion on surrounding public streets or create any public hazards.
6. The variance will not diminish property values or alter the character of the area surrounding the site.
7. The proposed improvement will not be visible from any of the adjoining properties.
8. The adjoining neighbors are supportive of this request and letters indicating "no objection" are submitted with this application.
9. We believe the variance is in harmony with the general intent of the Town codes and would not create any public hardship.

Thank you for your consideration of this request. Please let me know if you require any additional information.

Very truly yours,

Anna Headley

cc: Frank Chase, Chairman Windermere Development Review Board
Scott Arent, Calvert Construction Company

RESIDENTIAL ADDITION & RENOVATIONS

FOR WILLIAM & ANNA HEADLEY
 826 OAKDALE ST - WINDERMERE, FL 34786-8737
 PARCEL ID #17-23-23-9336-01-090

SCOPE OF WORK:

RESIDENTIAL RENOVATIONS TO EXISTING RESIDENCE, AS DEFINED HEREIN:

1. INSTALL NEW BATHROOM ADDITION, AS DESCRIBED HEREIN.
2. ENLARGE EXISTING SECOND LEVEL SCREEN PORCH AND CONVERT INTO A CONDITIONED ROOM, AS DESCRIBED HEREIN.

SHEET INDEX:

- G-0,0 COVER SHEET & OVERALL SITE PLAN
- A-1,0 EXISTING & PROPOSED FLOOR PLANS
- A-2,0 EXTERIOR ELEVATIONS
- A-3,0 SECTIONS & PLUMBING PLAN & RISER DIAGRAM
- A-4,1 CONSTRUCTION DETAILS
- A-4,0 FLORIDA PRODUCT APPROVALS & SPECIFICATIONS
- A-4,1 DOOR & WINDOW INSTALLATION INSTRUCTIONS
- A-4,2 ROOF & SIDING INSTALLATION INSTRUCTIONS

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. DO NOT SCALE DIMENSIONS.
3. ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
4. ALL UNDERGROUND UTILITIES IN THE PROJECT AREA SHALL BE LOCATED & PROTECTED DURING CONSTRUCTION.
5. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A WALL, NOT IMPACT PROCEEDURES WITH ANY EXISTING UTILITIES.
6. ALL UNDERGROUND UTILITIES IN THE PROJECT AREA SHALL BE LOCATED & PROTECTED DURING CONSTRUCTION.
7. IF ANY DISCREPANCIES ARE DISCOVERED OR UNDESIREN CONDITIONS arise, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD.

PROPERTY INFORMATION:

(PER ORANGE COUNTY PROPERTY APPRAISERS)

826 Oakdale St 17-23-23-9336-01-090

Parcel: 17-23-23-9336-01-090
 Address: 826 Oakdale St, Windermere, FL 34786
 Parcel ID: 17-23-23-9336-01-090
 Property Type: Single-Family Residential
 Assessed Value: \$218,000
 Market Value: \$218,000
 Taxable Value: \$218,000

View 2019 Property Record Card

Property Features: [View](#) [Refresh](#) [Export](#) [Print](#) [Share](#) [Help](#) [Feedback](#) [Sign Out](#)

Property Description: 17-23-23-9336-01-090, 0.28 ACRES, 1,027 SQ. FT. (APPROX.)

Parcel Information: Parcel ID: 17-23-23-9336-01-090, Parcel Area: 0.28 ACRES, Parcel Type: Single-Family Residential

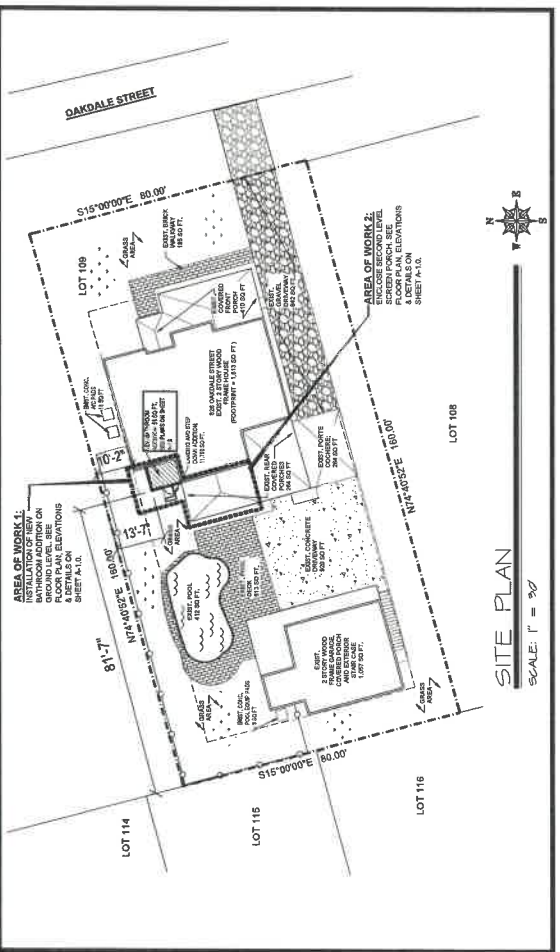
Assessed Value: \$218,000, Market Value: \$218,000, Taxable Value: \$218,000

2019 Property Record Card

Property Description: 17-23-23-9336-01-090, 0.28 ACRES, 1,027 SQ. FT. (APPROX.)

Parcel Information: Parcel ID: 17-23-23-9336-01-090, Parcel Area: 0.28 ACRES, Parcel Type: Single-Family Residential

Assessed Value: \$218,000, Market Value: \$218,000, Taxable Value: \$218,000



FLOOR AREA RATIO CALCULATIONS

TOTAL SITE	12,801 SQ. FT.
EXISTING HOUSE COVERED AREA (2 STORY)	3,226 SQ. FT.
EXISTING COVERED PORCHES & PORCH COVERAGE	1,419 SQ. FT.
EXISTING GARAGE (2 STORY + COVERED PORCH + STAIRS)	1,844 SQ. FT.
EXISTING TOTAL AREA	6,489 SQ. FT.
EXISTING F.A.R.	50.1 %
+ NEW BATHROOM ADDITION	59 SQ. FT.
+ PROPOSED TOTAL AREA	6,548 SQ. FT.
PROPOSED F.A.R.	51.1 %

STORMWATER RETENTION

RETENTION AND CONTROL MEASURES SHALL BE PROVIDED FOR ALL IMPERVIOUS AREAS AND SHALL ADD MINIMAL ADDITIONAL STORM WATER CAPACITY TO THE TOWN OF WINDERMERE'S EXISTING STORM WATER INFRASTRUCTURE. ADDITIONALLY PER THE TOWN OF WINDERMERE ORDINANCE 8075-04, CHANGES WHERE LESS THAN 125 SQUARE FEET OF IMPERVIOUS AREA ARE INCREASED ARE EXEMPT FROM THE ADDITIONAL REQUIREMENTS AND STORM WATER RETENTION.

ZONING SETBACKS

FRONT SETBACK	25'
REAR SETBACK	35'
SIDE SETBACKS	10'
MAX. BUILDING HEIGHT	35'

APPLICABLE CODES & CODE REFERENCES:

- FLORIDA BUILDING CODE - RESIDENTIAL SIXTH EDITION (2017)
- NEC 2014
- FLORIDA PLUMBING CODE - SIXTH EDITION (2017)
- FLORIDA ELECTRICAL CODE - SEVENTH EDITION (2017)
- FLORIDA FIRE PREVENTION CODE (2017)
- CITY OF GRANDINCHES OF THE TOWN OF WINDERMERE, FLORIDA-CHAPTERS 6 & THE LAND DEVELOPMENT CODE (CURRENT)
- NFPA 101 LIFE SAFETY CODE (2017)



REVISION	DESCRIPTION	DATE

ZONING DATA

PHYSICAL LOCATION:
 826 OAKDALE ST
 WINDERMERE, FL 34786-8737

OWNER:
 WILLIAM & ANNA HEADLEY
 826 OAKDALE ST
 WINDERMERE, FL 34786-8737

PROPERTY USE:
 0100 SINGLE FAMILY USE

PARCEL IDENTIFICATION NUMBER:
 #17-23-23-9336-01-090

N. D. EVOUY, PH.D., PE
 Consulting Engineer
 Central Florida Office
 10150 WINDERMERE BLVD, SUITE 111
 WINDERMERE, FL 34786-8737
 Phone: (407) 748-8782
 Email: jason@evouyengineering.com

CALVERT CONSTRUCTION & DEVELOPMENT, INC.
 4500 WINDERMERE BLVD, SUITE 111
 WINDERMERE, FL 34786-8737
 Phone: (407) 748-8782
 Email: jason@evouyengineering.com

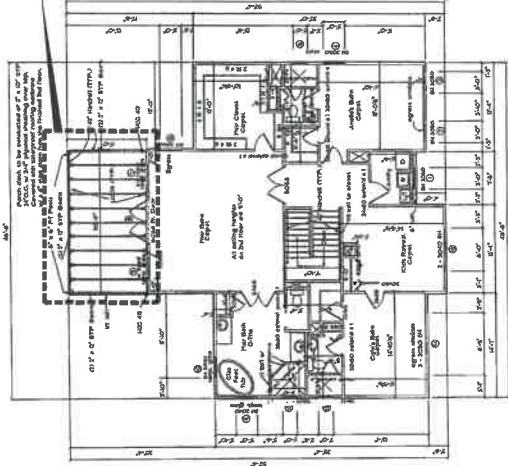
PROJECT:
 RESIDENTIAL ADDITION & RENOVATIONS
 @
 826 OAKDALE ST
 WINDERMERE, FL 34786-8737

SHEET DESCRIPTION COVER SHEET & OVERALL SITE PLAN

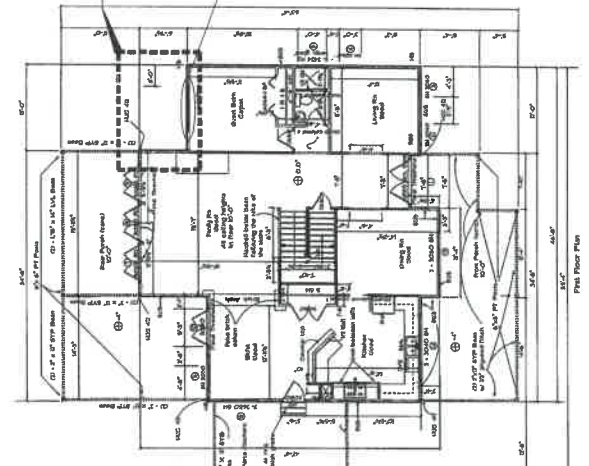
SHEET NUMBER
 G-1.0

N. DENNIS BY YOU
 FLORIDA LICENSE #4038

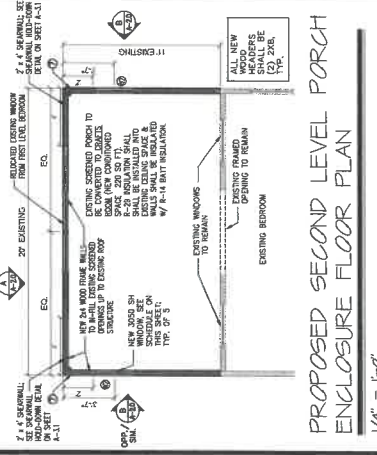
DATE: 04/29/2020



EXISTING SECOND LEVEL FLOOR PLAN
1/8" = 1'-0"



EXISTING GROUND LEVEL FLOOR PLAN
1/8" = 1'-0"



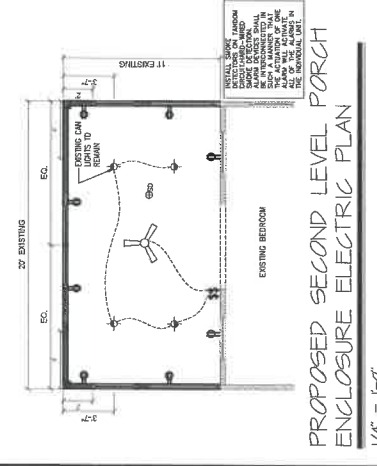
PROPOSED SECOND LEVEL PORCH ENCLOSURE FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE

NO.	TYPE	SIZE	MATERIAL	FINISH	OPERATION	GLASS	MARKING
1	DOUBLE HUNG	36" x 48"	ALUMINUM	SLIP ON	UP/DN	CLARIFIED	1
2	DOUBLE HUNG	36" x 48"	ALUMINUM	SLIP ON	UP/DN	CLARIFIED	2
3	DOUBLE HUNG	36" x 48"	ALUMINUM	SLIP ON	UP/DN	CLARIFIED	3

DOOR SCHEDULE

NO.	TYPE	SIZE	MATERIAL	FINISH	OPERATION	MARKING
1	SLIP DOOR	36" x 80"	ALUMINUM	SLIP ON	UP/DN	1
2	SLIP DOOR	36" x 80"	ALUMINUM	SLIP ON	UP/DN	2



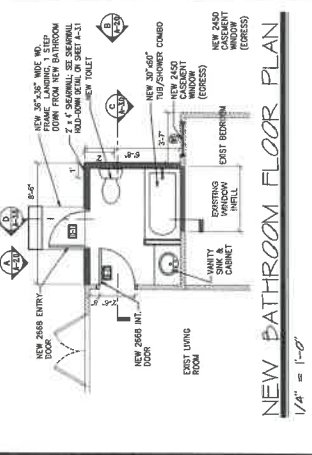
PROPOSED SECOND LEVEL PORCH ENCLOSURE ELECTRIC PLAN
1/4" = 1'-0"

STRAPPING / HANGER SCHEDULE

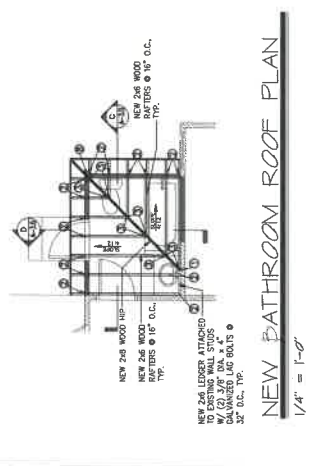
NO.	TYPE	SIZE	MATERIAL	FINISH	OPERATION	MARKING
1	STRAPPING	1/2" x 4"	ALUMINUM	SLIP ON	UP/DN	1
2	HANGER	1/2" x 4"	ALUMINUM	SLIP ON	UP/DN	2

ELECTRIC LEGEND

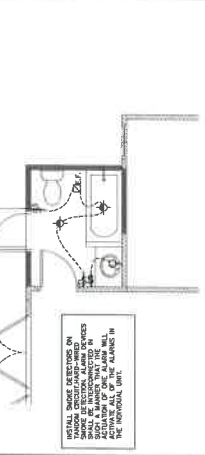
- OUTLET
- SWITCH
- LIGHT FIXTURE
- FAN
- TELEPHONE
- TV
- DATA
- FIRE ALARM
- SMOKE DETECTOR
- CO
- GAS
- WATER
- SEWER
- RADIANT HEATING
- RADIANT COOLING
- RADIANT PANEL
- RADIANT TUB
- RADIANT RAY
- RADIANT WIRE
- RADIANT CABLE
- RADIANT MAT
- RADIANT CARPET
- RADIANT FLOOR
- RADIANT WALL
- RADIANT CEILING
- RADIANT DUCT
- RADIANT CHASIS
- RADIANT TRAY
- RADIANT RACK
- RADIANT CABINET
- RADIANT ENCLOSURE
- RADIANT BOX
- RADIANT PANEL
- RADIANT TUB
- RADIANT RAY
- RADIANT WIRE
- RADIANT CABLE
- RADIANT MAT
- RADIANT CARPET
- RADIANT FLOOR
- RADIANT WALL
- RADIANT CEILING
- RADIANT DUCT
- RADIANT CHASIS
- RADIANT TRAY
- RADIANT RACK
- RADIANT CABINET
- RADIANT ENCLOSURE
- RADIANT BOX



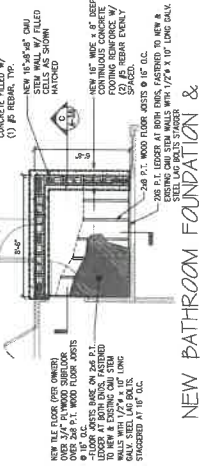
NEW BATHROOM FLOOR PLAN
1/4" = 1'-0"



NEW BATHROOM ROOF PLAN
1/4" = 1'-0"



NEW BATHROOM ELECTRIC PLAN
1/4" = 1'-0"



NEW BATHROOM FOUNDATION & FLOOR FRAMING PLAN
1/4" = 1'-0"



REVISION

NO.	DESCRIPTION	DATE

ZONING DATA

PHYSICAL LOCATION:
825 OAKDALE ST
WINDERMERE, FL 34786-9737

OWNER:
WILLIAM & ANNA HEADLEY
825 OAKDALE ST
WINDERMERE, FL 34786-9737

PROPERTY USE:
0100 SINGLE FAMILY USE

PARCEL IDENTIFICATION NUMBER:
#17-23-28-9338-01-050

N. D. ENYOU, PhD, PE
Consulting Engineer
Central Florida Office
1115 EAST
SCOTT AVE. SUITE 200
ORLANDO, FL 32811
Phone: (407) 748-3782
Email: john@youengineering.com

CVLERT CONSTRUCTION & DEVELOPMENT, INC.
301 CHANCO FL 32811
SCOTT AVE. SUITE 200
ORLANDO, FL 32811
Phone: (407) 748-3782
Email: john@youengineering.com

PROJECT
RESIDENTIAL ADDITION & RENOVATIONS
@
825 OAKDALE ST
WINDERMERE, FL 34786-9737

SHEET DESCRIPTION
EXISTING & PROPOSED
FLOOR PLANS

SHEET NUMBER
A-1.0

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY N. DENNIS ENYOU, P.E., AS SHOWN ON THE DATE AND TIME STAMP SHOWN ON THE DIGITAL SIGNATURE. ANY CHANGES TO THIS PLAN MUST BE MADE IN THE ORIGINAL PLAN AND NOT A COPY. ANY CHANGES MUST BE NOTED ON ANY ELECTRONIC COPY.

N. DENNIS ENYOU
FLORIDA LICENSURE NUMBER
06352020



REVISION	DESCRIPTION	DATE

ZONING DATA
 PHYSICAL LOCATION:
 826 OAKDALE ST
 WINDERMERE, FL 34786-8737

OWNER:
 WILLIAM & ANNA HEADLEY
 1415 EAST COAST STREET, OAKLAND, R. 1668
 WINDERMERE, FL 34786-8737

PROPERTY USE:
 0100 SINGLE FAMILY USE

PARCEL IDENTIFICATION NUMBER
 #17-23-28-9338-01-090

N. D. Eyou, PH.D., PE
 Consulting Engineer
 1415 EAST COAST STREET, OAKLAND, R. 1668
 WINDERMERE, FL 34786-8737
 Phone: (407) 748-8737
 Email: jiangyou@youengineering.com

CALVERT CONSTRUCTION
 826 OAKDALE ST
 WINDERMERE, FL 34786-8737
 SCOTT.LABRY@CALVERTCONSTRUCT.COM

PROJECT
 RESIDENTIAL ADDITION & RENOVATIONS
 @
 826 OAKDALE ST
 WINDERMERE, FL 34786-8737

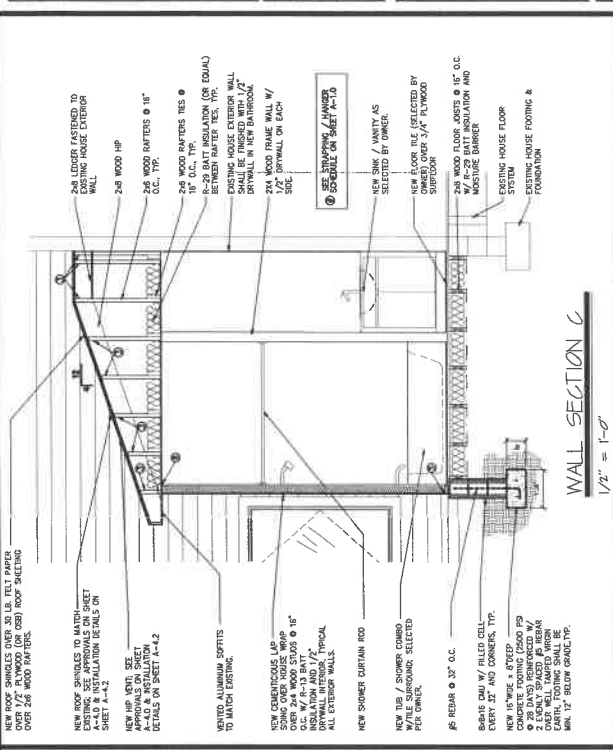
SHEET DESCRIPTION
 SECTIONS & PLUMBING
 PLAN & RISER DIAGRAM

SHEET NUMBER
 A-3.0

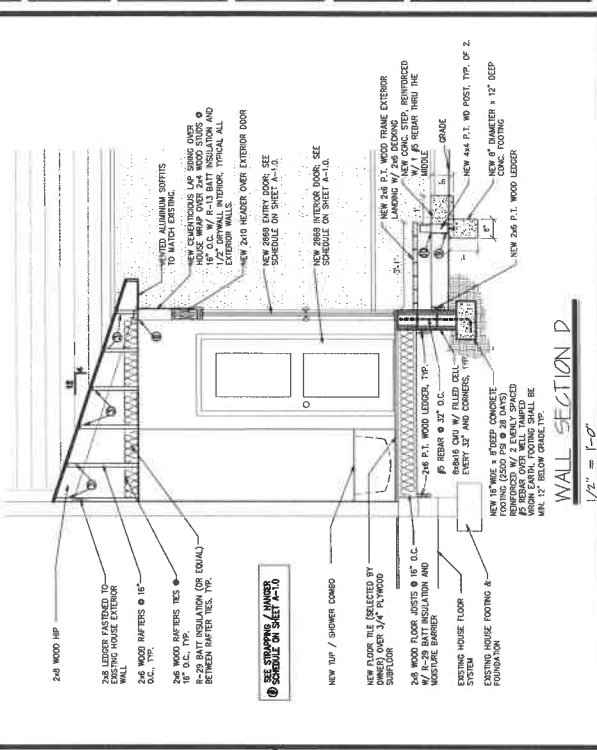
THIS DRAWING HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY N. D. EYOU, PE, P.E. 6688 ON THE DATE AND TIME SHOWN ON THE DIGITAL SIGNATURE. THE SIGNATURE IS A LEGAL REQUIREMENT AND NOT A SUGGESTION. THE DRAWING HAS NOT BEEN CORRECTED, REVISIONED, OR RECALCULATED. ANY CHANGES TO THIS DRAWING MUST BE THROUGH AN E-REVISION CODE.

AS NOTED
 BY: AN
 CHECKED BY: JFS
 DATE: 04/20/2020

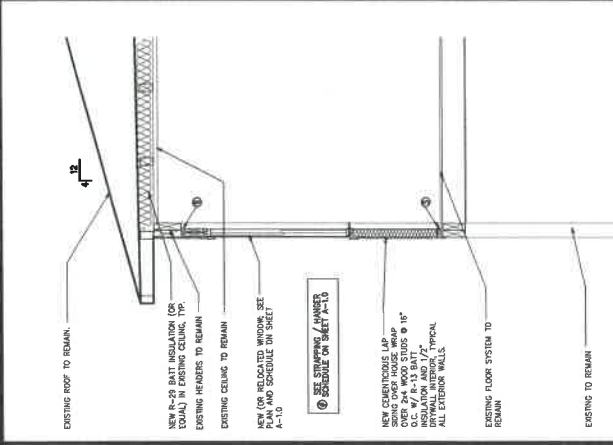
N. D. EYOU
 CONSULTING ENGINEER
 LICENSE NO. 100000000



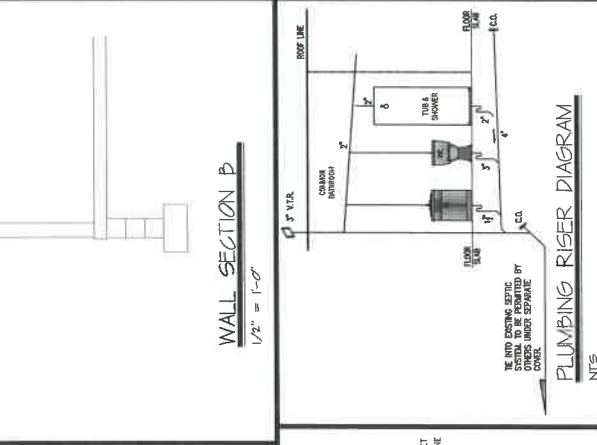
WALL SECTION C
 1/2" = 1'-0"



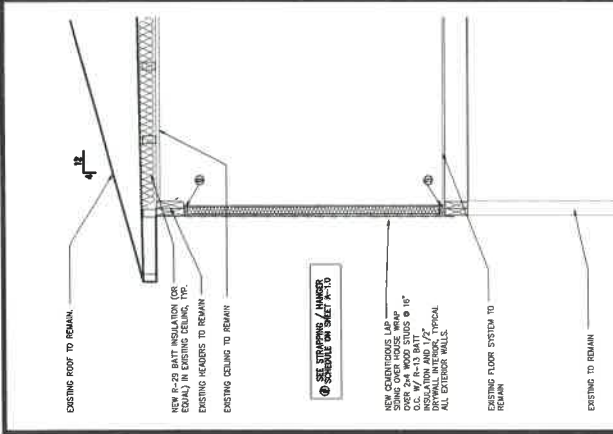
WALL SECTION D
 1/2" = 1'-0"



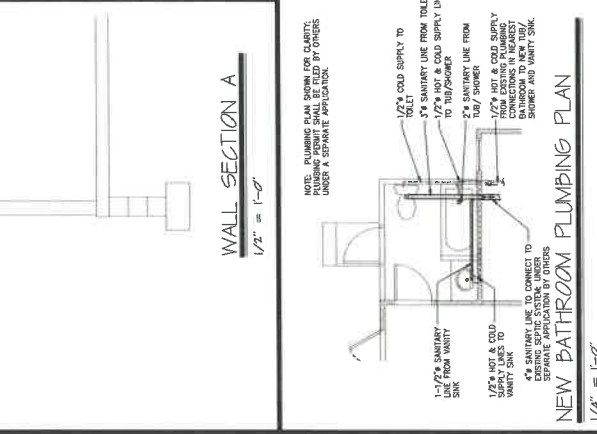
WALL SECTION B
 1/2" = 1'-0"



PLUMBING RISER DIAGRAM
 NTS



WALL SECTION A
 1/2" = 1'-0"



NEW BATHROOM PLUMBING PLAN
 1/4" = 1'-0"

THERMATRU EXTERIOR DOOR APPROVAL
FL # 19215

ThermaTru, Inc. is pleased to announce that the exterior door shown on this approval is now available in a new color, **White**. This color is available on all models of exterior doors. The color **White** is a new addition to the color palette and is available on all models of exterior doors. The color **White** is a new addition to the color palette and is available on all models of exterior doors.

THERMATRU
"THE REAL DOOR"

INSULATED INTERGLASS DOORS WITH WOOD TRIMMED

ThermaTru, Inc. is pleased to announce that the exterior door shown on this approval is now available in a new color, **White**. This color is available on all models of exterior doors. The color **White** is a new addition to the color palette and is available on all models of exterior doors.

MI 3500 HP SERIES SINGLE HINGE WINDOW APPROVAL
FL # 10941

Engineering Evaluation Report
Report No. 171718

Product Name: MI 3500 HP Series Single Hinge Window
Manufacturer: MI Windows and Doors, Inc.
Address: 311 Michigan and Dixon, Grand Rapids, MI 49503

MI 9710 SERIES CASEMENT WINDOW APPROVAL
FL # 95691

Engineering Evaluation Report
Report No. 171546

Product Name: MI 9710 Series Casement Window
Manufacturer: MI Windows and Doors, Inc.
Address: 311 Michigan and Dixon, Grand Rapids, MI 49503

GAF ASPHALT SHINGLE APPROVAL
FL # 10941

Engineering Evaluation Report
Report No. 171718

Product Name: GAF Asphalt Shingle
Manufacturer: GAF
Address: 1000 GAF Drive, Atlanta, GA 30328

GAF HIP VENT APPROVAL
FL # 69271

Engineering Evaluation Report
Report No. 171718

Product Name: GAF Hip Vent
Manufacturer: GAF
Address: 1000 GAF Drive, Atlanta, GA 30328

GAF ASPHALT SHINGLE APPROVAL
FL # 10941

Engineering Evaluation Report
Report No. 171718

Product Name: GAF Asphalt Shingle
Manufacturer: GAF
Address: 1000 GAF Drive, Atlanta, GA 30328

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FL # 69271

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Product Name: GAF Hip Vent
Manufacturer: GAF
Address: 1000 GAF Drive, Atlanta, GA 30328



REVISION	DESCRIPTION	DATE

ZONING DATA
PHYSICAL LOCATION:
826 OKDALE ST
WINDERMERE, FL 34786-8737

OWNER:
WILLIAM & ANNA HEADLEY
826 OKDALE ST
WINDERMERE, FL 34786-8737

PROPERTY USE:
0100 SINGLE FAMILY USE

PZS2-CANCEL IDENTIFICATION NUMBER:
#17-23-28-9398P-0190



N. D. EYOUB, PH.D., PE
Consulting Engineer
113 EAST GRANT STREET, SUITE 101
ORLANDO, FL 32811
Phone: (407) 746-8796
Email: jay@eyoubeengineering.com

PROJECT
RESIDENTIAL ADDITION & RENOVATIONS
826 OKDALE ST
WINDERMERE, FL 34786-8737

SHEET DESCRIPTION
FLORIDA PRODUCT APPROVALS & SPECIFICATIONS

SHEET NUMBER
A-4.0

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY N. D. EYOUB, PH.D., PE. THE DATE AND TIME OF SIGNATURE IS 06/07/2020 10:00:00 AM. THE SIGNATURE HAS NOT BEEN ELECTRONICALLY SIGNED AND SEALED AND THE SIGNATURE APPROVAL CODE MUST BE TYPED ON ANY ELECTRONIC COPIES.

REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NUMBER
14000

AS NOTED
CHD BY:
AN
DATE:
06/07/2020



REVISION	DESCRIPTION	DATE

ZONING DATA
 PHYSICAL LOCATION:
 826 OKDALE ST
 WINDERMERE, FL 34786-8737

OWNER:
 WILLIAM & ANNA HEADLEY
 928 OKDALE ST
 WINDERMERE, FL 34786-8737

PROPERTY USE:
 0100 SINGLE FAMILY USE

PARCEL IDENTIFICATION NUMBER:
 #17-23-25-8335-01-050

N. D. Eryou, PHD, PE
 Consulting Engineer
 115 EAST GRANT STREET - ORLANDO, FL 32808
 Phone: (407) 746-0392
 Email: nderyou@nderyouengineering.com

CAVNET CONSTRUCTION & DEVELOPMENT, INC.
 420 WINDLAND ROAD, SUITE 11
 ORLANDO, FL 32811
 SCOTT.ASBY@CAVNETCONSTRUCT.COM

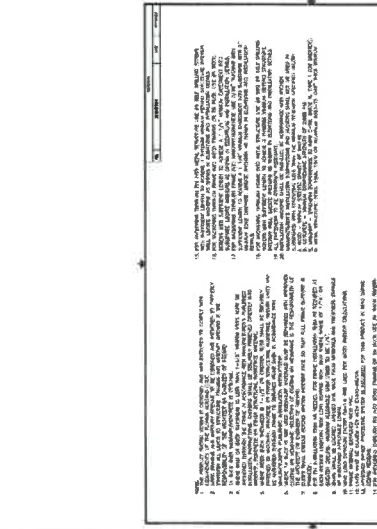
PROJECT
 RESIDENTIAL ADDITION & RENOVATIONS
 @
 826 OKDALE ST
 WINDERMERE, FL 34786-8737

SHEET DESCRIPTION
 DOOR & WINDOW
 INSTALLATION DETAILS

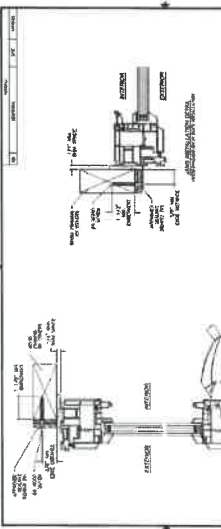
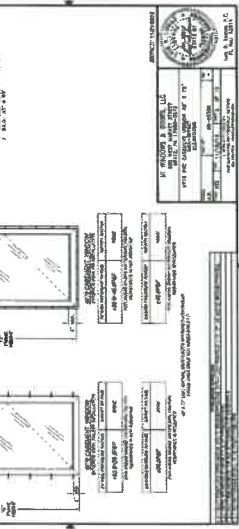
SHEET NUMBER
 A-4.1

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY N. DENISE ERYOU, CONSULTING ENGINEER, PROFESSIONAL ENGINEERING NO. 12457, STATE OF FLORIDA. THE SIGNATURE AND SEAL OF THE ENGINEER ARE REQUIRED FOR THIS DOCUMENT TO BE USED AS EVIDENCE IN ANY COURT OF LAW. THE SIGNATURE AND SEAL OF THE ENGINEER ARE NOT VALID UNLESS THEY ARE USED IN ACCORDANCE WITH THE FLORIDA STATUTES AND THE FLORIDA BOARD OF PROFESSIONAL ENGINEERING.

N. DENISE ERYOU
 PROFESSIONAL ENGINEERING NO. 12457
 DATE: 06/20/2020

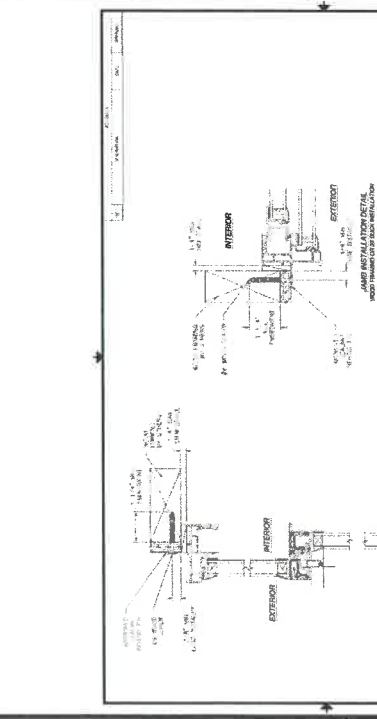


WINDERS AND DOORS, LLC
 1000 W. WINDY HILL BLVD.
 SUITE 1000
 WINDERMERE, FL 34786-8737
 PHONE: (407) 271-1111
 FAX: (407) 271-1112
 WWW.WINDERSANDDOORS.COM

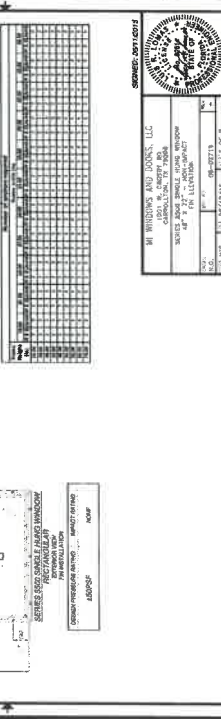
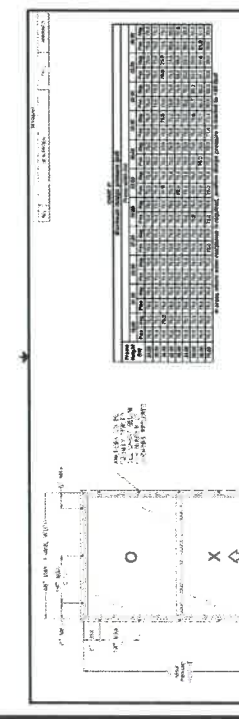


WINDERS AND DOORS, LLC
 1000 W. WINDY HILL BLVD.
 SUITE 1000
 WINDERMERE, FL 34786-8737
 PHONE: (407) 271-1111
 FAX: (407) 271-1112
 WWW.WINDERSANDDOORS.COM

CASEMENT WINDOW DETAILS
 NTS

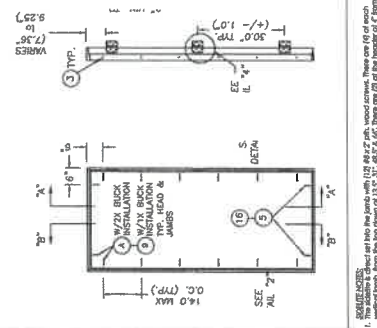


WINDERS AND DOORS, LLC
 1000 W. WINDY HILL BLVD.
 SUITE 1000
 WINDERMERE, FL 34786-8737
 PHONE: (407) 271-1111
 FAX: (407) 271-1112
 WWW.WINDERSANDDOORS.COM

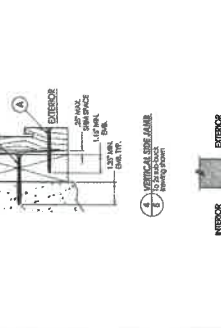
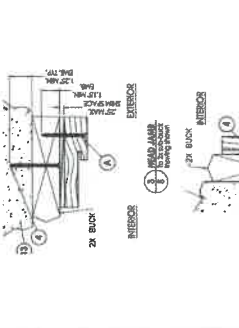


WINDERS AND DOORS, LLC
 1000 W. WINDY HILL BLVD.
 SUITE 1000
 WINDERMERE, FL 34786-8737
 PHONE: (407) 271-1111
 FAX: (407) 271-1112
 WWW.WINDERSANDDOORS.COM

SINGLE HUNG WINDOW DETAILS
 NTS



WINDERS AND DOORS, LLC
 1000 W. WINDY HILL BLVD.
 SUITE 1000
 WINDERMERE, FL 34786-8737
 PHONE: (407) 271-1111
 FAX: (407) 271-1112
 WWW.WINDERSANDDOORS.COM



WINDERS AND DOORS, LLC
 1000 W. WINDY HILL BLVD.
 SUITE 1000
 WINDERMERE, FL 34786-8737
 PHONE: (407) 271-1111
 FAX: (407) 271-1112
 WWW.WINDERSANDDOORS.COM

ENTRY DOOR FASTENING DETAILS
 NTS



tow@wadetrim.com

Encl.

Received

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: The request seems more than
reasonable to us.

Wade Trim

SIGNATURE:  DATE: 8-4-2020

MARTIN JOSEPH

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: Good luck w/ everything

Received

AUG 10 2020

Wade Trim

SIGNATURE:  DATE: 8/3/20

ALLEN MARK L

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

KESSLER RICHARD C
916 EAST BLVD
WINDERMERE, FL 34786

Received
AUG 11 2020
Wade Trim

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: _____ DATE: 8/2/20

KESSLER RICHARD C

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

FREEMAN CHRISTOPHER DAVID
729 MAIN ST
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%. **Wade Trim**

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: **DISAPPROVAL**

COMMENTS: _____

SIGNATURE:  _____ **DATE:** 7-27-2020

FREEMAN CHRISTOPHER DAVID

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received

Wade Trim

July 21, 2020

BELTRAME LORENZO
804 OAKDALE ST
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town@wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS:

I believe they will be adding to the value of their property, and therefore, the town -

SIGNATURE:

DATE:

8/3/2020

BELTRAME LORENZO

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

SUNSHINE VACATION RENTALS INC
1245 OAKDALE ST
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town@wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: _____ DISAPPROVAL

COMMENTS: My property at 916 Oakdale continues to flood because of poor drainage.

I would approve if the city makes sure storm drain at 9th & Oakdale is properly utilized to prevent flooding.

SIGNATURE: Thomas Fry DATE: 8/3/20

SUNSHINE VACATION RENTALS INC

Thomas Fry

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Wade Trim

Clerk
DOROTHY BURKHALTER

July 21, 2020

NURAL LLLP
8967 SAVANNAH PARK
ORLANDO, FL 32819

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

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Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
www.wadetrिम.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL:

COMMENTS: _____

SIGNATURE: Zeena Headley DATE: 7/28/20

NURAL LLLP

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor
JIM O'BRIEN

Wade Trim
Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

HAHN KIM S
905 MAIN ST
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town@wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: X DISAPPROVAL _____

COMMENTS: Good luck with your project!

SIGNATURE: [Signature] DATE: 7/27/2020

HAHN KIM S

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH **Wade Trim**

Clerk
DOROTHY BURKHALTER

July 21, 2020

FIOLA ARMAND J
720 MAIN ST
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

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Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: YES DISAPPROVAL _____

COMMENTS: WILL NOT BE VISIBLE FROM STREET OR SURROUNDING PROPERTIES !!!

SIGNATURE: *Fiola Armand J* DATE: 7/28/2020

FIOLA ARMAND J

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Wade Trim

Clerk
DOROTHY BURKHALTER

July 21, 2020

SIMAAN SIMON TOUFIC
812 EAST BLVD
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

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Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town@wadetrim.com
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE:  DATE: 7/26/2020

SIMAAN SIMON TOUFIC

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH **Wade Trim**
Clerk
DOROTHY BURKHALTER

July 21, 2020

LINCOLN TIMOTHY W
PO BOX 163
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town.wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: Jim Luit DATE: 7-29-20

LINCOLN TIMOTHY W

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Wade Trim

Clerk
DOROTHY BURKHALTER

July 21, 2020

NELSON WILLARD E ESTATE
258 MARION ST
INDIAN HARBOUR BEACH, FL 32937

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Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: X DISAPPROVAL _____

COMMENTS: _____

SIGNATURE: Emily Nelson DATE: 7/29/20

NELSON WILLARD E ESTATE

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH **Wade Trim**

Clerk
DOROTHY BURKHALTER

July 21, 2020

KEOWN W JAMES JR
836 MAIN ST
WINDERMERE, FL 34786

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Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town.wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: W James Keon DATE: 7/27/20

KEOWN W JAMES JR

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

RICKERSON LANCE L LIFE ESTATE
884 MAIN ST
WINDERMERE, FL 34786

Received
JUL 29 2020
Wade Trim

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Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: Elle Rickerson DATE: 7-25-2020

RICKERSON LANCE L LIFE ESTATE

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received

JUL 20 2020

Wade Trim



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

WHITTINGTON BETTY C
935 MAIN ST
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: Betty C. Whittington DATE: 7/24/20

WHITTINGTON BETTY C

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Received
JUL 29 2020

Wade Trim

July 21, 2020

FLORES HUMBERTO SR
4524 WOODLOT CT
ORLANDO, FL 32835

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town@wadetrim.com
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: Humberto Flores DATE: 7/25/2020

FLORES HUMBERTO SR

RECOMMEND - Z20-10 (826 Oakdale Street)

Received

APPROVAL: DISAPPROVAL

COMMENTS: Wade Trim

SIGNATURE: B. Stuart August DATE: 7/29/20

ROGERS BRYAN STUART

RECOMMEND - Z20-10 (826 Oakdale Street)

Received

APPROVAL: DISAPPROVAL

AUG 4 2020

COMMENTS: Wade Trim

SIGNATURE: Nicholas James III DATE: 7/29/20

SCHMIDT NICHOLAS JAMES III

RECOMMEND - Z20-10 (826 Oakdale Street)

Received

APPROVAL: DISAPPROVAL

COMMENTS: No problem with variance.

SIGNATURE: Jay W fur DATE: 7-27-2020


LAKE JAY W

Wade Trim

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL: **DISAPPROVAL**

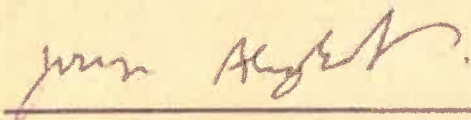
COMMENTS: _____

SIGNATURE:  **DATE:** 7/29/2020

DUNBAR LOIS

Date 6/7/20

The undersigned neighboring owner has no objection to the proposed bathroom addition of the Headley residence at 826 Oakdale Street, notated on the attached document as "Area of Work 1".



Joe and Elizabeth Alenghat

812 Oakdale Street

Windermere, FL 34786

Date: 6/8/20

The undersigned neighboring owner has no objection to the proposed bathroom addition of the Headley residence at 826 Oakdale Street, notated on the attached document as "Area of Work 1".

Fernando P. Gilvico

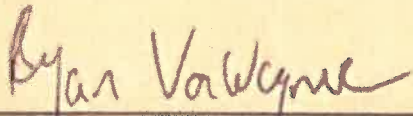
Gilvico Consulting LLC

830 Oakdale Street

Windermere, FL 34786

Date 6/7/20

The undersigned neighboring owner has no objection to the proposed bathroom addition of the Headley residence at 826 Oakdale Street, notated on the attached document as "Area of Work 1".



Tenant: RYAN VAWAGNER

On behalf of owners:

Laura and David Hinshaw

825 Oakdale Street

Windermere, FL 34786

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 21, 2020

DE ALMEIDA BRITO SEGUNDO EDSON
915 MAIN ST
WINDERMERE, FL 34786

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Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

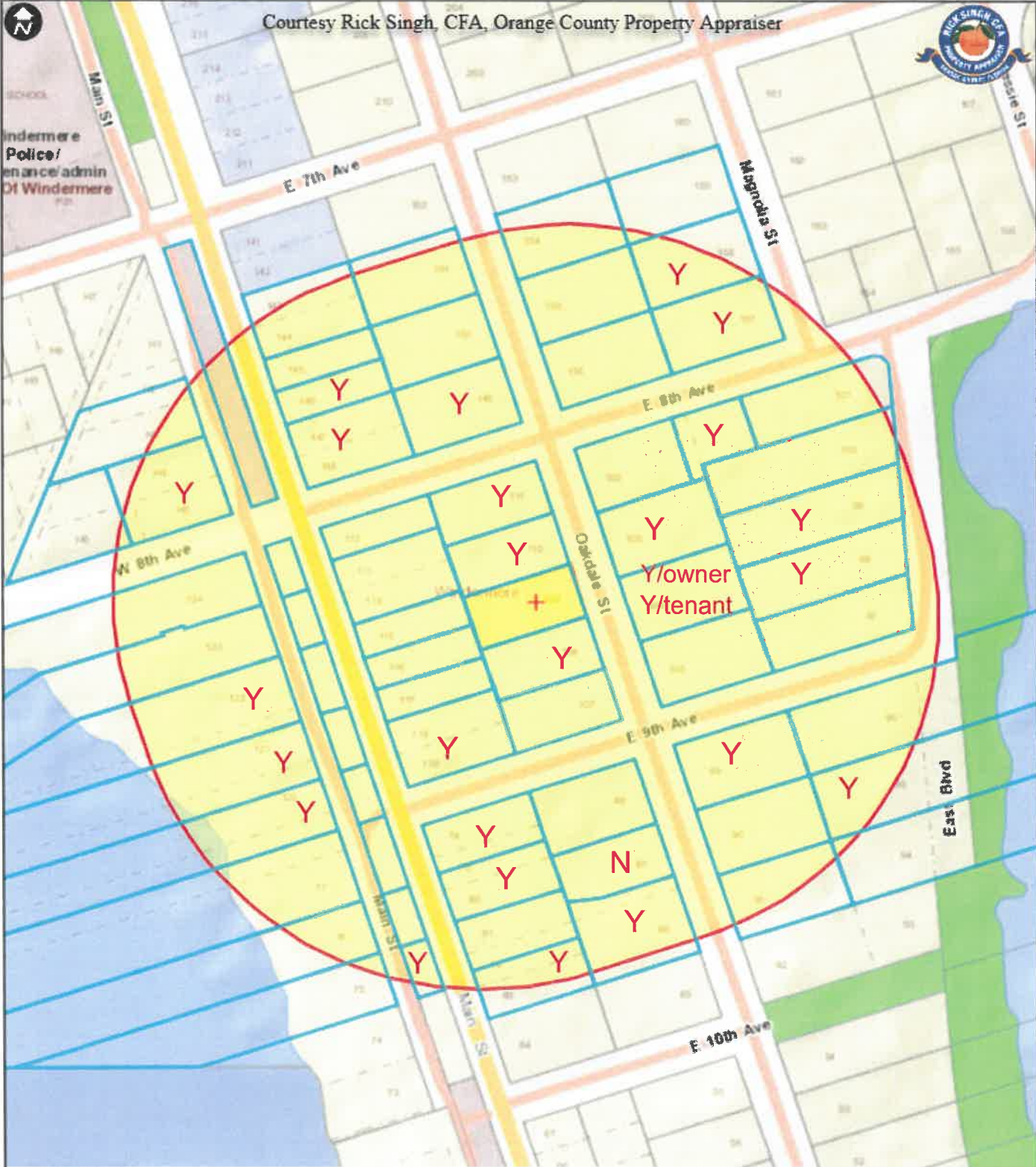
APPROVAL: DISAPPROVAL:

COMMENTS: ITS ON WILL NOT BE VISIBLE FROM OUTSIDE PROPERTIES / NOT INCREASE CONGESTION

SIGNATURE:  DATE: 08/13/20
DE ALMEIDA BRITO SEGUNDO EDSON

OCPA Web Map

Major Roads	Proposed Ros	Block Line	Commercial/ Institutional	Hydro	Golf Course
Florida turnpike	Brick Road	Lot Line	Governmental/ Institutional/ Misc	Waste Land	Lakes and Rivers
Interstate 4	Gated Roads	Rail Road	Commercial/ Industrial	County Boundary	Building
Toll Road	Road Under Construction	Proposed Sunfall	Vacant Land	Parks	Hospital
		Agriculture	Agricultural Curtilage		



Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Development Review Board August 18, 2020

Town Council September 8, 2020

Case No.: Z20-11

Applicant/Representative: Lewis and Janet Ashenheim

Property Owners: Lewis and Janet Ashenheim

Requested Action: Variance to allow for an increase of floor area to an existing nonconforming detached garage with an existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is 10%, which for this detached structure is 138 square feet.

Property Address: 11214 Lake Butler Blvd. Windermere, FL 34786

Legal Description: METCALF PARK H/59 COMM NW COR LOT 166 W 578.89 FT FOR POB TH W 135 FT TH S 07 DEG W 600 FT M/L TO S LINE OF N1/2 OF NE1/4 OF SEC 07-23-28 TH E TO A POINT S 02 DEG E 590 FT FROM POB TH N 02 DEG W 590 FT TO POB (A/K/A TRACT F)

Future Land Use/Zoning: Residential/Residential

Existing Use: Residential (Single Family)

Surrounding Future Land Use/Zoning

North: Residential/Residential
East: Residential/Residential
South: Lake Butler
West: Residential/Residential

CASE SUMMARY:

The applicant requests to allow for an increase of floor area to an existing nonconforming detached garage with an existing guest suite beyond the 10% floor area limitation. The detached garage is non-conforming due to it being located in the front yard and not meeting the required side setback. The Town only allows accessory structures to be in a side or rear yard. The required side setback for this property is 14.2 feet, and the existing detached garage at the southwest corner is slightly over 11.5 feet from the side property line. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is 10%, which for this detached structure would be 138 square feet.

The total lot area is 58,370 square feet. The total proposed floor area of the detached garage/structure is 2,860. The total proposed floor area ratio (FAR) onsite, including the main home, is 9,408 square feet. The total floor area ratio (FAR) is 16%. The Town's allowable FAR is 38%. The total proposed impervious surface area ratio (ISR) is 31%. The Town's allowable ISR is 45%.

Division 10.02.00 of the LDC empowers the Development Review Board to review and make recommendations for approval, approval with conditions or denial to the Town Council on variance requests.

Division 10.02.00 of the LDC requires the Town Council to consider the recommendation of the Development Review Board and to take final action to either approve or deny the variance request.

CASE ANALYSIS:

Section 10.02.02 of the LDC provides the specific standards by which the Development Review Board and Town Council are to review to consider the approval or denial of a variance application. In addition, this Section requires a positive finding, based on substantial competent evidence, for each of the standards. These standards are summarized as follows:

1. The need for the variance arises out of the physical surroundings, shape, topographical condition or other physical or environmental conditions that are unique to the subject property. Variances should be granted for conditions peculiar to the property and not the result of actions of the property owner;

2. There are practical or economic difficulties in carrying out the strict letter of the regulation;
3. The variance request is not based exclusively upon a desire to reduce the cost of developing the site;
4. The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire or other hazard to the public;
5. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site;
6. The effect of the proposed variance is in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code; and
7. The variance will not encourage further requests for changes where such a land use would not be deemed appropriate.

It is also important to note that this Section also provides specific standards that are not to be considered in the review of a variance application. These standards are:

1. That the implementation of these regulations would impose an economic hardship on the cost of the building or redevelopment project;
2. That these regulations impose a hardship by decreasing the maximum density of a property in terms of the number of units, square footage of buildings, etc.; and
3. That other adjacent lands, structures or buildings not in conformance with these regulations provide a rationale for a lessening of their application in this specific case.

Section 10.02.02(c) of the LDC allows the imposition of conditions and restrictions as may be necessary to allow a positive finding to be made on any of the variance standards to minimize the negative effect of the variance. The conditions and restrictions should further the interest of the LDC.

The applicant submitted a site plan and other materials in support of the variance request. The following is a summary of the information provided by the applicant in support of their variance request:

1. This is a unique large lakefront lot: Privacy walls up front, guest house/ garage in the front, pool in the middle of the main house (located at the rear of the property) and the guest house (located at the front);

2. The size of the detached dwelling unit does not meet their family's needs and must be expanded. There are no other alternative locations on the property to build the additional space required.
3. The reason for the variance request is the existing detached structure was built in front of the main structure and created a non-conforming condition, Not by any fault of current owners.
4. This variance request was not caused by anything that owners created.
5. It will not allow any special privileges for other similar homeowners to enjoy the same rights and usages of their properties
6. This variance will not visually block any of the main house and will be an enhancement to the overall design.

PUBLIC NOTICE:

Public notices were mailed to property owners within 500 feet of the subject property (31 notices sent). As of August 31, 2020, 14 responses were returned in support and 2 returned in opposition. The neighbor adjacent to the location of the proposed addition submitted a letter of opposition through their attorney to the request. The attorney's letter of opposition is included with the attached responses.

DEVELOPMENT REVIEW BOARD RECOMMENDATION:

On August 18, 2020, the Development Review Board (DRB) held a public hearing to consider the subject variance to expand the non-conforming detached garage/guesthouse. Based on testimony provided in the staff report and at the DRB public hearing, there was a motion and second by the DRB to deny the variance based on the lack of evidence that demonstrated a hardship related to the property not the result of the actions of the applicant. The DRB motion was also based on the availability of a reasonable alternative to provide for additional living area by expanding the existing home as opposed to expanding the detached garage/guesthouse. The DRB vote on the motion was a tie at 2 in favor of the denial and 2 in opposition to the denial. Due to the tie vote, the motion failed, and no recommendation is provided to the Town Council.

To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Due to our Family needs and space requirements, we require additional space to be added to our existing detached dwelling unit. The first floor of this unit is all garage/ storage. The second floor of this unit is too small and not functional and does not meet the needs of our family.

This is a unique large lakefront lot: Privacy walls up front, guest house/ garage in the front, pool in the middle of the main house (located at the rear of the property) and the guest house(located at the front)

The size of the detached dwelling unit does not meet our family's needs and must be expanded. There are no other alternative locations on our property to build the additional space required.

The reason for the variance request is the existing detached structure was built in front of the main structure and created a non-conforming condition, Not by any fault of ours.

This variance request was not caused by anything that we as owners created. It will not allow any special privileges for other similar homeowners to enjoy the same rights and usages of their properties. This variance will not visually block any of the main house and will be an enhancement to the overall design.

We therefore request a variance to allow for a 1,474 sq. ft. addition to the front of the detached dwelling unit in the location as described on our site plan.

Thank you for your consideration.

Lewis and Janet Ashenheim

HOUSE DETAILS:

Gross area of total:	7,934
Gross area of main home:	6,548
Gross area of existing detached structure:	1,386
Proposed addition to detached structure	<u>1,474</u>
Proposed total size of detached structure (43.7%)	2,860
Allowable size for detached structure 45%	2,946
Lot Area:	58,370
Allowable FAR: (38%)	22,180
Proposed FAR: (16%)	9,408
Allowable Impervious ISR (45%)	26,266
Proposed total Impervious: (31%)	18,100

ALLOWABLE EXPANSION FOR A NON-CONFORMING STRUCTURE:

10% OF THE MAIN GROSS AREA: 654 SQ. FT

VARIANCE REQUEST TO ALLOW FOR A 1,474 sq. (22.5%) ADDITION TO THE FRONT OF THE EXISTING DETACHED DWELLING.

DETACHED ACCESSORY BUILDING/DWELLING UNIT REQUIREMENTS:

1. The accessory building must be located in the side or rear yard.

REQUESTING A VARIANCE TO BE ABLE TO EXPAND THE DETACHED STRUCTURE TO THE FRONT. THIS IS THE ONLY LOCATION POSSIBLE FOR THIS ADDITION. THE NEW ADDITION MEETS THE 14.2' SIDE SETBACK AND THE 25' FRONT SETBACK.

2. The impervious area and gross floor area for the site includes the area of the accessory building.

ALL IMPERVIOUS AND FAR REQUIREMENT ARE MET.

3. The accessory dwelling unit must be no closer than ten feet to the principal building or any other accessory building.

THE EXPANSION IS MORE THAN 10' AWAY FROM ANY ADJACENT STRUCTURE

4. The accessory dwelling unit may not exceed 45 percent of the gross square feet of the principal building.

THE TOTAL COMBINED SIZE OF THE NEW DETACHED STRUCTURE IS LESS THAN THE ALLOWABLE 45%

5. The accessory dwelling unit shall be located within the building envelope for the lot or parcel.

THE EXISTING DWELLING UNIT CANNOT MOVE. THE NEW ADDITION MEETS ALL OF THE SIDE AND FRONT SETBACKS AS REQUIRED. ASKING FOR A VARIANCE TO GO ABOVE THE 10% ALLOWABLE EXPANSION FOR A NONCONFORMING STRUCTURE: ASKING FOR

6. The accessory dwelling unit shall be designed to be similar in appearance to the principal building.

THE ADDITION WILL HAVE ALL OF THE SAME DETAILS, ROOF SHINGLES, FASCIA, STONE, SIDING, WINDOWS, TRIM AND BE VERY SIMILAR IN APPEARANCE TO THE MAIN BUILDING

ARACE DESIGNS, LLC, HEREBY PRESERVES ITS COMMON LAW COPYRIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE IDEAS, DESIGNS, AND PLANS ARE NOT TO BE COPIED OR CHANGED IN ANY MANNER OR FORM WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION FROM ARACE DESIGNS, LLC.

REVISIONS 1

The Ashenheim
Residence
11214 Lake Butler Blvd.

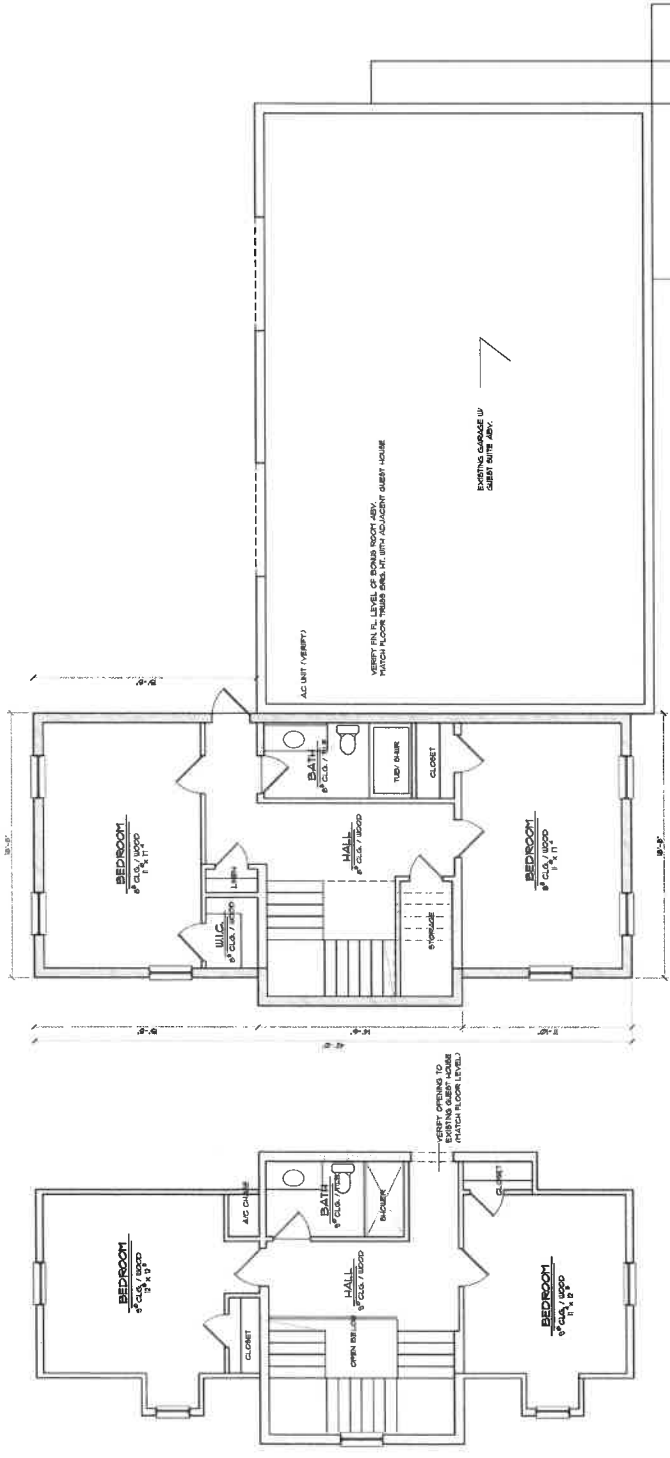
ARACE DESIGNS, LLC
3563 TERRA OAKS COURT
LONGWOOD, FL 32779
(407) 774-2468
www.aracedesigns.com
American Institute
of Building Design

JOB NUMBER
DATE
7/15/20
DRAWN
D.A.A.
SHEET
2

FLOOR
PLANS

SCALE

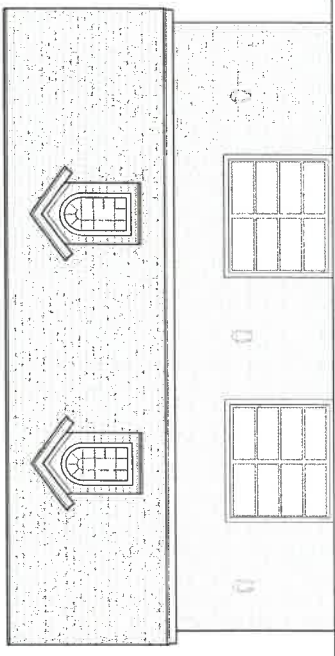
NOTES: INTERIORS SHALL HAVE FINISHES OVER EXISTING STRUCTURES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB AND SHALL NOTIFY IN WRITING IMMEDIATELY IN THE EVENT ANY DISCREPANCIES OR VARIATIONS FROM THE DIMENSIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.



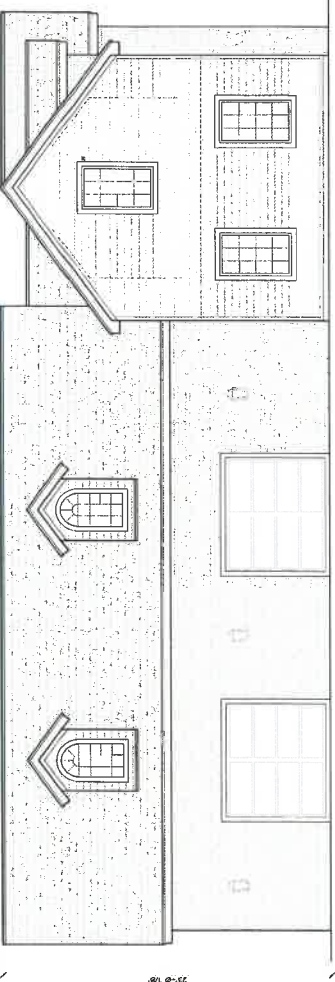
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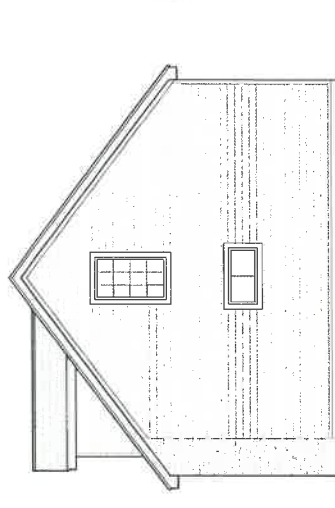
REVISIONS:



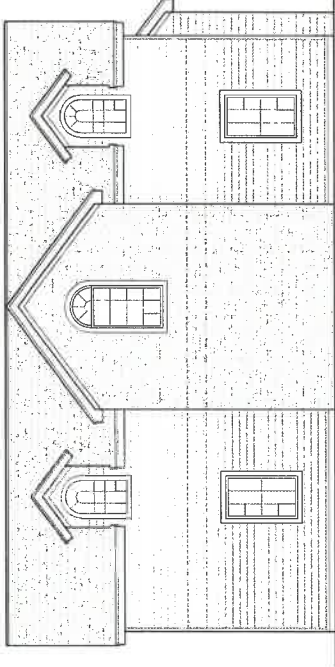
EXISTING SIDE ELEVATION 1/4" = 1'-0"



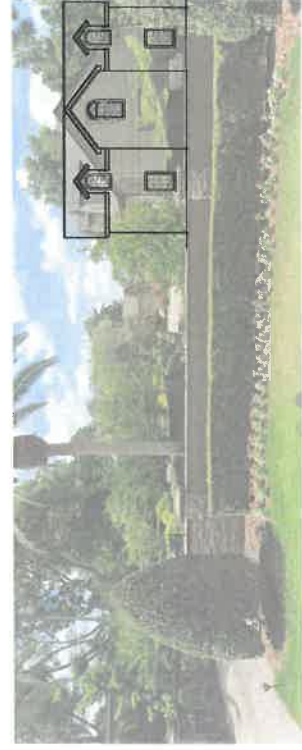
PROPOSED SIDE ELEVATION 1/4" = 1'-0"



EXISTING SIDE ELEVATION 1/4" = 1'-0"



PROPOSED SIDE ELEVATION 1/4" = 1'-0"



STREET VIEW

OWNER REPRESENTATIVE SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CONDITIONS OF THE PROJECT AND THE SITE. CONSULTOR SHALL VERIFY ALL INFORMATION AND CONDITIONS OF THE PROJECT AND THE SITE. CONSULTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CONDITIONS OF THE PROJECT AND THE SITE. CONSULTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CONDITIONS OF THE PROJECT AND THE SITE.

The Ashenheim
Residence
11214 Lake Butler Blvd.

ARACE DESIGNS, LLC
3663 TERRA OAKS COURT
LONGWOOD, FL 32779
(407) 774-2485
www.aracedesigns.com
ARACE DESIGNS
American Institute
of Building Design

JOB NUMBER
DATE
7/15/20
DRAWN
D.A.A.
SHEET
3

EXTERIOR
ELEVATIONS

SEAL

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: X DISAPPROVAL _____

COMMENTS: Looks like a lovely addition to the home

Received

Wade Trim

SIGNATURE: [Signature]

DATE: 8/2/2020

OLES HEATHER H

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: X DISAPPROVAL _____

Receiver

COMMENTS: _____

AUG 6 2020

Wade Trim

SIGNATURE: [Signature]

DATE: 8/1/2020

BRADACH KIRK S

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: ✓ DISAPPROVAL _____

COMMENTS: I hope it turns out well!

Received

SIGNATURE: [Signature]

DATE: 8/1/20

SIMMONS DIANNE CARROLL

Wade Trim

APPROVAL: [Signature] DISAPPROVAL _____

COMMENTS: Add additional Landscape to buffer Lake Butler road view.

Received

SIGNATURE: [Signature]

DATE: 8.3-2020

HAAG EMMETT TODD

Wade Trim

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

SIMS JOSEPH D
11155 LAKE BUTLER BLVD
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11

Lewis and Janet Ashenheim, owners of 11214 Lake Butler Blvd., submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of floor area to an existing nonconforming detached garage with existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is a 10%, which for this detached structure would be 138 square feet.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: X DISAPPROVAL _____

COMMENTS:

all the best!!

SIGNATURE: Joseph D Sims DATE: 8-6-2020

SIMS JOSEPH D

Town of Windermere
614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Received
AUG 11 2020
Wade Trim

Mayor
JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

NUNNELLEY MICHELE A
11137 LAKE BUTLER BLVD
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tw@wadetrim.com
Encl.

RECOMMEND -- Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: X DISAPPROVAL _____

COMMENTS: _____

SIGNATURE: Michele A Nunnelley DATE: 8/6/2020
NUNNELLEY MICHELE A

To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Please see the attached letter in favor of our variance request from our neighbor.

I Robert Sorenson who reside at 3348 South Lake Butler Blvd.

Have no objections and recommend approving the variance request for the proposed front addition for Lewis and Janet Ashenheim who live at 11214 Lake Butler Blvd. The new addition is well behind the front setback and does not have any negative impact to the street or neighborhood.

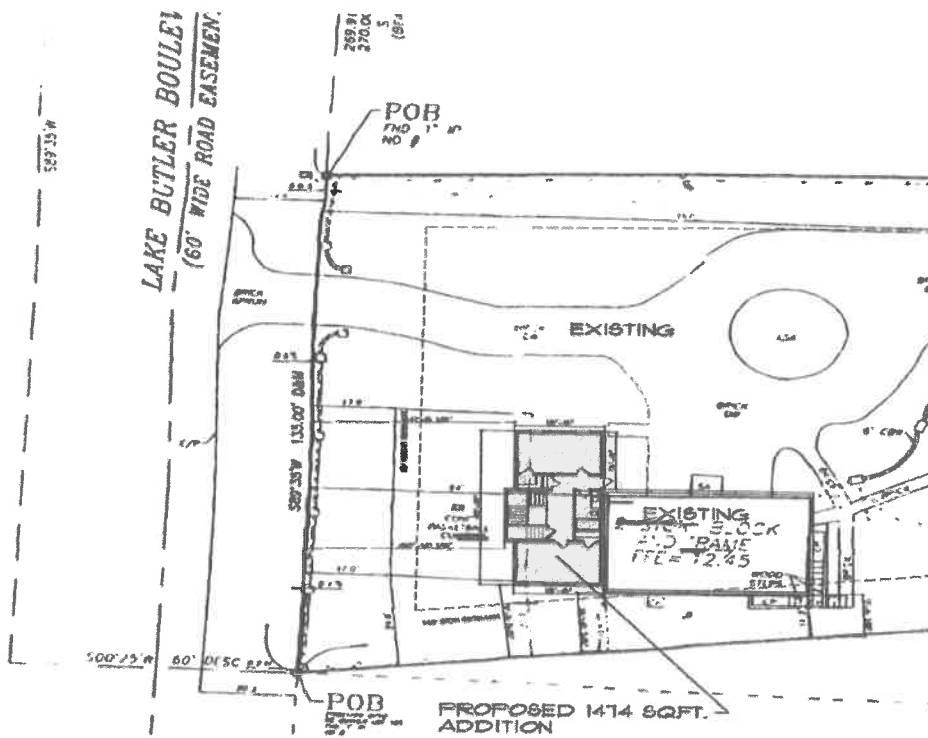
I vote in favor of this variance request.

Please contact me if you have any other questions.

Thank you



CC: Lewis and Janet Ashenheim



Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

VERNACE BARTHOLOMEW
3313 JUST A MERE CT
WINDERMERE, FL 34786

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
tow@wadetrim.com
Encl.

RECOMMEND – Z20-11 (11214 Lake Butler Blvd.)

conditional
APPROVAL: DISAPPROVAL:

COMMENTS: *the expansion is not used for any rental including Air BNB or similar rental venues.*

SIGNATURE: *Vernace Bartholomew* DATE: *8/10/20*

VERNACE BARTHOLOMEW

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

STEFFES WILLIAM E
3325 JUST A MERE CT
WINDERMERE, FL 34786

Received
AUG 14 2020
Wade Trim

RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11

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Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
low@wadetrim.com
Encl.

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: DISAPPROVAL

COMMENTS: _____

SIGNATURE: _____

DATE: _____

STEFFES WILLIAM E

8/8/2020



JONATHAN P. HUELS

jonathan.huels@lowndes-law.com
215 North Eola Drive, Orlando, Florida 32801-2028
T: 407-418-6483 | F: 407-843-4444
MAIN NUMBER: 407-843-4600



August 14, 2020

Brad Cornelius, AICP
Town Planner
Town of Windermere, FL
201 N. Franklin Street
Suite 1350
Tampa, FL 33602

Re: Opposition to Variance Request for 11214 Lake Butler Blvd. Z20-11

Dear Mr. Cornelius:

I am writing you and members of the Development Review Board today on behalf of my client, Richard Shure (11222 Lake Butler Blvd.), to inform you of his objection to Janet and Lewis Ashenheim's plan to increase the size of the non-conforming detached garage (the "Garage") on their residence at 11214 Lake Butler Blvd. Mr. Shure resides in his home immediately adjacent to the Ashenheim's property with the shared property boundary being only a few feet from the Garage that is proposed to be expanded.

As you are aware, the Ashenheims have submitted a site plan that proposes to increase the total floor area of the non-conforming Garage by 1,474 ft. – a 106% increase. To accomplish this, the Ashenheims have sought a variance from Section 10.01.03 of the Town's Code (the "Variance Request"), which prohibits increasing the floor area ratio of a nonconforming structure by more than 10%. Thus, the Ashenheims are seeking an increase **nearly 10 times greater than what is permitted under the Land Development Code.**

For several reasons, the Development Review Board (the "Review Board") should deny the Ashenheims' Variance Request. First, the Ashenheims' Variance Request does not satisfy any of the requirements set forth under Section 10.02.02 of the LDC. In fact, the Variance Request fails to pass the "initial determination" criteria set forth in the LDC, as it:

- does not "arise out of the physical surroundings, shape, topographical condition or other physical or environmental conditions that are unique to the specific property involved";
- is contrary to the public interest; and



- could result in similar variance requests from numerous other property owners.

With respect to the “initial determination” criteria, there is nothing peculiar or unique about the physical characteristics of the Ashenheims’ property that would justify granting the Variance Request. As can be clearly seen in the aerial of the neighborhood enclosed herein as Exhibit “A,” each of the Ashenheims’ neighbors, including Mr. Shure, are similarly situated along Lake Butler in that the location of the principal residence would not allow for an accessory building to be located in the side or rear yards. As such, if the Review Board granted the Ashenheims’ variance request, there would be no reason why it should not grant similar requests from the Ashenheims’ neighbors. Such a result would be contrary to the intent of the LDC and the public interest.

Even if the Variance Request could satisfy the “initial determination” criteria (which it does not), it fails to meet the “required findings” variance criteria under Section 10.02.02(b) of the LDC. For instance:

- there are not “*practical or economic difficulties in carrying out the strict letter of the regulation*”;
- the proposed variance will substantially diminish property values;
- the proposed variance is not “*in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code*”; and
- the proposed variance will encourage further requests for changes where such a land use would not be deemed appropriate.

There are not “practical or economic difficulties in carrying out the strict letter of the regulation.” As justification for their Variance Request, the Ashenheims asserted, “the second floor of this unit is too small and not functional and does not meet the needs of our family.” Such a justification does not constitute the sort of practical or economic difficulties that would justify a variance from the LDC, let alone the substantial variance sought by the Ashenheims in their Variance Request that would allow four (4) additional bedrooms to be constructed on the property.

The proposed variance will substantially diminish property values. While the addition of four bedrooms to the existing Garage may increase the value of the Ashenheim’s property, it will have the opposite effect on the neighboring community. The transformation of the property from a single residence to multiple residences in multiple structures will negatively impact the character of the surrounding single-family neighborhood and, consequently, diminish property values.

The proposed variance is not “in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code.” The Variance Request is plainly at odds with the intent of Section 10.01.03 of the Town’s Land Development

Code ("LDC"), which provides: "[i]t is the intent of this Land Development Code to permit those nonconformities that existed on June 10, 1975, to continue until they are removed, **but not to encourage their survival.** Those few structures **shall not be enlarged upon, expanded or extended.**" (emphasis added). The Ashenheims' plan, which would more than double the size of the nonconforming Garage and almost ten (10) times greater than what is permitted under the LDC, is plainly at odds with the Town's policy against the enlargement, expansion, or extension of nonconforming structures. As a result, the Variance Request is not in harmony with the specific intent of the relevant portions of the LDC and should be denied.

The proposed variance will encourage further requests for changes where such a land use would not be deemed appropriate. As discussed above, each of the Ashenheims' neighbors, including Mr. Shure, are similarly situated along Lake Butler in that the location of the principal residence would not allow for an accessory building to be located in the side or rear yards. As such, if the Review Board granted the Ashenheims' variance request, there would be no reason why it should not grant similar requests from the Ashenheims' neighbors and other residents of the Town to allow for accessory structures and dwelling units to be located in the front yard of their residences.

In addition, the Variance Request would substantially burden Mr. Shure's property in particular. Presently, the Garage currently spans approximately 47 linear feet adjacent to Mr. Shure's property. If the Variance is granted and the Garage further expanded then it would span approximately 65 linear feet adjacent to Mr. Shure's property.

Moreover, in addition to the Garage, the Ashenheims have a separate detached structure that was not included in their site plan or any of the materials submitted with the Variance Request (the "Third Structure"). Enclosed herein as Exhibit "B" is an image of the Third Structure. Also enclosed herein as Exhibit "C" is approximately where the Third Structure should have been identified on the site plan. As such, the Review Board should question the calculations provided by the Ashenheims as well as the reason why the Third Structure was not identified on the site plan.

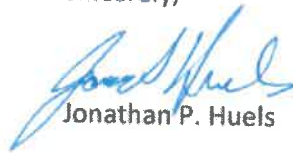
Finally, there is a discrepancy between the lot area listed by the Ashenheims on their site plan and the actual lot area calculated using the measuring tool on the Property Appraiser's website. On their site plan, the Ashenheims list the lot area as 58,783 s.f. However, using the measuring tool on the Property Appraiser's website, the actual lot area is approximately 41,554 s.f. Enclosed herein as Exhibit "D" is the lot area calculation from the Property Appraiser's website. Since the lot area impacts the calculation of the development standards (e.g., Floor Area Ratio, Impervious Surface Ratio, Allowable Detached Structure Size), staff and the Review Board should verify the accuracy of the calculations presented by the Ashenheim's in support of the Variance Request.

August 14, 2020

Page 4

For the foregoing reasons, Mr. Shure is opposed to the Variance Request and respectfully requests that the Development Review Board recommend denial. If you have any questions about or would like to discuss any of the matters discussed herein, then please do not hesitate to call me.

Sincerely,



Jonathan P. Huels

JPH/lak
Enclosures

EXHIBIT "A"



EXHIBIT "B"

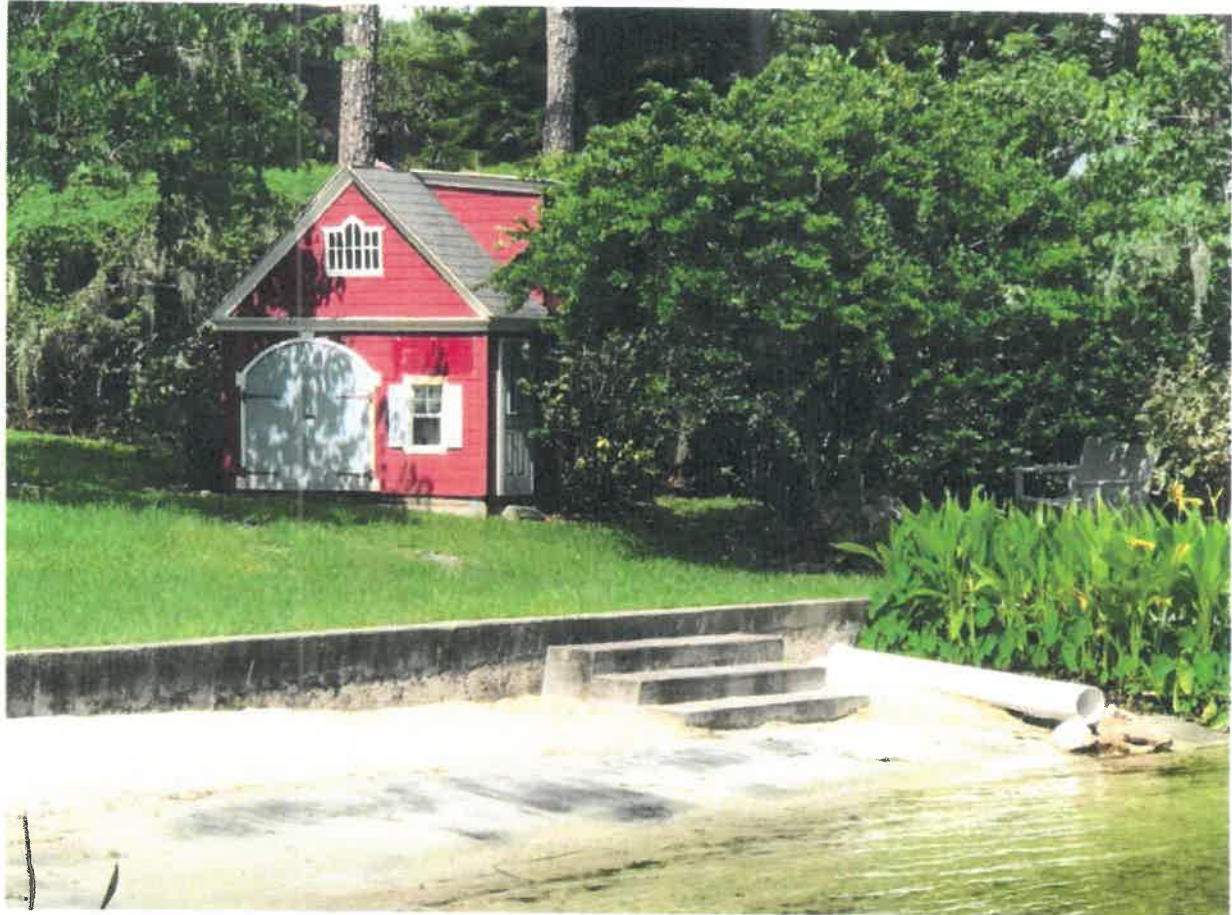


EXHIBIT "C"

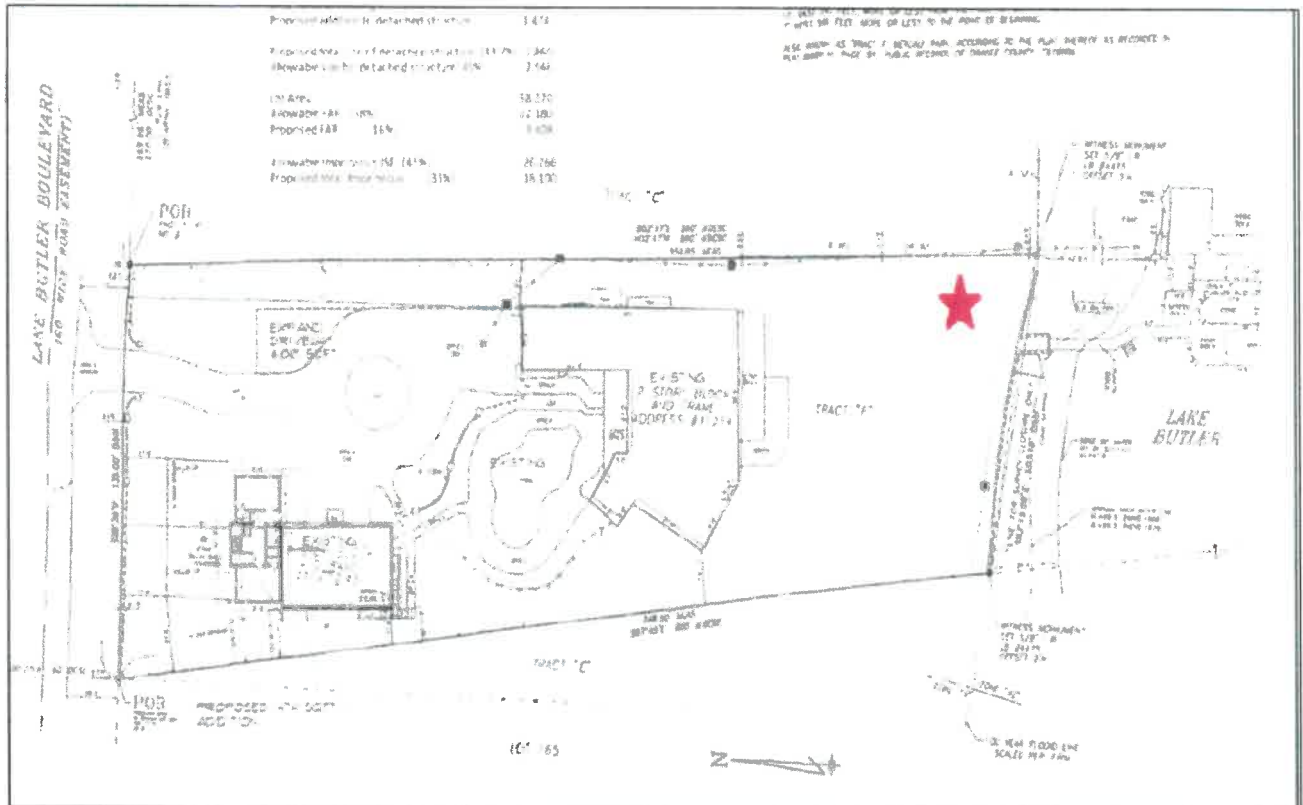
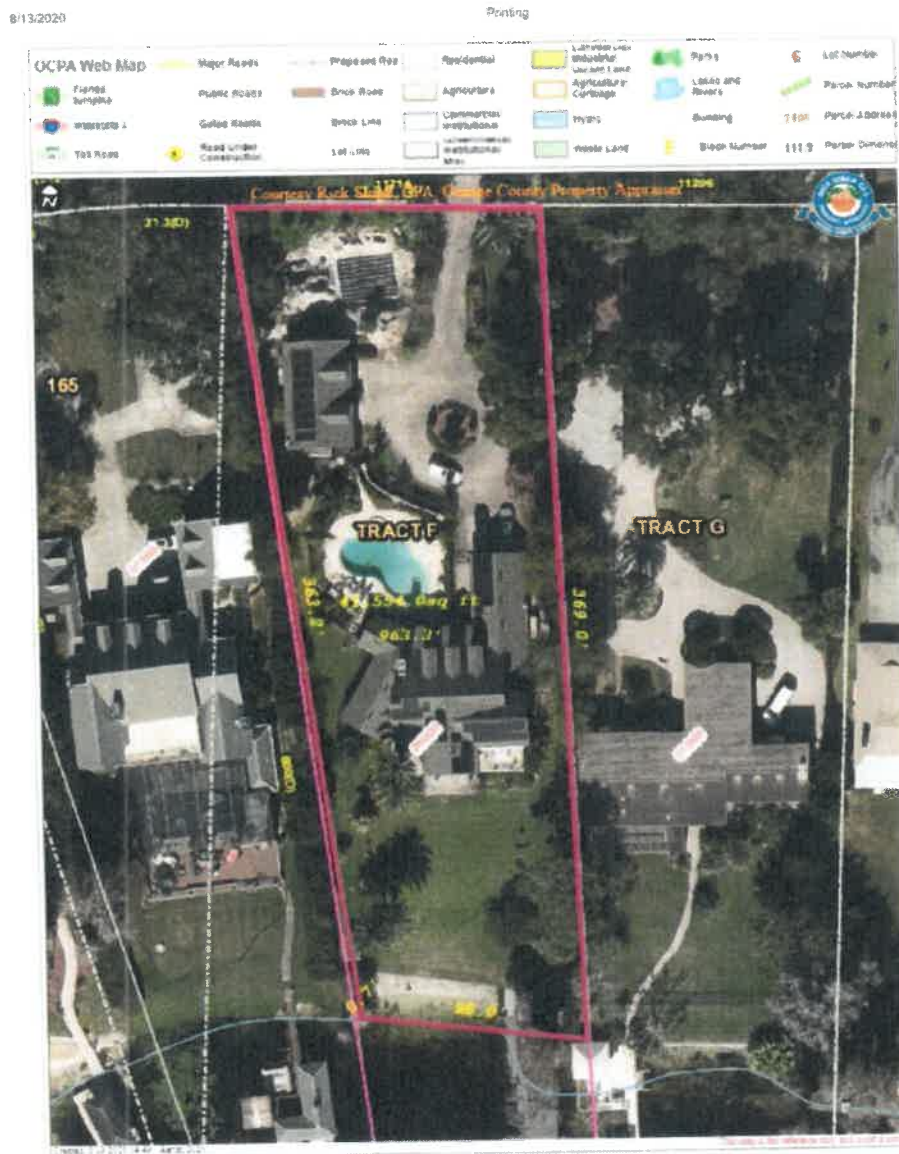


EXHIBIT "D"



Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor
JIM O'BRIEN

Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

July 29, 2020

STRUBE RICHARD
11308 LAKE BUTLER BLVD
WINDERMERE, FL 34786

RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11

Lewis and Janet Ashenheim, owners of 11214 Lake Butler Blvd., submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of floor area to an existing nonconforming detached garage with existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is a 10%, which for this detached structure would be 138 square feet.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,
Brad Cornelius, AICP, Town Planner
Wade Trim, Inc.
813.882.4373
town@wadetrim.com
Encl.

BCornelius@wadetrim.com

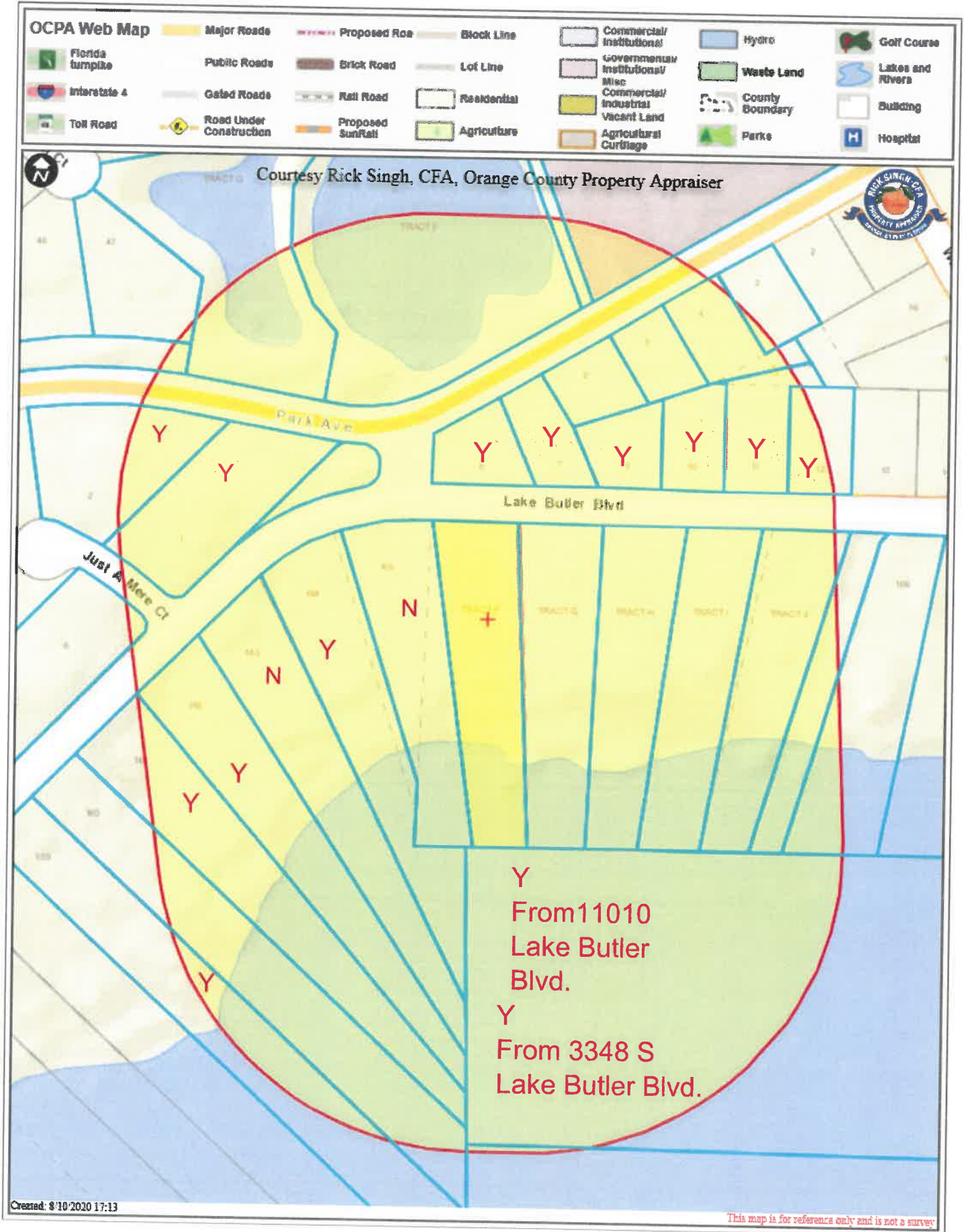
RECOMMEND – Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: _____ DISAPPROVAL: X

COMMENTS: Seems like a very large guest house. Would look like 2 large houses on one lot from the road.

SIGNATURE: *Richard Strube* DATE: Aug 13, 2020

STRUBE RICHARD



TOWN OF WINDERMERE

Town Council Meeting Minutes
(Virtual Meeting Covid-19)

August 11, 2020

CALL TO ORDER:

Present were Mayor Jim O'Brien, Council Members Bill Martini, Bob McKinley, Andy Williams, Chris Sapp, and Liz Andert. Town Attorney Heather Ramos, Town Manager Robert Smith, Deputy Chief Jennifer Treadwell, Public Works Director Scott Brown, and Town Clerk Dorothy Burkhalter were also present.

Mayor O'Brien called the meeting to order at 6:01pm and stated all Council members were present.

Member McKinley led everyone in the Pledge of Allegiance. Mayor O'Brien then gave the invocation.

1. OPEN FORUM/PUBLIC COMMENT (3 Minute Limit)

Mayor O'Brien stated he has received a list of individuals that would like to speak regarding agenda items. All deferred until specific items were being heard.

2. SPECIAL PRESENTATION/PROCLAMATIONS/AWARDS

a. **Announce Tentative Budget Hearing on September 9, 2020 6pm Virtual Meeting**

Mayor O'Brien stated for the record that the virtual Tentative Budget Hearing will be held on September 9, 2020 at 6:00pm

b. **Announce Final Budget Hearing on September 21, 2020 6pm Virtual Meeting**

Mayor O'Brien stated for the record that the virtual Final Budget Hearing will be held on September 21, 2020 at 6:00pm

c. **Proclamation: West Orange Healthy Selfie Day**

Mayor O'Brien read and proclaimed September 18, 2020 as West Orange Healthy Selfie Day in the Town of Windermere. Ms. Heather Murray and Mr. Steven Gilbert were present from Healthy West Orange. They spoke briefly about the Healthy Selfie day and upcoming events.

3. TIMED ITEMS AND PUBLIC HEARING:

a. **ORDINANCE NO. 2020-05**

**AN ORDINANCE OF THE TOWN OF WINDERMERE, FLORIDA
ADDING A NEW ARTICLE III TO CHAPTER 22 OF THE TOWN'S
CODE OF ORDINANCES TO BE ENTITLED "CONDUCT IN TOWN
PARK AND RECREATION AREAS"; PROVIDING DEFINITIONS;
PROHIBITING ALCOHOLIC BEVERAGES IN OR ON ANY PUBLIC
PROPERTY, PUBLIC RECREATION AREA, OR PUBLIC PARK
UNLESS AUTHORIZED BY THE TOWN COUNCIL PURSUANT TO
SECTION 8-93 OF THE TOWN'S CODE OF ORDINANCES;
AUTHORIZING THE INSPECTION OF CONTAINERS FOR
ALCOHOLIC BEVERAGES, PROVIDING THE INSPECTION
PROCEDURE AND PROVIDING FOR CONFISCATION; PROVIDING
FOR RATIFICATION, SEVERABILITY, CODIFICATION AND AN
EFFECTIVE DATE.**

Mayor O'Brien introduced this item. He then read the title of proposed Ordinance 2020-05 for the record. Mayor O'Brien closed the Town Council meeting at 6:10 pm and opened the Public Hearing.

TOWN OF WINDERMERE

Town Council Meeting Minutes (Virtual Meeting Covid-19)

August 11, 2020

There being no public comment, Mayor O'Brien closed Public Hearing and reconvened the Town Council meeting at 6:11pm. Member McKinley made a motion to approve Ordinance 2020-05 as presented. Member Williams seconded the motion. Roll call vote was as follows: Martini – McKinley – yes, Williams – yes, Sapp – yes, and Andert – yes. Motion carried 5-0.

4. CONSENT AGENDA

Mayor O'Brien introduced the consent agenda item. All items were pulled for discussion.

- a. **Z20-06 – 10972 Bayshore Drive – Mike Wytiaz and Darrell Nunnelley – Variance to allow a 2,470 square foot addition to an existing non-conforming home and to permit a new boat port with a 14 foot side setback – DRB recommended approval of the home addition by a vote of 6- and recommend approval of the boat port variance by a vote of 5-1.**

Mayor O'Brien turned the floor over to Brad Cornelius. Mr. Cornelius reviewed that request that went before the Development Review Board in July. He explained that they are two separate requests. Mr. Cornelius briefly explained each request. Mr. Nunnelley representative for Mr. Wytiaz introduced himself. He then stated that the applicant is in full agreement with the Development Review Board's decision. Member Martini made a motion to approve both requests. Member McKinley seconded the motion. Roll call vote was as follows: Andert – yes, Sapp – yes, Williams – yes, McKinley – yes, and Martini – yes. Motion carried 5-0.

- b. **Z20-08 – 711 W 2nd Avenue – Scott and Stephanie Weisz and Sheila Cichra – Variance to allow a new dock with a 1 foot side setback – DRB recommended denial by a vote of 5-0 (with Mr. Chase abstaining) due to the lack of demonstration of a hardship related to the lot.**

Mayor O'Brien introduced this item. He stated that the DRB denied the request due to no hardship. Mayor O'Brien turned the floor over to Mr. Cornelius. Mr. Cornelius reviewed the variance request that went before the Development Review Board in July. He then commented on the current and proposed setbacks, as well as the denial from the DRB. Mr. Cornelius stated that Chair Frank Chase did abstain from the vote due to a potential conflict. He stated that the owners and Ms. Cichra were present in the virtual meeting. Member Martini commented on the current boathouse location. He then stated that if the owners wanted to rebuild the boathouse in its current location, they would be able to, and the current boathouse is encroaching further into the next property. Mr. Cornelius explained that the owners would like to remove that boathouse and move it back to where it sits on their property but will only have a 1 foot (1') setback. Member Martini stated that if the variance is not granted, one option is to rebuild in the existing location which will still be encroaching on the neighbor and would still be non-conforming. He then stated that if they were to rebuild it in its current location, there would be a hardship with the water level not being deep enough for a boat. Mrs. Stephanie Weisz, owner of 711 W 2nd Avenue, introduced herself. She gave a brief history of the current dock. Mrs. Weisz then stated that the request would allow a consolidation of two boat slips into one, shift the boat slip into deeper water, and slightly expand the deck. It would also be an open-air structure with the current green space remaining intact. Mrs. Weisz commented on the criteria for consideration and hardships for approval. Mayor O'Brien opened the floor to public comments. Mrs. Joan Strickland immediate neighbor and owner of 745 W 2nd Avenue introduce herself. She then gave favorable comments for approval of the variance request. There being no further comments from the public or Town Council, Member Andert made a motion to approve the variance request. Member Sapp seconded the motion. Roll call vote was as follows: Martini – McKinley – yes, Williams – yes, Sapp – yes, and Andert – yes. Motion carried 5-0.

TOWN OF WINDERMERE

Town Council Meeting Minutes (Virtual Meeting Covid-19)

August 11, 2020

- c. **Z20-09 – 31 Pine Street – Patricia Sweet-Grafton and Bryce Grafton and Mitch Powers – Variance to allow an increase of 804.78 square feet of gross floor area to a previously approved variance (Z19-005), and a variance to allow the replacement of the pool deck at 15.7 feet from the normal high water elevation with the conditions that the pool deck be constructed of engineered pervious material and that the conditions of variance Z19-005 remain in place – DRB recommended approval with conditions by a vote of 6-0.**

Mayor O'Brien introduced this item. He then turned the floor over to Mr. Cornelius. Mr. Cornelius gave a brief history of a previous approved variance request and the current two requests, which one is for the roof overhangs and the other is for the pool. Mr. Cornelius stated that the Development Review Board was in favor of the overhang variance request. He then stated that the DRB did have a concern with the pool encroaching closer to the lake. Mr. Cornelius commented that the DRB had discussions regarding the use of a pervious surface. He further explained that the DRB were favorable with the use of a pervious surface. Mayor O'Brien turned the floor over to the applicant. Mr. and Mrs. Brice Grafton, owners of 31 Pine Street introduced themselves. Mr. Grafton stated that they agree with the DRB's recommendation. He then commented on the redevelopment and protection of the drainage/swales area. Mayor O'Brien questioned how the Town would know what the engineering solution of the permeable rating should be. Mr. Cornelius stated that signed and sealed engineering analysis will be needed at permitting. Some discussion followed regarding setbacks, permeable surfaces, lake protection, verification of work completed accurately, pervious material, and percolation analysis. Member Martini made a motion to approve both of the variance requests. Motion died for lack of a second. Discussion was made regarding separate motions for each request. Member Martini then made a motion to approve the variance request for the overhangs for the porches. Member McKinley seconded the motion. Roll call vote was as follows: Andert – yes, Sapp – yes, Williams – yes, McKinley – yes, and Martini – yes. Motion carried 5-0. Member Andert made a motion to approve the variance request for the pool decking, with the condition that it adheres to all requirements of engineering and maintaining pervious decking per Town code. Member Williams seconded the motion. Mayor O'Brien stated for the record that all conditions pertaining to variance Z19-005 remain in place. Roll call vote was as follows: Martini – yes, McKinley – no, Williams – yes, Sapp – yes, and Andert – yes. Motion carried 4-1.

d. **Ward Trail Concept**

Mayor O'Brien introduced this item. He then turned the floor over to Manager Smith. Manager Smith commented on past workshops/meetings that were held regarding the trail concept. He stated that there is a condition to allow the Tree Board be involved. Manager Smith stated that the concept also allows the Healthy West Orange Task Force to have an idea of what the Town is looking to do. Member Sapp made a motion to approve the Ward Trail design and concept. Member McKinley seconded the motion. Roll call vote was as follows: Andert – yes, Sapp – yes, Williams – yes, McKinley – yes, and Martini – yes. Motion carried 5-0.

5. **NEW BUSINESS**

a. **MINUTES**

- i. **Town Council Meeting Minutes July 14, 2020 (Attachments-Staff Recommends Approval)**
- ii. **Town Council Workshop Meeting Minutes July 28, 2020 (Attachments-Staff Recommends Approval)**

TOWN OF WINDERMERE

Town Council Meeting Minutes
(Virtual Meeting Covid-19)

August 11, 2020

iii. Town Council Budget Workshop Minutes August 3, 2020

Member Sapp made a motion to approve the minutes of as presented. Member Andert seconded the motion. Roll call vote was as follows: Martini – yes, McKinley – yes, Williams – yes, Sapp – yes, and Andert – yes. Motion carried 5-0.

b. RESOLUTIONS/ORDINANCES FOR APPROVAL/FIRST READING

i. ORDINANCE NO. 2020-06

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF WINDERMERE, FLORIDA ALLOWING FOR BACKYARD CHICKENS; ADDING A NEW ARTICLE III TO CHAPTER 4 OF THE TOWN'S CODE OF ORDINANCES TO CREATE A BACKYARD CHICKEN PROGRAM; REQUIRING A PERMIT AND PROVIDING FOR TERMS, CONDITIONS, AND PENALTIES CONCERNING THE KEEPING OF CHICKENS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

Mayor O'Brien introduced this item. Manager Smith commented that there have been public comments received regarding this Ordinance. He then explained the process that the Town Council can take if they choose. Mayor O'Brien opened the floor for public comments. Manager Smith read a comment for the record from Ms. Valery Tucker of 4 Pine Street (attached). He then stated that the Development Review Board heard this item and adamantly opposed moving forward with the Ordinance. Speaking in opposition were Ms. Reeta Casey of 16 Pine Street, and Mr. Jim Salmon of 8 Pine Street. Next to speak was Mr. Doug Kegler of 12 Pine Street. Mr. Kegler stated that other larger lots in Town, other than Pine Street, might like chickens as pets. He commented that chickens may cluck, but dogs bark. Mayor O'Brien commented that if this should move forward, there will be a second reading/public hearing next month. He then questioned the Council on the direction they would like to move to. Member McKinley made a motion to not move forward on this item. Member Williams second the motion. Member Andert commented stated that she has questions of if this were happening in another area in Town, would there be more public input, but that it does not fit with the character of the Town at this time. Member Sapp stated his concern with this being advertised and moving through with the second portion. Manager Smith explained that only the Second Reading/Public Hearing is advertised. Due to this being a first reading, it was not advertised, only placed on the agenda. There not being any further comments, Mayor O'Brien called for the vote. Roll call vote was as follows: Martini – yes, McKinley – yes, Williams – yes, Sapp – yes, and Andert – yes. Motion carried 5-0.

c. CONTRACTS & AGREEMENTS

i. Design for Paving Old Dirt Main (Second to Rubio Property) - IPO 115
Not to exceed \$104,919

Mayor O'Brien introduced IPO 115 with a not to exceed of \$104,919.00. He then turned the floor over to Manager Smith. Manager Smith gave a history of the Rubio right of way acquisition and the requirements to pave the road. He stated that dirt Main Street will be paved from 2nd Avenue to the canal. Mayor O'Brien questioned if the neighbors affected had been notified. Manager Smith stated that Member McKinley and Public Works Director Brown have reached out to the affected residents. He stated that there is support for the project. Discussion followed. Member Martini suggested speed humps like 2nd Avenue. Director Brown stated it can be reviewed. Member Sapp made a motion to approve. Member Andert seconded the motion. Roll call vote was as follows: Andert – yes, Sapp – yes, Williams – yes, McKinley – yes, and Martini – yes. Motion carried 5-0

d. FINANCIAL

e. OTHER ITEMS FOR CONSIDERATION:

TOWN OF WINDERMERE

**Town Council Meeting Minutes
(Virtual Meeting Covid-19)**

August 11, 2020

6. MAYOR & COUNCIL LIAISON REPORTS:

Mayor O'Brien opened the floor for Council reports. Member Andert gave a detailed report of the past Butler Chain of Lake Advisory Board meetings and the lakes. Member Martini reminded everyone of the upcoming Development Review Board meeting on August 18th. Mayor O'Brien stated that the 911 Memorial will be canceled this year due to Covid-19.

7. STAFF REPORTS:

a. TOWN MANAGER ROBERT SMITH – Mr. Smith gave a report on the temporary facilities, upcoming four workshops for 2nd Avenue, LMS grants, Healthy West Orange Trails, upcoming DRB meeting, and Bessie Stormwater IPO and Butler. Mayor O'Brien thanked all for the work for LMS funds and Healthy West Orange. Manager Smith stated that there will be upcoming charrettes as well.

b. TOWN ATTORNEY HEATHER RAMOS – No report.

c. DEPUTY CHIEF JENNIFER TREADWELL – Deputy Chief Treadwell reported on the temporary building move, upcoming training, future accreditation, and an update on the past incident in Town.

d. PUBLIC WORKS DIRECTOR SCOTT BROWN – Director Brown reported that the project meeting minutes have been sent out, rain/road repairs, weather conditions, and the upcoming move.

e. TOWN CLERK DOROTHY BURKHALTER – No report.

8. ADJOURN:

Mayor O'Brien adjourned the meeting at 7:58pm.

Dorothy Burkhalter, MMC, FCRM
Town Clerk

Jim O'Brien, Mayor

Dorothy Burkhalter

From: Jim O'Brien
Sent: Sunday, August 9, 2020 6:23 PM
To: Robert Smith; Dorothy Burkhalter
Subject: Fwd: Farm animals in residential zoning

James OBrien, Mayor
Town of Windermere
Email: jobrien@town.windermere.fl.us
Cell: 561-385-2783



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

Begin forwarded message:

From: Valery <valvanna@aol.com>
Date: August 9, 2020 at 5:40:35 PM EDT
To: Jim O'Brien <jobrien@town.windermere.fl.us>, Robert McKinley <RMcKinley@town.windermere.fl.us>, Bill Martini <bmartini@town.windermere.fl.us>, Chris Sapp <csapp@town.windermere.fl.us>, Andy Williams <awilliams@town.windermere.fl.us>
Subject: Farm animals in residential zoning

Good day,

I hope this email finds you well.

We are a neighbor of a resident of Windermere, who has over the year, had a rooster and chickens. They are very noisy, smelly and attract predators to our neighborhood. While I am always happy for people to raise farm animals, I believe they should be raised on farms.

We chose to live in a residential neighborhood without farm animals.

If you decide to change our ordinance, please consider requiring a particular lot size necessary, location of where the hen house should be (distance from side setback), level of acceptable stench and noise, limit number and type of animals and require a License to raise farm animals in residential zoning which

would require the approval signatures of their neighbors.

I know we shouldn't infringe on someone's right to raise farm animals, however we also shouldn't infringe on someone's right not be forced to live next to someone who decides to raise them not in the proper setting.

Best regards,
Valery Tucker
[4 Pine Street](#)

Sent from my iPhone

Dorothy Burkhalter

From: Reeta Casey <reetacasey@gmail.com>
Sent: Monday, August 10, 2020 1:48 PM
To: Dorothy Burkhalter
Subject: Ordinance 2020-06
Attachments: follow up611.pdf

I am attaching our letter opposing the approval of Ordinance 202006. Also, I would like to make a 3 minute comment at the town meeting Tuesday evening.

Regards,
Reeta Casey
16 Pine Street

Reeta & Pat Casey
16 Pine Street
Windermere, FL 34786

To: Mayor Jim O'Brien
Windermere Town Council Members
Robert Smith, Windermere Town Manager

Ordinance 2020-06

August 10, 2020

Thank you for your time to review our opposition to Ordinance No. 2020-06 which changes the current policy/regulation concerning Chapter 4, animals as written and enforced.

Currently, Windermere is one of the most desirable destinations in Central Florida to call home. With our safe, quiet, and friendly neighborhood, the lifestyle is a very desirable place to live which attracts a large pool of potential buyers. Based on my 27 years of selling real estate in Southwest Orlando, we believe that by changing the ordinance to allow chickens would negatively affect property values.

When showing properties, clients need to be informed whether they are buying into a HOA & the regulations, lakefront properties and the restrictions that keep the waterways clean, and if the ordinance is changed the possibility of living next door to chickens and their coops. This may give pause to some shopping for their next home.

Even though there is no specific data to confirm that allowing chickens will devalue properties, it will affect how buyers choose where to live. This unmeasurable choice whether to preview homes in downtown can have a negative effect on sales. Over time, if there is a decrease in demand, it could eventually result in a flattening of property values or even a lowering in order to bring buyers and sellers together.

My question to the Board is why would we as town residents want to introduce a controversial variable into our town that has maintained a strong demand for purchases and a highly desirable place to live? Currently everyone residing in Windermere did so by agreeing to the current ordinances. If you make this change then how is that going to affect your constituents that do not want to change their current living conditions?

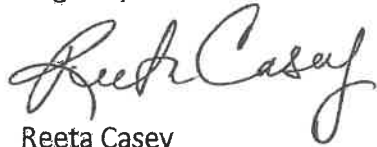
Our additional concerns are:

1. The impact to our beautiful lakes from the waterfront properties that have chicken coops and their potential runoff.
 2. The noise created by the chickens when we have one of the rare places to live where peace and quiet are abundant.
-

3. With a majority of smaller lot sizes which, because of the close proximity to neighbors could create neighborhood conflicts.
4. The attraction of coyotes, rats, and opossums which will also affect the bunny population that returned to our area.

Thank you again for taking the time to hear our concerns as 20+ year residents of Windermere. We love our town, our neighborhood, and our home. We appreciate your consideration on voting "No" to Ordinance No. 2020-06.

Regards,



Reeta Casey



Pat Casey

THE TOWN OF
Windermere



EXECUTIVE SUMMARY

SUBJECT: FY 2020/2021 Renewal of Agreement for On Call Land Planning Services

REQUESTED ACTION: Staff Recommends Approval

Work Session (Report Only)

Regular Meeting

DATE OF MEETING: 9/8/20

Special Meeting

CONTRACT: N/A

Effective Date: _____

Managing Division / Dept: _____

Vendor/Entity: _____

Termination Date: _____

BUDGET IMPACT: _____

Annual

Capital

N/A

FUNDING SOURCE: _____

EXPENDITURE ACCOUNT: _____

HISTORY/FACTS/ISSUES:

Mayor & Council,

Wade Trim has been the Town's On-Call Land Planning Service for the past 5 years. Typically, we would RFQ for services after 5 years but due to the current environment we are in Staff would recommend a one-year extension of the existing agreement with Wade Trim.

FY 2021 RENEWAL OF AGREEMENT FOR ON CALL LAND PLANNING SERVICES

This FY 2021 Renewal of Agreement, made this ___ day of _____, 2020, between the **Town of Windermere, Florida ("TOWN")** and **Wade Trim, Inc. ("CONSULTANT")**, a Florida corporation authorized to do business in the State of Florida, whose principal office address is 201 N. Franklin Street, Suite 1350, Tampa, FL 33602.

ARTICLE 1. Extension of Term

The original Agreement between the Town and the Consultant for On Call Land Planning Services, was approved by the Town on August 14, 2014. The Town and the Consultant mutually agree it is in both party's best interest to extend the termination date of the original agreement to 11:59 p.m. on September 30, 2021.

ARTICLE 2. Scope of Services and Requirements

The scope of services and all contractual requirements of the original Agreement, dated August 14, 2014, shall remain in full force and effect during the additional one (1) year term provided herein. The rate schedule provided in the FY 2020 renewal agreement shall remain in effect for FY 2021.

IN WITNESS WHEREOF, the parties hereto have hereunto caused these presents to be executed as of the day and year first above written.

TOWN OF WINDERMERE, FLORIDA

WADE TRIM, INC.

By: _____

By: _____

Title: _____

Title: Vice President

Printed Name: _____

Printed Name: Bradley Cornelius

Attest: _____

Attest: _____

Printed Name: _____

Printed Name: Amanda Warner

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The original Agreement between the Town and the Consultant for On Call Land Planning Services, was approved by the Town on August 14, 2014. The Town and the Consultant mutually agree it is in both party's best interest to extend the termination date of the original agreement to 11:59 p.m. on September 30, 2020.

ARTICLE 2. Scope of Services and Requirements

The scope of services and all contractual requirements of the original Agreement, dated August 14, 2014, shall remain in full force and effect during the additional one (1) year term provided herein. The fee schedule provided in the original Agreement is amended as shown in the following table for FY 2020.

Wade Trim Proposed Rates FY 2020

Position	Current	Proposed FY 2020	Change	% Change
Principal Planner	\$150	\$175	\$25	17%
Project Planner	\$95	\$115	\$20	21%
Planning Technician	\$75	\$75	\$0	0%
Senior Engineer	\$160	\$160	\$0	0%
Senior Project Engineer	\$135	\$135	\$0	0%
Project Engineer	\$95	\$95	\$0	0%
CAD Technician	\$85	\$85	\$0	0%
Administrative	\$65	\$65	\$0	0%

IN WITNESS WHEREOF, the parties hereto have hereunto caused these presents to be executed as of the day and year first above written.

TOWN OF WINDERMERE, FLORIDA

By: _____

Title: Town Manager

Printed Name: Robert Smith

Attest: _____

Printed Name: Dorothy Burkhalter

WADE TRIM, INC.

By: _____

Title: Vice President

Printed Name: Bradley Cornelius

Attest: _____

Printed Name: Amanda Warner



INDIVIDUAL PROJECT ORDER NUMBER 116
September 3, 2020

Describing a specific agreement between Kimley-Horn and Associates, Inc. (Kimley-Horn), and The Town of Windermere (the Client or the Town) in accordance with the terms of the Master Agreement for Continuing Engineering Services dated May 15, 2019, which is incorporated herein by reference.

Identification of Project:

Project: Pedestrian Bridge Substructure Design

Client: Town of Windermere

I. PROJECT UNDERSTANDING

A Concept Plan was completed for a multi-use path between North Drive and Park Avenue, in the area between Old Main Street / South Lake Butler Boulevard and Main Street/Maguire Road under a separate IPO. This IPO is for the design and permitting phase of the bridge, which includes construction plans, bid documents, and an engineer's Opinion of Probable Construction Costs (OPC). The remaining portion of the trail is not included in this IPO and will be designed in the future. This scope includes connections from the multimodal bridge to the adjacent roadways (Old Main Street to the south and South Lake Butler Boulevard to the north).

Our scope includes structural design of the canal bridge substructure and coordination with a separate company that will design the prefabricated bridge structure.

This IPO is based on providing one (1) set of construction plans for the Ward Trail Pedestrian Bridge. The plans will be submitted to the Town for review at the 60% and 100% stage.

II. SCOPE OF SERVICES

Task 1 –Meetings

Kimley-Horn will prepare for and attend up to four (4) staff meetings. It is anticipated that this will consist of a meeting at the 30% stage, a meeting at the 90% stage, and two (2) other meetings.

Kimley-Horn will present the project to the Town Council in a regular meeting or workshop to be scheduled by Town.

Task 2 – Construction Plans

Kimley-Horn will develop construction plans from the connection points on Old Main Street to South Lake Butler Boulevard, including the prefabricated bridge (to be designed by others).

Based on the preferred typical section shown in the concept plan, Kimley-Horn will prepare the final design and construction plans for the multi-use path improvements in accordance with the FDOT Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Street and Highways (Florida Greenbook) and the FDOT Standard Plans.

The construction plan and profile sheets will be prepared on 11"x17" half size sheets at a horizontal scale of 1" = 40'. The plans will be prepared on topographic information provided by a field survey. The plan and profile sheets will show the horizontal and vertical information for the project. Various elements such as multi-use path width, drainage elements, driveways and right-of-way lines will be shown and dimensioned.

The plans will include typical section(s) to depict the multi-use path details.

Cross sections will be developed at 50-foot intervals on each side of the bridge, with scales of 1" = 10' horizontal and 1" = 5' vertical. Existing underground utilities will be shown based on information provided by the utility companies or as identified during surveying efforts. Roadway soil profiles from auger borings will be shown.

It is anticipated that Temporary Traffic Control Plans (TTCP) will be prepared by the Contractor and is not included this Scope of Work.

Kimley-Horn will review the existing drainage systems present in the corridor and determine the modifications that will be necessary to accommodate the proposed multi-use path adjacent to the bridge. The design may include roadside swales, berms, cross drains, inlets and pipes. In addition, Best Management Practices (BMPs) will be utilized prior to direct discharge to the canal (outfall). Any special consideration of permit requirements that includes stormwater ponds is not included under this task. Drainage structure cross sections are not included in this task.

Kimley-Horn will design the signing and pavement markings for the multi-use path bridge and points of connection in accordance with the current version of the Manual on Uniform Traffic Control Devices (MUTCD), the FDOT Standard Plans and the Americans with Disabilities Act Standards for Accessible Design. The design will be shown on the roadway plan and profile sheets.

Task 3 – Prefabricated Bridge Coordination and Substructure Design

Kimley-Horn will coordinate with a prefabricated bridge manufacturer to identify three (3) bridge typical sections for the crossing. Coordination will consist of the following:

- A preliminary meeting with Town staff to determine basic requirements (if any) for the bridge
- Email correspondence with two (2) prefabricated bridge manufacturers (if only one is capable of the work, the Town will be informed before additional coordination takes place)
- Second meeting with Town staff to determine chosen prefabricated bridge manufacturer and determine superstructure options
- Coordination with chosen prefabricated bridge manufacturer to obtain preliminary costs for three (3) superstructure options

Kimley-Horn will provide structural analysis, design and construction plans for the substructure of the bridge site. It is assumed that wing walls founded on piles will be used to retain the soil behind the bridge and separate retaining walls are not required. Separate retaining wall design can be provided as an additional service if required.

Structural design will be in accordance with AASHTO LRFD Bridge Design Specification – 8th Edition, FDOT FY 2020-21 Standard Plans for Road and Bridge Construction, FDOT Structures Manual, dated January 2020, FDOT Design Manual, dated January 2020, and FDOT Standard

Specifications for Road and Bridge Construction, date January 2020 as applicable.

Superstructure design loading shall be provided by the prefabricated bridge manufacturer, including live loads, and bridge dead loads. These loads will be utilized by Kimley-Horn in the in the design of the substructure.

It is assumed there will be a 30%, 90% and Final Plans structural submittal with comments/responses after 30% and 90%. Typically, 30% structural is equivalent to 60% roadway submittals.

Task 4 – Permitting

Kimley-Horn will attend one (1) pre-application meeting with the South Florida Water Management District (SFWMD) to discuss the project. It is anticipated that one (1) Environmental Resource Permit (ERP) application will be submitted to the SFWMD. Kimley-Horn will conduct one (1) field review with the SFWMD to confirm surface water limits. Kimley-Horn will respond to up to two (2) Requests for Additional Information (RAI) from the SFWMD.

Kimley-Horn will submit a Nationwide Permit application to the US Army Corps of Engineers (USACE). Kimley-Horn will respond to up to two (2) RAIs from the USACE. Kimley-Horn will coordinate with the US Fish and Wildlife Services (USFWS) to determine eligibility for a reduced or eliminated skink survey prior to the start of construction related activities.

Kimley-Horn will prepare a Conservation Area Determination (CAD) application to the Orange County Environmental Protection Division (EPD) to determine whether a Conservation Area Impact (CAI) is required. Kimley-Horn will conduct one (1) field review with the EPD to confirm surface water limits. Kimley-Horn will respond to up to two (2) RAIs from the EPD.

Kimley-Horn will prepare an application to the Orange County Environmental Protection Division (EPD) to determine whether a Conservation Area Impact permit will be required from Orange County EPD.

The Town will be responsible for signing all necessary application forms and all application fees associated with the permit application.

Task 5 – Bid Assistance

Kimley-Horn will prepare one (1) opinion of probable construction cost and one (1) contractor bid tabulation form for the Project for use by the Town during the bidding process. Kimley-Horn will attend one (1) pre-bid meeting and provide input as directed by the Town. Kimley-Horn will prepare one (1) round of responses to questions submitted by the contractors to the Town during the bidding period.

Task 6 – Survey Services

Kimley-Horn will retain the services of PEC Surveying and Mapping, LLC (PEC) to perform the design survey from the connection points on Old Main Street to South Lake Butler Boulevard, approximately 300' in length. The survey limits will consist of the area between the Old Main Street right of way and Main Street. Refer to attached subconsultant proposal for additional information.

Task 7 – Geotechnical Services

Kimley-Horn will retain the services of Geotechnical and Environmental Consultants, Inc. (GEC) to perform auger borings, field permeability tests, LBR testing and laboratory soil classification tests for the proposed improvements. Refer to attached subconsultant proposal for additional information.

Task 8 – Subsurface Utility Investigation

Kimley-Horn will retain the services of ECHO Utility Engineering & Survey, Inc. (ECHO) to perform utility designates and utility test holes. Refer to attached subconsultant proposal for additional information.

Task 9 – Construction Phase Services

Kimley-Horn will review concrete mix design and drainage structure shop drawings submitted by the Contractor in accordance with standard FDOT procedures. The Town will be responsible for the receipt, distribution, and disposition of all contractor submittals, including project logs. The term "shop drawings" include all drawings, diagrams, illustrations, transportation procedures, manuals, and design calculations submitted by the Contractor to define some portion of the project.

Kimley-Horn will provide written responses to the Town for up to three (3) Contractor Requests for Information (RFI).

Kimley-Horn will attend up to three (3) progress meetings during construction as requested by the Town. This task does not include engineering inspection services.

III. PROJECT DELIVERABLES

- Trail Bridge Substructure Plans
- SFWMD application package
- Geotechnical engineering report
- Utility test hole data sheets
- Opinion of probable construction cost
- Contractor bid tabulation form

IV. ADDITIONAL SERVICES IF REQUIRED

The following services are not included in this IPO, but may be performed if authorized by the Town. Payment for these additional services will be agreed upon prior to their performance.

- Retaining wall design
- Attendance at meetings in addition to those noted in the scope of services
- Lighting Plans
- Utility Plans
- Drainage structure cross sections
- Temporary Traffic Control Plan
- Landscape Plans
- Irrigation Plans
- Hardscape Plans
- 3D Modeling
- Engineering Inspection Services
- Certified Arborist Evaluations

V. SCHEDULE

Tasks 1-8 are anticipated to be completed within 180 calendar days. Task 9 will be dependent on the construction duration.

VI. METHOD OF COMPENSATION

Kimley-Horn will perform the services in Tasks 1 –9 for a lump sum fee of **\$127,500**, inclusive of expenses. A breakdown of fee by task is provided in the table below.

TABLE 1: STAFFHOUR ESTIMATE

Task	Fee
Task 1: Meetings	\$7,130
Task 2: Construction Plans	\$13,990
Task 3: Prefabricated Bridge Coordination and	\$44,040
Task 4: Permitting	\$12,200
Task 5: Bid Assistance	\$4,150
Task 6: Survey Services	\$16,000
Task 7: Geotechnical Services	\$20,690
Task 8: Subsurface Utility Investigation	\$2,500
Task 9: Construction Phase Services	\$6,800
TOTAL	\$127,500

Lump sum and hourly fees will be invoiced monthly based upon the overall percentage of services performed. Payment will be due within 25 days of your receipt of the invoice.

ACCEPTED:

THE TOWN OF WINDERMERE, FLORIDA

KIMLEY-HORN AND ASSOCIATES, INC.

BY: _____

BY: _____

Hao T. Chau, PE

TITLE: _____

TITLE: Associate _____

DATE: _____

DATE: _____



Water Master Plan

Town of Windermere

August 2020

FINAL



TOWN OF WINDERMERE WATER MASTER PLAN

Revision No. 1

Final

PREPARED FOR:

**TOWN OF WINDERMERE
614 MAIN STREET
WINDERMERE, FL 34786**

AUGUST 2020



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Water Master Plan

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Appendix A. Detailed Cost Estimate

LIST OF ACRONYMS

AC	Asbestos Cement
AHJ	Authority Having Jurisdiction
Ave	Avenue
DIP	Ductile Iron Pipe
DOR	Department of Revenue
EA	Each
ed	Edition
EPS	Extended Period Simulation
ERC	Equivalent Residential Connection
ERU	Equivalent Residential Unit
FDEP	Florida Department of Environmental Protection
FDOT	Florida Department of Transportation
ft	Foot
GIS	Geographic Information System
gpm	Gallons per Minute
HDPE	High Density Polyethylene
HGL	Hydraulic Grade Line
hr	Hour
LF	Linear Foot
MGD	Million Gallons per Day
N/A	Not Applicable
NFPA	National Fire Protection Association
OCU	Orange County Utilities
psi	Pounds per Square Inch
PVC	Polyvinyl Chloride
Rd	Road
ROW	Right-of-Way
SSS	Steady-State Simulation
SWFWMD	Southwest Florida Water Management District
SY	Square Yard
WSRP	Water Supply Restoration Program

Executive Summary

Existing System

Orange County Utilities (OCU) provides potable water to 41% of the parcels within the Town of Windermere. The remaining parcels are on individual private water wells. This master plan evaluates extending the system that OCU owns and operates to provide water to all parcels.

The drivers for this project are safety, environmental protection, and reliability. This project will improve safety by providing a monitored, safe drinking water supply and by improving fire protection capabilities. This project will protect the environment by reducing the number of wells around the Town's Outstanding Florida Waterbodies. This project will improve reliability by providing a pressurized system that does not require electricity to operate residential well pumps.

System Extension

The existing system backbone throughout the town is sized properly to allow water main extensions to connect the remaining parcels. The four existing OCU connection points at the Town limits have enough capacity to meet the demands of the Town. When the adjacent unincorporated areas of Isleworth, Chaine Du Lac, and Four Corners are evaluated along with the demands within the Town, no additional water capacity improvements are required.

Fire Flow Concerns

While some areas of the town are equipped with fire hydrants, a large portion of the town does not have fire hydrants. In addition, some of the existing hydrants do not have the available fire flow for the large homes in the town. As part of this master plan, it is proposed that a few specific water mains be replaced with larger diameter pipes to provide increased available fire flow where it is needed. The water main extension proposed in this master plan includes locations for additional fire hydrants to serve every parcel.

Project Funding

The overall construction cost of the project is anticipated to be approximately \$10,281,000. This master plan has divided the construction into three phases, which can be completed in any order. Several options are available to help the Town pay for these projects. Part of the funding process will be to meet and work with Orange County Utilities as they are the owners and operators of the system.

1.0 INTRODUCTION

1.1 BACKGROUND

One of the goals in the Town of Windermere's Comprehensive plan is, "An adequate supply of safe potable water shall be provided and steps taken to improve and protect sources of potable water in the Windermere area." This goal is supported by Objective 5.1, Provision of Potable Water, which includes several polices including Policy 5.1.4 that states: "In Fiscal Year 2019, the Town plans to develop a potable water master plan to evaluate the feasibility of extending potable water services throughout the Town."

The Town of Windermere contracted Wade Trim to develop a Water System Master Plan to evaluate the Town's long-term water supply needs and develop a strategy for meeting its water supply goals. As a result, the Water System Master Plan provides the Town with a 10-year list of Capital Improvement Projects addressing renewal/replacement projects and expansion improvements needed to service the entire town.

The Town does not desire to initiate its own water utility. Currently, Orange County Utilities provides potable water to 41% of the 1,392 parcels within the Town of Windermere through an interlocal agreement. The Town wishes to leverage this existing infrastructure, rather than replace it. This master plan is intended for the Town to understand the existing system and what it will take to meet their desired level of service. Some modifications to the modeling analysis and proposed infrastructure will be required during final design to meet Orange County Utilities' standards.

The primary issue is that the provision of potable water is not uniform throughout the town and most areas of the town still rely on private potable water wells. Generally, previous extensions of potable water from Orange County Utilities into the town were on a case-by-case basis for specific properties and paid by the private property owners. The areas shown in orange in Exhibit 1.1 are currently served by Orange County Utilities.

The town is primarily built-out. Most new development within the town is the redevelopment of infill lots. The most significant opportunity for future population growth for the Town is through future annexation opportunities into adjacent unincorporated areas. Many of these adjacent unincorporated areas are already served by Orange County Utilities. There are two new subdivisions within the Town that were approved by the Town in the last five years: Estancia at Windermere and Lake Down Reserve. Both new subdivisions are already served by central potable water from Orange County Utilities.

Exhibit 1-1 Existing OCU System in Windermere and Surrounding Area



As with any large-scale engineering project, there are technical challenges to overcome with the extension of potable water lines throughout the town. Two of the most significant challenges are how to fund the construction of the potable water lines and installation of the potable water lines in dirt-surfaced roads.

It is assumed that the Town will be responsible for the cost of the design and construction of the new potable water lines and then turn over the system to Orange County Utilities for operation and maintenance. Under this arrangement, the Town will need to identify and secure funding for the design and capital cost of the construction of the system.

Most of the local town roads are not paved. The design and construction of the potable water lines must be sensitive to the impacts on the dirt-surfaced roads. The impacts to dirt-surfaced roads will be closely coordinated with the Town to assure that the impact to the dirt-surfaced roads meet the needs of the residents of the Town.

1.2 LOCATION

The Town of Windermere is in west Orange County, Florida located between Lake Butler and Lake Down within the Butler Chain of Lakes, which are listed as Outstanding Florida Waters. Due to this designation by the Florida Department of Environmental Protection, the Butler Chain of Lakes Waters have special restrictions on any new activities that would lower water quality or otherwise degrade the body of water. These waters have been noted as "worthy of special protection because of their natural attributes."

1.3 HISTORY

Windermere was established in 1889 as a residential development and chartered 36-years later in 1925. The Windermere Improvement Company was formed in 1920, which built homes and planted citrus trees in the area. In 1930 the town had 181 residents, by 1970 the town had 894 residents. When Walt Disney World was being constructed in the 1960's and 1970's, several of the company's top executives lived in Windermere.

The 2010 Census population of the town was 2,462. An increase of 149 from the 2000 census. The estimated population as of April 1, 2020 was 3,024 (University of Florida Bureau of Economic and Business Research).

1.4 SERVICE AREA

The existing potable water service area extends to the limits of the Town of Windermere as shown in Exhibit 1-1. The town is primarily residential with a few municipal buildings, a few stores, offices, and restaurants primarily in the downtown area along Main Street.

The town is bordered by the high-end golf course community of Isleworth that shares the Windermere postal address but is not incorporated into the Town.

The Town is within the South Florida Water Management District (SFWMD), although the majority of Orange County falls within the Saint Johns River Water Management District.

1.4.1 Existing Wells

Though there have been few complaints about the quality of the water from the existing private well owners, there have been incidental reports of wells testing positive for fecal coliform. Fecal coliform is an organism that indicates biological contamination, which could include E. coli, a bacterium that can cause illness in humans. Wells that test positive for fecal coliform should first be retested, then disinfected. Water should be boiled prior to use until the well is tested and proven to be disinfected.

Another potential health concern in private wells is nitrate, although there have been no reports of high nitrate levels in Windermere's groundwater. Nitrogen is converted to nitrate by bacteria. Nitrate is also

found in fertilizers, human and animal wastes, and other contaminants such as pesticides. Nitrate is a health concern primarily to infants younger than six months. When formula is made with high-nitrate water or breastfeeding mothers drink high-nitrate water it can produce a dangerous illness known as blue-baby syndrome. High nitrate levels cannot be treated by boiling well water.

The Florida Department of Health recommends testing private wells for bacteria and nitrate at least once a year. <http://www.floridahealth.gov/environmental-health/private-well-testing/index.html> The Orange County Florida Department of Health's program requires residents to properly collect their own samples and bring them to the County's lab. They will test a water sample for coliform bacteria for \$22.00, testing for nitrate is \$91.00. Alternately, the Florida Department of Health publishes a list of certified private labs here: <https://fldeploc.dep.state.fl.us/aams/index.asp>

The Water Supply Restoration Program (WSRP) provides no-cost testing of some private wells. The program prioritizes areas around reported contamination sites that have not yet been investigated and areas for which the longest time has elapsed since they were investigated. The DOH submits water well samples to the Department of Environmental Protection Laboratory in Tallahassee for analysis. For more information on this program and the application: <https://floridadep.gov/wra/water-supply-restoration/content/private-well-water-sampling>

1.5 BENEFITS OF EXTENDING THE OCU DISTRIBUTION SYSTEM

There are several reasons the Town is interested in extending Orange County Utilities potable water throughout the service area. The benefits can be categorized as pertaining to safety, environment, and reliability.

1.5.1 Safety

The first issue related to safety is the quality of the drinking water. Orange County Utilities maintains high standards for their potable water, which is tested and regulated. Private wells are not regulated, tested, and maintained to the same standards as public water supply systems. Many owners of residential wells do not follow the guidance of the Florida Department of Health to test their water annually. Due to this potential for individual well qualities to vary, Orange County authorized a study to identify subdivisions and neighborhoods served by private wells in the OCU service area that are a priority for water distribution system replacement and retrofit due to the potential adverse impacts on public health (PBS&J/CH2M JV, 2001). Windermere was noted as one of those areas.

The second safety concern regarding the potable water service in Windemere is the availability of water for firefighting. There are many homes in the Town that are not within the recommended 1,000 feet from a hydrant or do not have sufficient flow available at nearby hydrants based on the size of the home. These homes will need to be serviced by water tanker firetrucks, which limits firefighting effectiveness. The water that firetrucks have on-board is intended to protect firefighters during the

extraction of residents and is not intended to extinguish home fires. The expansion of the water system would include the installation of fire hydrants and adequate water supply to fight fires.

1.5.2 Environmental

The protected nature of the Butler Chain of Lakes as Outstanding Florida Waters requires special consideration. Replacing the private wells with central water will reduce potential draw-down of lake levels from local pumping, restoring the natural balance of the hydrology in the area around Windermere.

Drinking water wells extend from the ground surface down into the drinking water aquifer. These well shafts penetrate the confining layers, serving as potential means of contamination. When potable wells are removed and properly abandoned, it will eliminate potential points of penetration for contaminants into local groundwater from the surface.

1.5.3 Reliability

Individual potable wells rely on electrical power to pump groundwater for residential use. Water from Orange County Utilities will be provided under pressure at all times regardless of the availability of power in the Town of Windermere. Orange County Utilities is required to have backup power generation at their treatment and pumping sites to maintain continuous pressure. During power outages, such as those after major storms, water will continue to be available.

1.6 GOALS AND OBJECTIVES

This water master plan is consistent with the Goals, Objectives, and Policies of the Town's Comprehensive Plan. In addition, as part of the project the Town has established several goals for the development of their system. Some of those goals affect the initial planning and some will need to be considered as this plan is implemented.

1.6.1 Fair and Equitable Funding

As funding of the project is discussed and options are weighed, it needs to be noted that the water mains that are currently in place have already been funded by the existing users. Although the environmental and safety benefits will be felt by the entire town, these users have already funded a portion of the network to gain the reliability benefits. If costs are spread regardless of who already has service, those with existing service will in-effect be paying an unequal share. It should be noted that even though there are currently hydrants in place, this program will improve the availability of fire flow to many parcels that already have service.

1.6.2 Maintain the Beauty and Charm of the Town

Windermere is proud of the character they have intentionally nurtured for their town. The Town has an old-fashioned charm with many unpaved streets and mature trees overhanging the rights-of-way. It is imperative that as the detailed designs are developed and constructed, that the Town's character be

maintained. Individual trees need to be noted on the designs with plans provided to protect them including their root structures. The implementation of the construction must be done in a manner that does not overwhelm the Town. The work hours, amount of road closures, and open trench lengths should be limited to reduce the impact to the residents as work is being conducted.

2.0 WATER SUPPLY ANALYSIS

2.1 INTERLOCAL AGREEMENT WITH ORANGE COUNTY UTILITIES

There is an existing interlocal agreement between the Town and Orange County (Orange County/Town of Windermere Interlocal Water Service Agreement, dated January 29, 1990), that provides for the extension of Orange County Utilities potable water service into the town. This interlocal agreement specifically addresses the previous extension of potable water along Second Avenue. It also provides for connection of other properties within the Town to existing potable water mains and for the extension of potable water lines to other properties within the town.

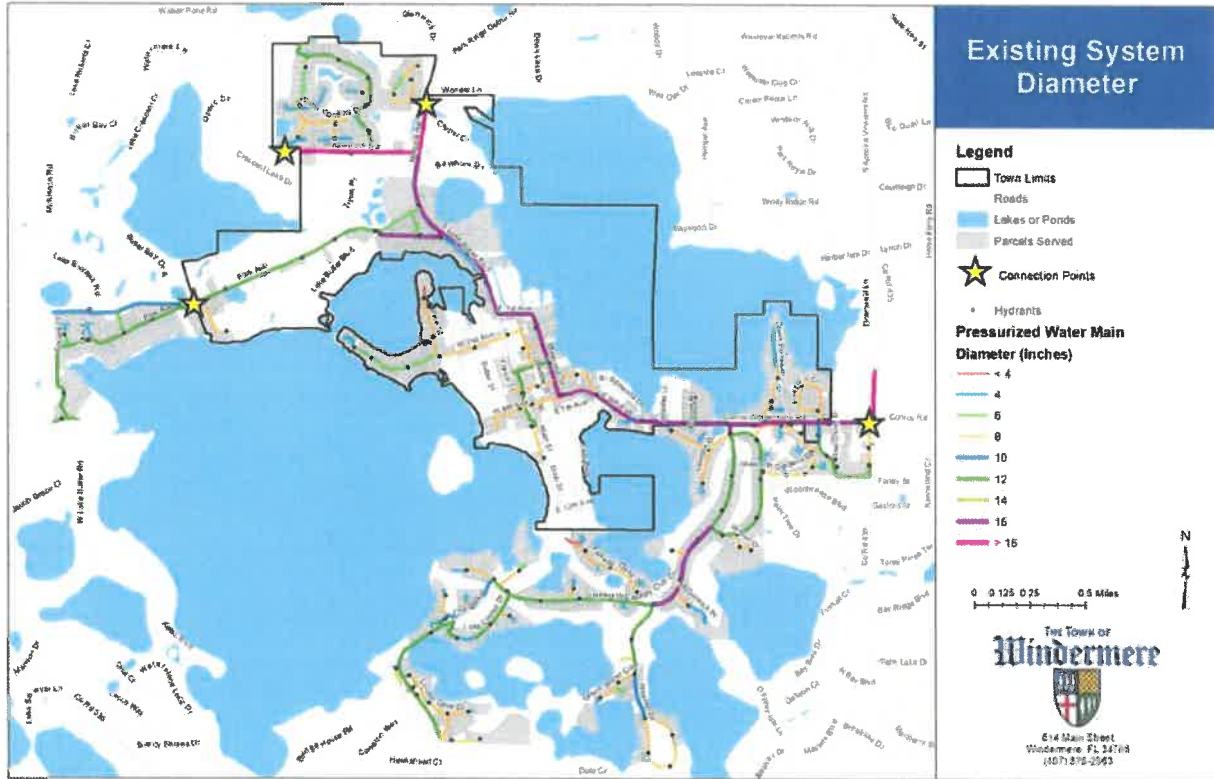
The Town is serviced through four existing connection points on Park Ave, Windermere Rd, Maguire Rd, and Conroy Windermere Rd. The flow of the potable water system is essentially from east to west across the town.

The interlocal agreement supports the plan of the Town to master plan, design, and construct the potable water lines and turn the potable water lines over to Orange County Utilities for operation and maintenance. Alternately, per the interlocal agreement, Orange County Utilities can extend service into an existing area with a petition from 67% of the residents for water. The residents would reach out to OCU's capital improvements group; that group would determine the cost of extending the potable system to the residents. The residents would then be assessed a fee for the extension of the line. At that point it would be up to the residents to accept this fee in order to gain service.

2.2 DISTRIBUTION/TRANSMISSION SYSTEM

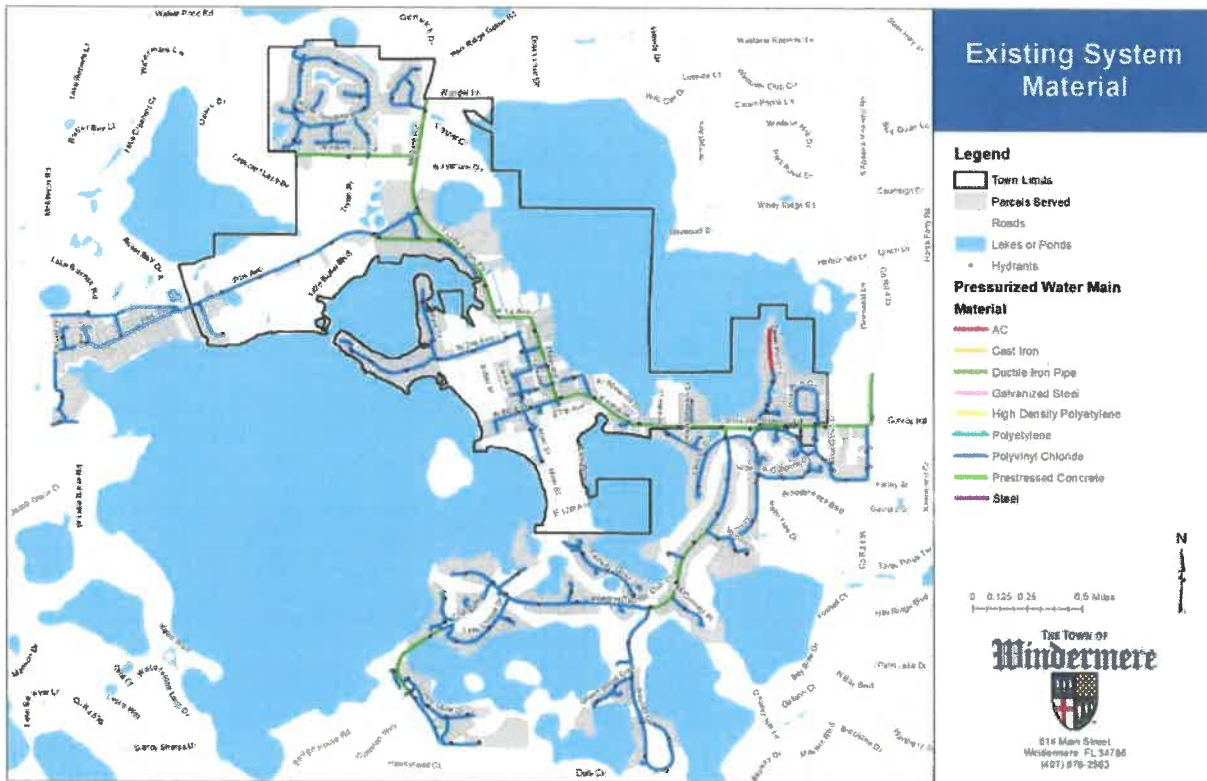
The existing water distribution system in Windermere is equipped with a 16-inch water main that flows through OCU's connection point at Conroy Road to the connection points at Park Ave, Windermere Rd, and Maguire Rd as shown in Exhibit 2-1. This 16-inch main serves as the main supply trunk from which the rest of the system branches off. Most of the water distribution system throughout the Town consists of 8-inch and 12-inch diameter pipe. According to Orange County Utilities, the existing water distribution system appears to be in good condition and did not report any history of breaks in the area.

Exhibit 2-1 Existing OCU System in Windermere and Surrounding Area



OCU’s existing distribution system within the Town is made up of a variety of materials. The system is primarily PVC with some sections of larger pipe being Ductile Iron Pipe and one section of asbestos cement (AC) pipe along Down Point Lane. AC pipe is safe and does not require replacement due to the nature of the pipe. The only dangers associated with AC pipe are when it is uncovered and cut for repairs or modification. In those cases, special procedures (including wetting the pipe when cutting and using respirators) need to be followed to protect construction staff by preventing asbestos fibers from become airborne and inhaled.

Exhibit 2-2 Existing OCU System Materials



Orange County Code Section 37-4 notes only that “All new development in the county’s water service area that is within the county’s urban service area or functional equivalent, as provided for in the Orange County Comprehensive Policy Plan, must connect to the water system in accordance with this chapter.” There is no existing regulatory requirement to connect to a potable water system once it becomes available.

The Town’s Land Development Code in Section 6.04.01(d) requires any new residential or commercial development to connect to the County’s potable water system once it is available. Existing development is not required to connect as long as they have a previously permitted potable water well.

It is unlikely that any new permits for residential wells or well modifications would be issued by the South Florida Water Management District once potable water is available throughout the Town. OCU’s participation in the development of the water system will be contingent on a certain level of participation and will require connection once the line is available. It is possible that funding agencies will require connection to the potable water lines as a condition for funding.

2.3 LAND USE AND DEMAND PLANNING

2.3.1 Orange County Utilities Master Plan

Wade Trim reviewed the 2006 update to Orange County Utility's 2002 Master Plan. Windermere is identified as part of the West Water Service Area. It was not noted as a priority subdivision for retrofitting private wells.

2.3.2 OCU Water Connection Methodology

When determining parcels that are connected to OCU Water lines, three different sets of data were compared and crosschecked.

First, the GIS data (ESRI shapefile format) provided by OCU was entered into ArcGIS. The shapefile provided by OCU showed where the pressurized water mains and water service lines within the town currently exist. All parcels that had a water service line connected to them were selected.

Next, a shapefile containing points that corresponded with OCU accounts through May 2018 was entered. Parcels associated with these points were added to the selection of parcels with water service lines. There were many parcels that did not show a water service line connected to the parcel but had an account with OCU. The issue was brought to OCU's attention and OCU staff stated that the account data included the most accurate, up-to-date data.

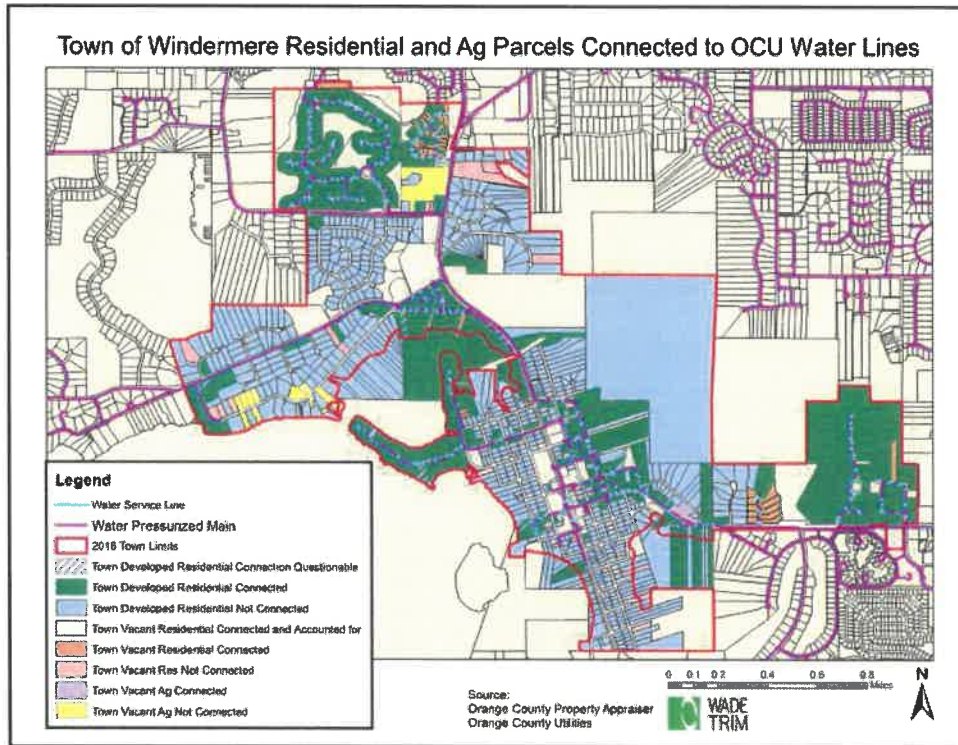
An additional data set that includes accounts opened since May 2018 was provided by OCU in May 2019. Upon receiving the additional data, it was entered into ArcGIS and cross-referenced to the prior two data sets (GIS water line data and May 2018 OCU account data).

It was determined that any parcel that showed a water service line connected to it, any parcel that had an account with OCU from the May 2018 data set, or any parcels that had an account with OCU from the May 2019 data set are connected to OCU's water system.

In comparing the three data sets, there were a handful of parcels that were "questionable" because they either showed having a water service line connection or previously had an account based on the May 2018 account data set but did not show having an OCU account based on the May 2019 account data set received from OCU. These may be attributed to rental properties or properties without someone living there, water service may exist but is not active. "Questionable" parcels were kept categorized as connected to OCU water and identified as "questionable" in the data set.

Once it was determined which parcels had OCU water connections, the parcels were then categorized as either residential or agricultural and whether they were developed or vacant. All nonresidential or non-agricultural parcels (i.e. commercial, office, public facilities, etc.) were then categorized by their Florida Department of Revenue (DOR) code and whether they were connected or not connected to OCU water.

Exhibit 2-3 Parcels Connected to OCU Water



2.3.3 Reclaimed Water Availability and Irrigation

Current reclaimed water is available along Conroy-Windermere Road from Apopka-Vineland Rd to Down Reserve Ct. and into the new subdivision, Down Reserve. This line also provides reclaimed water for Isleworth. The flow projections in this master plan assume that the residents will continue to use shallow groundwater wells for irrigation, rather than potable water.

Exhibit 2-4 Down Reserve and Isleworth Reclaimed Water Lines



2.3.4 Adjacent Area OCU Connections

Part of the project scope was to ensure that the expansion of the Town’s water service would not limit the ability of adjacent areas to receive potable water. Water mains through Windermere should be sized to allow for the ultimate build-out of the potable water system in areas directly adjacent to the Town limits.

The most recent GIS data for water pressurized main and water service line connections that run to adjacent areas were entered into ArcGIS. All parcels that had a water service line connected to it were selected.

Once the initial determination was made for which parcels had water connections, the parcels were then categorized as either residential or agricultural and whether they were developed or vacant.

Nonresidential or non-agricultural parcels (i.e. commercial, office, public facilities, etc.) were then categorized by their Florida DOR code and whether they were connected or not connected to OCU water.

Finally, it was assumed that all parcels within these areas that were developed and had a water pressurized main running in front of them were connected to OCU water.

Exhibit 2-5 Isleworth Parcels Connected to OCU Water

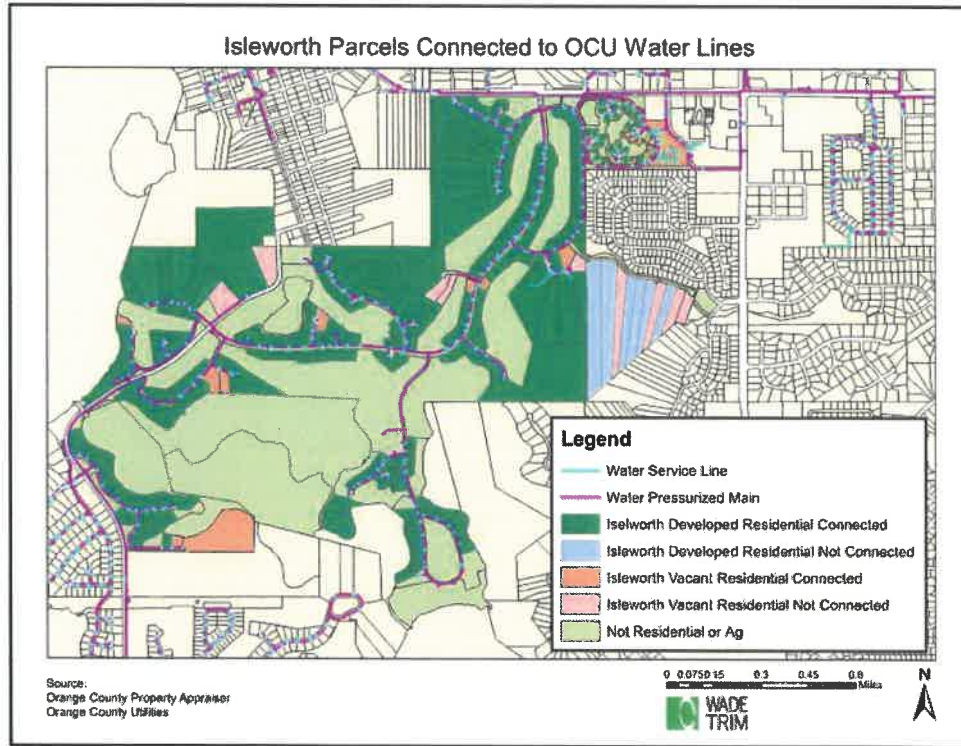


Exhibit 2-6 Four Corners West Parcels Connected to OCU Water

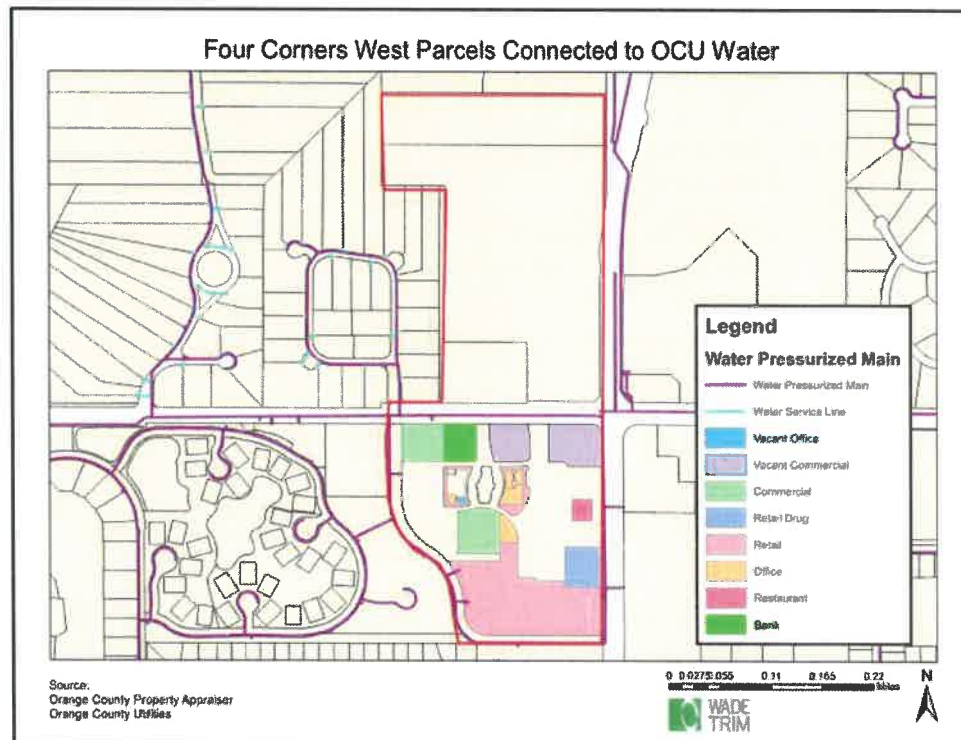
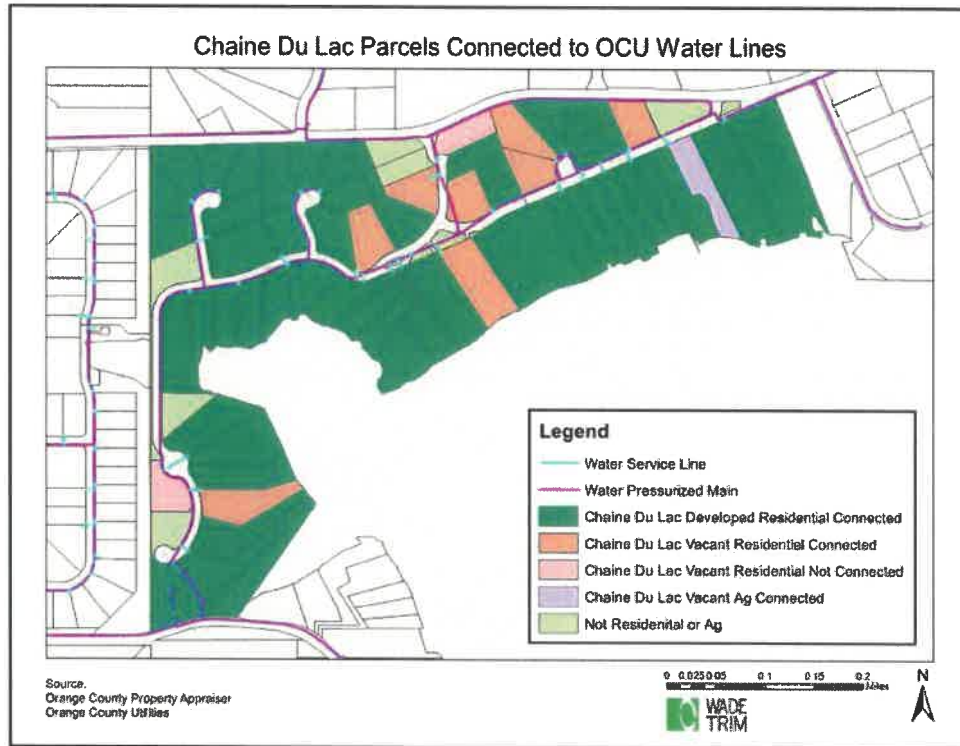


Exhibit 2-7 Chaine Du Lac Parcels Connected to OCU Water



2.4 DESIGN CRITERIA

The following section documents the design criteria that will guide the development of the capital improvement program in this document as well as the criteria that will need to be followed for the ultimate detailed design of the system.

The design guidelines include Orange County Utilities’ Standards and Construction Specifications Manual, FDOT Accommodation Manual, Town Level of Service Standards, Ocoee and Orange County Fire Departments.

2.4.1 Orange County Utilities

All designs shall be per the current Orange County Utilities Standards and Construction Specifications Manual. Specifically, Section 2210 addresses water main design. Section 3210 address materials of construction. See the standards for complete, current requirements.

System Flow:

Section 2210 requires that water mains be designed for the estimated build out. Average daily water flow shall be calculated by referencing the equivalent residential connection (ERC) flow rates as outlined in Appendix E, “ERC/ERU Design Factors.” Water flow rates shall be based on a maximum day to average day peaking factor of 2.0 and a peak hour to average day peaking factor of 4.0. Although the

OCU Masterplan indicates the West Service Area has a 3.5 peaking factor, a 4.0 peaking factor will be used.

Fire flow requirements shall be determined in accordance with applicable County/City fire codes and subdivision regulations. Where fire flow requirements exceed the anticipated available fire flow from the central water system, on-site fire protection system or other County/City fire department approved mitigation measures shall be utilized. The OCU Masterplan indicates 500 gpm for low density residential, 2,000 gpm for Commercial/Industrial/High Density, 6,000 gpm residential, and 9,000 gpm Fire flow master plan.

Calculations shall show that the water mains will have sufficient hydraulic capacity to transport the greater of peak hourly flows or the combination of maximum daily flows and fire flows while meeting the requirements of this Section and FDEP.

System Pressure:

The system shall be designed to maintain a minimum pressure of 20 psi at all points in the distribution system under all conditions of flow. The design pressure in the distribution system should be approximately 45 psi, but in no case less than 35 psi on the upstream side of a meter. For excessive pressures, pressure-reducing provisions may be required.

System Layout:

Typically, water mains in Windermere will be located in rights-of-way. Section 2210 requires mains to have a consistent alignment relative to the centerline of the road. The standard requires a minimum cover of 30 inches within local roadways or within an easement, which will typically be the case for Windermere's system.

In Windermere, since reclaimed water is not provided, 6-inch mains are required in cul-de-sacs. In areas of the Town where looping is not practical, 8-inch mains are required. Mains will be sized to not exceed 8 feet per second under fire plus max day flow condition. Any pipes greater than 12 inches will be ductile iron, less than or equal to 12-inch will be either PVC or ductile iron.

Where water age is a concern, Orange County Utilities prefers to loop the system where possible. Where dead-end lines prevent this, they have used both automatic and manual blow-offs. This is not the preferred solution due to the water loss but is acceptable.

Hydrants shall be placed on the same side of the roadway as the water mains and shall be placed at 500-foot intervals in commercial areas. Hydrant spacing for single-family residential and other areas shall be 1,000-foot intervals. Fire hydrants shall be connected to a 6-inch water main or greater.

Sufficient gate valves shall be provided on water mains so that inconvenience and sanitary hazards will be minimized during repairs. Valves shall be located no more than 500 feet apart in commercial areas and no more than 1,000 feet in all other areas. Valves shall be spaced to isolate a maximum of 40 single-family residential lots. A minimum of two valves per tee shall be required to isolate and maintain adequate service. Valves shall be placed at phase lines and located at the end of all water main extensions except at cul-de-sacs.

Provisions shall be made to remove air at high points in water mains where elevation changes exceed five feet. Automatic air release valves shall be located at high points in water mains for pipe systems greater than 12 inches in diameter.

Fittings and sleeves shall be used for all changes in direction rather than deflection.

One and two-inch services shall be polyethylene tubing. Services 4-inch and larger shall be DIP from the point of connection to the existing main to the meter assembly, if the existing main is on the same side of the street as the property. If the main is on the opposite side of the street, as a minimum, the segment of pipe immediately upstream from the meter assembly shall be DIP.

Modeling Calculations:

Friction losses through mains shall be based on the Hazen and Williams or Darcy-Wiesbach formulas. In the use of Hazen and Williams formula, the value for "C" shall be 120 for ductile iron pipe and 130 for PVC and HDPE pipe. "C" values greater than 130 shall not be allowed.

2.4.2 FDOT Accommodation manual

Within roadway right-of-way, follow the requirements of the FDOT Accommodation Manual. The manual defines the requirements to work on utilities in FDOT right-of-way. These requirements include design loads for any utilities at grade, restoration of pavement, and maintenance of vegetation.

2.4.3 Ocoee Fire Department

The Town is served for fire emergencies by Ocoee Fire Department. Wade Trim contacted Shawn Sorenson, Ocoee Fire Department Fire Marshal/Division Chief. On May 9th, 2019, he stated, "We follow the Fire Flow requirements set by NFPA 1 2015 ed. which is part of the Florida Fire Prevention Code 6th ed. We also set a maximum distance between hydrants within our city at 500 ft in residential areas and 350 ft in commercial areas."

2.4.4 NFPA 1 Fire Code

The applicable portion of the latest edition of National Fire Protection Association (NFPA) 1 Fire Code is Chapter 18, "Fire Department Access and Water Supply." Several codes within Chapter 18 are of interest to this master plan.

18.4.3.1.1 States that the authority having jurisdiction (AHJ) shall be permitted to reduce the required fire flow in rural or suburban areas where the development of full fire flow is impractical.

18.4.5.1.1 States that the minimum fire flow for residential homes with a total floor area less than 5,000 square feet shall be 1,000 gpm for 1 hour.

18.4.5.1.4 States that where homes have more than 15 feet to side-yard property line they can take a 25% reduction in fire flow, where they have 25 feet, they can take a 40% reduction in fire flow. It should be noted that the side-yard setback requirements in Windermere vary depending on the size of the lot, but the largest lots (lot width of 120 feet or greater) are required to have a minimum setback of 15 feet from the side-yard property line.

18.4.5.2.1 States that homes larger than 5,000 ft² would follow a table to determine the fire flow requirements. A portion of that table is reproduced in Table 2-1 below. Included in that table is a list of the number of structures that fall into each fire flow category. Note that the largest home is approximately 28,300 square feet. This home is required to have 15-foot setback from the side yard. With a 25% reduction in required fire flow the requirement would be 2,625 gpm for 3 hours.

Table 2-1 Fire Flow gpm for type III-B – Unprotected Ordinary Construction			
Fire Flow Area (ft ²)	Fire Flow (gpm), Duration (hr)	Number of Homes	Number of Non-Residential Buildings
0-5,900	1500, 2	938	12
5,901-7,900	1750, 2	125	1
7,901-9,800	2000, 2	44	2
9,801-12,600	2250, 2	13	2
12,601-15,400	2500, 2	5	4
15,401-18,400	2750, 2	4	1
18,401-21,800	3000, 3	0	0
21,801-25,900	3250, 3	0	0
25,901-29,300	3500, 3	1	2

18.5.2 States that for residences, hydrants shall not be more than 600 ft from the closest point of a building and the maximum distance between hydrants shall not be more than 800 ft. This requirement is more stringent than the Orange County Utilities requirement of 1,000 ft in residential areas, so for planning purposes, hydrants will be placed 800 ft apart.

2.5 STRATEGY TO MEET GOALS

A Town goal is to have a reasonable plan to supply all homes with good water quality and fire protection. The Town would also like to understand their ability to provide water for any future expansion. The Town would prefer the system to be looped wherever possible to provide for improved circulation and reduced water age. Where looping is not possible, automatic blow-offs can be installed, as necessary.

2.5.1 Requirement to Connect

As discussed in Section 2.2, there is no current requirement for existing structures to connect to any new water mains installed. Residents who want to keep their existing water supply wells will be able to do so. However, no new wells or replacement wells will be permitted by the South Florida Water Management District, leading to a gradual process of connection. However, to facilitate funding, the Town may decide to initiate an ordinance requiring connection when water mains become available.

2.6 COORIDATION WITH ON-GOING PROJECTS

The projects described in this document should be executed in conjunction with other Town projects in order to take advantage of cost savings. Repaving roads that are scheduled to have water lines installed should be deferred until after the lines are installed.

The Paving Index used by the Town's Public Works Department to determine which Town roads need to be improved based on pavement conditions should be cross-referenced against the list of roads that will receive new water lines. Most of the roads in the Town are dirt and not subject to the Paving Index. As decisions are made as to which phases should be executed first, the Town's Paving Index should be reviewed to identify projects that can be coordinated so that the road is only paved once.

3.0 HYDRAULIC MODEL DEVELOPMENT

3.1 DEMAND PROJECTIONS

In order to accurately model the Town's potable water system, the first step is to determine how much water is being consumed (demands) and where in the system the demands are located. The next step is to create a digital representation of the Town's existing pipe network and apply these demands to it. Then the digital model of the existing system needs to be confirmed against results from the actual system. Once the existing system is accurately represented, the digital pipe network can be expanded to include the anticipated future pipe system.

3.1.1 Demand Projections

Existing water demands were developed using two different methodologies and then compared for confirmation. Method 1, in Table 3-1 below, is based on meter data provided by Orange County Utilities.

Design Flow	Demand (MGD)
Average Daily	0.17
Maximum Daily	0.34
Peak Hour	0.68

Method 2 was based on ERC estimates for each property based on the type of zoning and the size of the structure. The Town's Level of Service Standard as established by Orange County is 350 gallons per day per equivalent residential unit. The Level of Service of 350 gallons per day per equivalent residential unit also appears in the Capital Improvements Element under Policy 1.4.1. Level of Service Standards

As shown in Table 3-2 below, the ERC estimates were confirmed by comparison to the OCU values in Table 3-1.

Design Flow	Demand (MGD)
Average Daily	0.19
Maximum Daily	0.38
Peak Hour	0.75

The 10-year model scenario is based on providing potable water service to all parcels within the town limits. To determine the 10-year demand, the properties not currently serviced within the town limits were added into the existing demand estimates. The water usage in Table 3-3 below was based on the connection of an additional 661 residential properties and 29 non-residential properties:

Table 3-3 10-Year Demand Projections Method 2 (Based on estimated ERC numbers)	
Design Flow	Demand (MGD)
Average Daily	0.43
Maximum Daily	0.86
Peak Hour	1.72

The build-out model scenario is an evaluation of the Town completely serviced along with the adjacent areas outside the town limits. The water usage was calculated based on the connection of an additional 391 residential properties and 24 non-residential properties in Isleworth, Chaine Du Lac, and Four Corners as shown in Table 3-4.

Table 3-4 Build-out Demand Projections Method 2 (Based on estimated ERC numbers)	
Design Flow	Demand (MGD)
Average Daily	0.57
Maximum Daily	1.15
Peak Hour	2.30

3.2 MODELING SOFTWARE

Orange County Utilities has a hydraulic model for the entire County, which includes the Town of Windermere as one of their nodal points. As a basis for the preparation of the Town’s hydraulic model, actual hydraulic grade line data was obtained from OCU’s model for the four boundary connection points. For the purposes of this master plan, a new, detailed WaterGEMS model of the Town was prepared to identify piping alignments and locate hydrants for each road and neighborhood.

WaterGEMS is a comprehensive water distribution modeling application that was developed specifically to determine the hydraulic capabilities of pressure pipe systems. WaterGEMS can run from within ArcGIS, AutoCAD, and MicroStation, or as a standalone application. This software package features advanced interoperability, model building, optimization, and asset management tools. From free-flow to energy-consumption and capital-cost management, WaterGEMS helps engineers and utilities analyze, design, and optimize water distribution systems. Virtually any data source can be used with WaterGEMS to jumpstart the model-building process.

3.3 DATA COLLECTION AND EXISTING SYSTEM MODEL DEVELOPMENT

The existing model was developed based on information available in the existing GIS layers including the water main location, material, and diameter. The Model also included the location of existing hydrants. Grade elevations were determined based on information available from Google Earth®.

3.4 MODEL CALIBRATION

The results provided by computerized hydraulic models are often used in capital projects involving several million dollars. As a result, it is imperative that the results from the model bear close resemblance to the actual performance of the hydraulic system. In other words, the computer model must be accurately calibrated through a process of comparing model results to field observations. In addition, it is necessary to have an accurately calibrated model in order to determine if industry and minimum governing agency criteria are being met to protect the health, safety, and welfare of the users of the system.

Calibration is the process of fine-tuning a model until model results match field conditions to an established degree of accuracy. To be calibrated, a model must accurately simulate both observed pressure and observed flow values in a system. In general, a model is calibrated to:

- Establish model credibility
- Create a benchmark
- Establish a predictive tool
- Gain knowledge and understanding of current operation and performance
- Discover errors or unknowns in the field

While a hydraulic model may have several different uses, there are typically four basic categories for use, including Long-Range Planning, Design, Operations, and Water Quality. Depending on the intended use for the model and any subsequent results, the degree of calibration will also vary. Further, while formal calibration standards do not exist, minimum calibration criteria depending on the intended use of the model, are typically followed in this industry, as detailed in Table 3-5.

Intended Use	Level of Detail	Type of Time Simulation	# of Pressure Readings	Accuracy of Readings	# of Flow Readings	Accuracy of Flow Readings
Long-Range Planning	Low	Steady-State or EPS	10% of Nodes	± 5 psi for 100% of Readings	1% of Pipes	± 10%
Design	Moderate to High	Steady-State or EPS	5% to 2% of Nodes	± 2 psi for 90% of Readings	3% of Pipes	± 5%
Operations	Low to High	Steady-State or EPS	10% to 2% of Nodes	± 2 psi for 90% of Readings	2% of Pipes	± 5%
Water Quality	High	EPS	2% of Nodes	± 3 psi for 70% of Readings	5% of Pipes	± 2%

Existing and anticipated water usage was shared with OCU and they, in turn, provided information for their connection points for use in model calibration. The connection points listed in Table 3-6 below are shown on Exhibit 1-1.

Table 3-6 Existing Connection Points with OCU

No.	Location	Max Day + Fire Demand	Peak Hour Demand	HGL
1	Park Avenue	300 gpm	400 gpm	N/A
2	Windermere Road	2,000 gpm	1,600 gpm	N/A
3	Conroy-Windermere Road	N/A	N/A	235 ft
4	Maguire Road	N/A	N/A	235 ft

Due to the limited amount of information initially provided by OCU, hydrant data was requested to ensure the model is correctly calibrated throughout the system, not just at the areas of the connection points. OCU provided available hydrant data for 22 hydrants scattered throughout the system, including static pressures and flow data. However, the static pressure for all the hydrants was approximately 30 psi higher than what the initial model showed at these points given the pressures at the connection points listed above. Average system pressure from the initial calibration showed that maximum day and peak hour pressures should be around 50 psi (or 230-232 ft) in comparison to an average static pressure at the hydrants of 79.5 psi.

Based on the differences between the connection point pressures provided by OCU and the hydrant data, additional hydrant tests were conducted on a few indicative hydrant locations in order to determine that the hydrant data was in fact, more accurate than the connection point data. It was determined that 80 psi was reasonable in regard to average system pressure and OCU staff confirmed these results. Given this, the model was calibrated using the hydrant data rather than the initial connection point data from OCU's overall system model. Results from calibration of the model were such that model results were within ± 10 percent of field results, which is acceptable for planning purposes.

3.5 FUTURE SYSTEM MODEL DEVELOPMENT

The future system was established in the model by branching off the existing OCU main trunk lines within the Town. No new connections to OCU's system are required. The future system provides service down every street within the Town. The lines were laid out based on the design criteria in Section 2. Once the proposed pipe network was established in the modeling software, that network was evaluated at the 10- and 20-year scenarios to fine-tune the pipe size selection. The majority of the proposed system is 8-inch PVC to allow sufficient fire flows.

The proposed system at 20-years does not require changing any existing pipes or adding any pipes. The adjacent areas already have complete coverage with potable water, the 20-year scenario considers the demand in those areas as well as the area within the town limit and includes all parcels being connected to the system.

4.0 HYDRAULIC MODEL ANALYSIS

Two basic types of analyses can be conducted using a hydraulic model, Steady-State Simulation (SSS) and Extended Period Simulation (EPS).

A SSS run simulates the system at an instantaneous point in time. Distribution system boundary conditions (tank elevations, water demands, pump and valve status, etc.) are set in the model to represent initial conditions and then the model predicts pressures and flows at other points in the system under those conditions. A SSS run is most often used for the initial validation of an "unrefined" hydraulic model. Frequently, a calibrated and "refined" SSS model will be used to assess the impact of large demands, for example fire flows, under various conditions.

The second type of model analysis is an EPS, which simulates the distribution system as it changes over time. Many different factors contribute to the model output, such as water demand and supply fluctuations, booster pumps turning on and off, pressure reducing valves (PRV) becoming activated, and tank elevations changing. EPS runs can be used to assess the adequacy of booster pump stations and storage tanks over the course of a day, a week, or even months under different demand conditions.

For this study, Wade Trim conducted steady-state simulations to determine the operating behavior of the system at a specific point in time under steady-state conditions (i.e., flow rates and hydraulic grades remain constant over time) for the various scenarios discussed in this section.

In addition to steady-state analysis, a fire flow analysis was conducted to determine if the system can meet the fire flow demands while maintaining minimum pressure constraints. In WaterGEMS, fire flows are computed at each node by iteratively assigning demands and computing system pressures. If a constraint is not met, either minimum pressure or the minimum flow volume cannot be achieved, WaterGEMS automatically reduces the flow until the constraint is just met. If all constraints are exceeded, the fire flow is increased until the constraint is barely met within a tolerance.

4.1 MODEL SCENARIOS

As part of the model analysis conducted for this report, several iterations were performed looking both at present day and future conditions, as well as proposed water main extensions to parts of the town not currently served by water.

The existing and future systems were modeled using WaterGEMS to evaluate the system pressure, available fire flow, and water age. The existing system, along with two future model scenarios were developed. The first future scenario, the "10-year" includes complete build-out within the Town's borders. The second future scenario, the "20-year," includes the full build-out within both the Town and the surrounding neighborhoods of Isleworth, Chaine Du Lac, and Four Corners.

4.2 EXISTING CONDITIONS MODEL

The existing system was analyzed to identify concerns related to water supply, materials of construction, fire flow, and water age within the Town’s existing distribution system. The analysis determined that the existing system was installed with sufficient capacity to allow it to be expanded for the build-out condition discussed above. However, a few existing pipes need to be increased in size to accommodate required fire flows as discussed in Section 4.2.2 of this report. None of the existing pipes need to be increased in size due to the extension of the system into unserved areas.

4.2.1 System Pressure

OCU notes that the target minimum pressure when designing a distribution system should be approximately 45 psi, but in no case less than 35 psi on the upstream side of a meter. The existing system analysis determined that the existing system pressures are much higher than these minimum standards. The range of pressures is shown in Exhibit 4-1, the lowest pressure under max day flow scenario is 70 psi, the highest pressure is 91 psi.

The result of this analysis was that no improvements are required to provide adequate pressures for the existing system.

Exhibit 4-1 Existing System Pressures

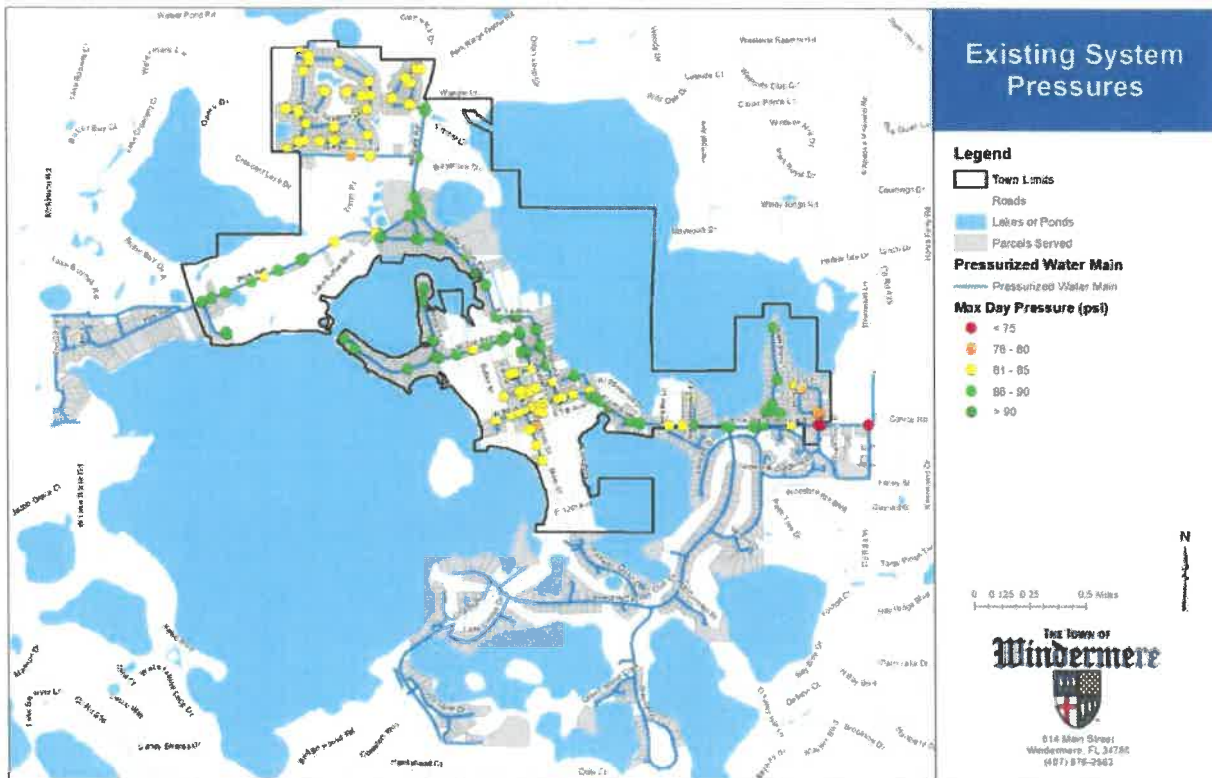


Table 4-1 below summarizes the existing system pressure analysis. As discussed, all of the existing system nodes provide the design level of pressure within the Town limits.

Scenario	Demand (gpm)	Min System Pressure (psi)	Ave System Pressure (psi)	Max System Pressure (psi)	Nodes <35 psi
Average Day	130	70	84	90	0
Maximum Day	260	70	85	91	0
Peak Hour	523	70	85	91	0

4.2.2 Available Fire Flow

As noted previously, the required fire flow varies dramatically based on the size of the home. Within the Town, required fire flows range from 1,500 gpm to 3,500 gpm. Exhibit 4-2 shows the available fire flow at all the existing nodes. Nodes with black dots represent existing hydrant locations.

Per review of fire flow availability, many hydrants have less than the minimum 1,500 gpm required; all the hydrants have at least 1,000 gpm. Some of the water mains have less than 1,000 gpm, but these are not at hydrants. In some cases, nodes had less than 500 gpm. The low fire flow nodes are addressed as part of the expansion, either as the result of a more robust looped network, or in a few cases, replacing water mains with larger pipes to increase water availability.

Exhibit 4-2 Existing System Available Fire Flow

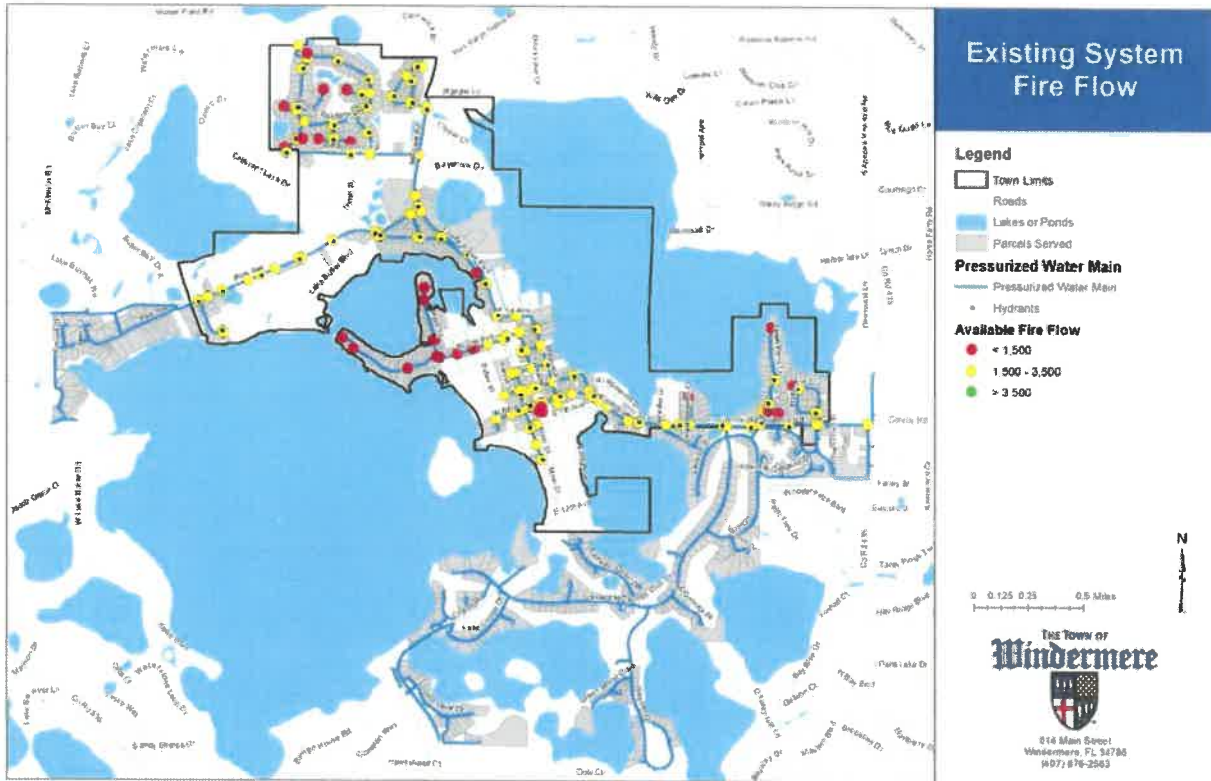


Table 4-2 below summarizes the results of the fire flow evaluation of the existing system. The evaluation concluded that 21 nodes provided available fire flow below 1,000 gpm. In some cases, these nodes were located on water main segments beyond the last required hydrant, so no changes were required. In other cases, the water mains need to be upsized as part of the expansion of the system to provide adequate fire flows.

Table 4-2 Existing System Available Fire Flow				
Scenario	Min Fire Flow Available (gpm)	Ave Fire Flow Available (gpm)	Maximum Fire Flow Available (gpm)	Nodes with Fire Flow <1,000 gpm
Fire Flow	67	3,712	5,000 [max tested]	21

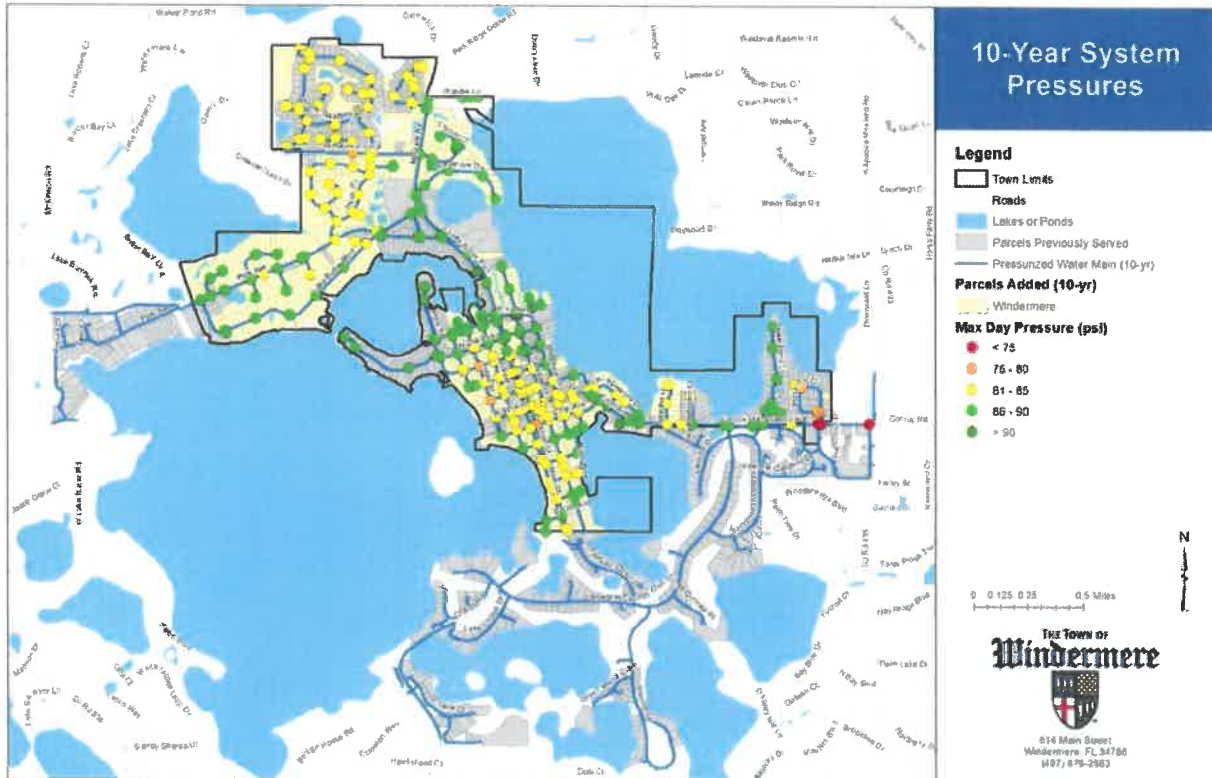
4.3 FUTURE CONDITIONS MODEL

The results of the 10- and 20-year scenarios are combined below because the piping networks are the same between the two scenarios. The only difference is that the 20-year scenario considers adjacent areas to the town (Isleworth, Chaine Du Lac, Four Corners).

4.3.1 Future Pressures

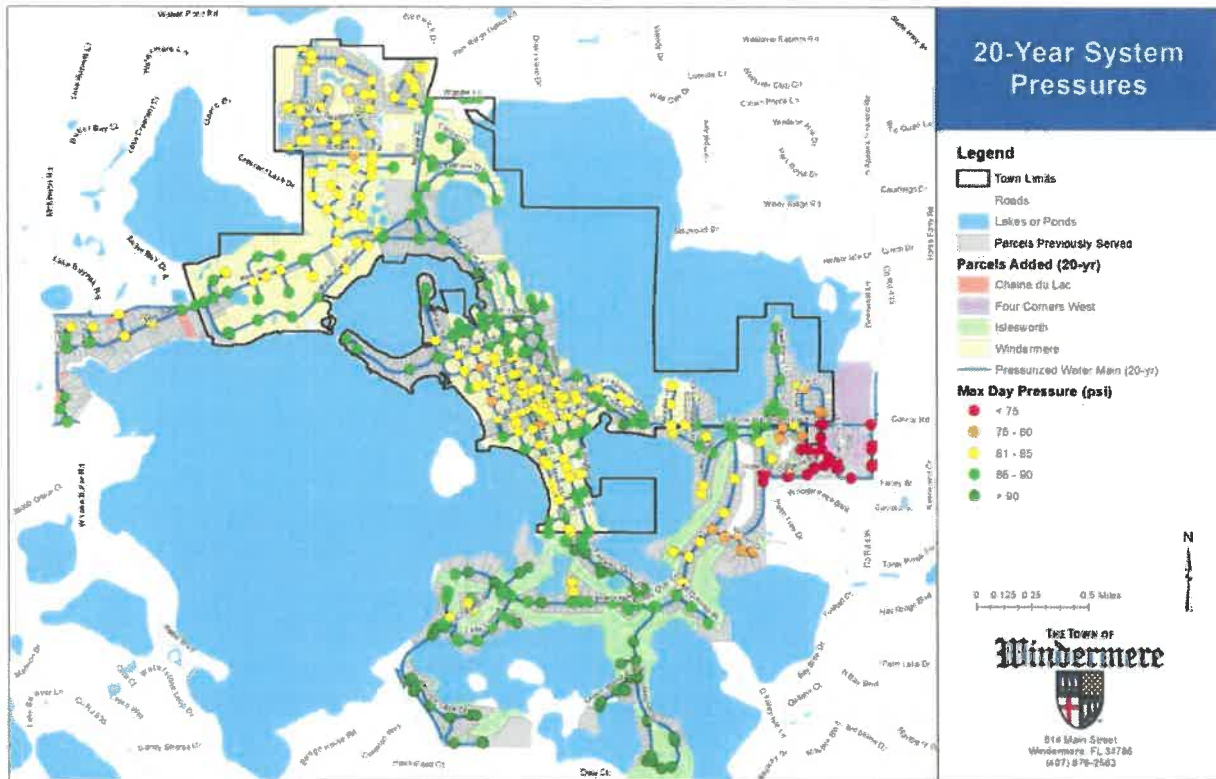
Evaluation of the 10-Year scenario determined that no modifications to the existing system are required to provide adequate pressures. As shown in Exhibit 4-3, the entire town has adequate pressures (above 35 psi). Static pressure for all nodes is greater than 70 psi during any demand condition modeled.

Exhibit 4-3 10-Year System Pressures



When the areas immediately outside the Town’s limits were added to the model, it was confirmed that all nodes had greater than the required 35 psi. As shown in Exhibit 4-4, all nodes had at least 64 psi for all modeled scenarios.

Exhibit 4-4 20-Year System Pressures



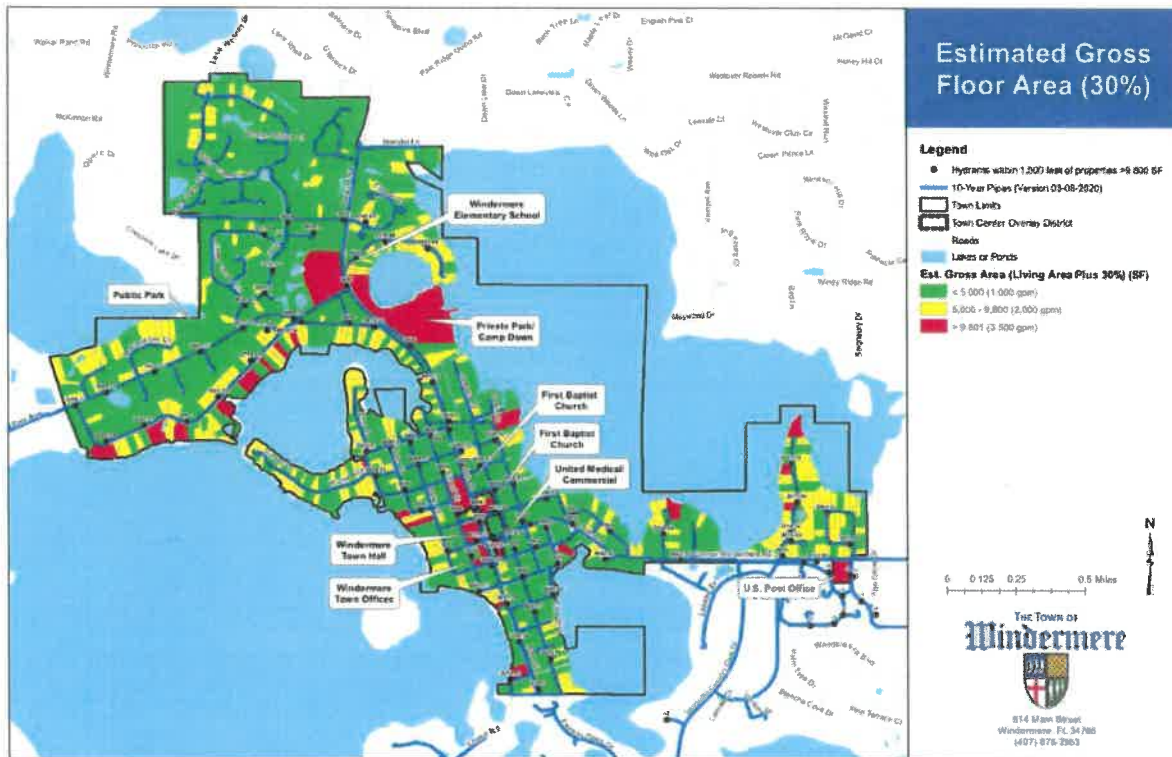
4.3.2 Future Fire Flows

As will be described in Section 5, a few lines required replacement with larger lines to allow for fire flow. With these increases, all but one street has over 2,000 gpm of flow available. This fire flow is sufficient for homes up to 9,800 square feet. Down Point Lane has 1,800 gpm available, enough for a 7,900 square foot home.

As shown in Exhibit 4-5, the future system was developed to provide sufficient fire flows even for the largest homes. Parcels with buildings larger than 9,800 square feet are shown in red. The hydrants within 1,000 feet of these large structures are shown along with their estimated fire flow. All but three areas of town have over 2,500 gpm available in each line, enough for 15,400 square foot homes. The three areas below 2,500 gpm are:

1. Sunset Lane, 1,800 gpm available (7,900 square foot homes)
2. Willow Lauren Lane, 2,000 gpm available (9,800 square foot homes)
3. Down Point Lane, 2,000 gpm available (9,800 square foot homes)

Exhibit 4-5 Proposed System Available Fire Flow



4.3.3 Future System Water Age

Water age is the time it takes for water to travel from the water treatment plant to the customer. In pipe networks, there can be areas where water can remain in pipes for extended periods of time. This can happen due to long travel distances from the source, low demand, or in dead-ends of the system. Even in a looped pipe network, if it is fed from both ends, the center can experience high water age.

Water age is an important performance indicator to utilities because excessive age can cause problems with disinfection byproducts. Disinfection byproducts are compounds that are formed from the disinfectants in the water that can have deleterious health effects.

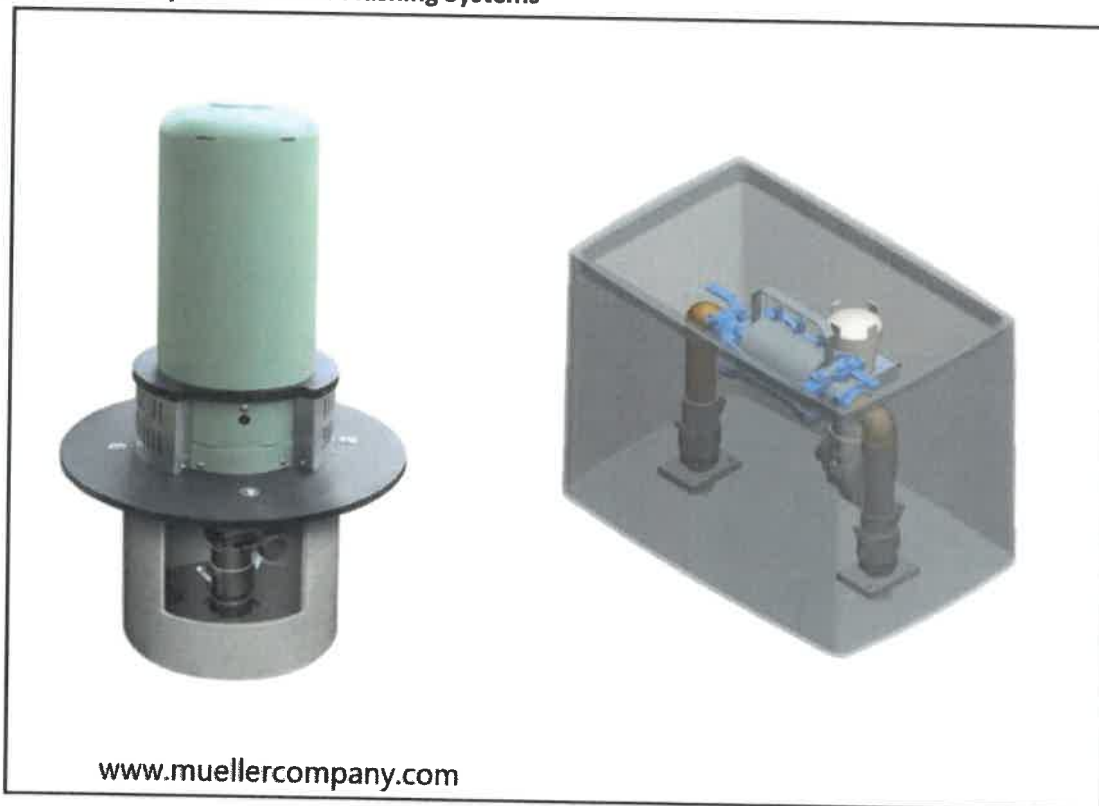
The future systems were designed to limit areas of stagnant water wherever possible; however, due to the physical constraints, completely eliminating areas of high water age was not possible. An extended simulation of the built-out system was run to identify areas of potential high water age. The model identified four areas of concern:

1. Windermere: Bayshore Drive
2. Chaine du Lac: Southwest end of Park Avenue
3. Isleworth: Louise Cove Drive & Cypress Chase Drive
4. Isleworth: Deacon Circle

The most common solution would be to install manual or automatic flushing systems. There are several variations of automatic flushing systems, they all are automatically programmed or remote controlled to

discharge water and provide dechlorination to protect the natural environment. Exhibit 4-3 shows two examples of Automatic Flushing Systems. The system on the left is primarily above grade and discharges water directly at the unit. The system on the right is below grade in a valve box and discharges the water at a remote location. The below-grade system may be the best fit for OCU's system in this area because the units can be located out of sight and the discharge lines can run to storm ponds or other water bodies.

Exhibit 4-6 Example Automatic Flushing Systems



Automatic flushing systems are beneficial in strategic locations in systems even where water age is not a factor. As part of good maintenance practice for distributions systems, operators are required to flush lines periodically. This usually requires opening fire hydrants to create high-velocity flows through lines which remove any settlement in the line. As part of the detailed design, these automatic flushing systems could be installed in locations that allow remote control of the flushing operation. By making the operation automated and easier for operators it is likely to occur more often, improving the water quality for the residents.

An emerging solution for water age that could be considered in this case would be to connect the last few homeowners' irrigation systems to the potable water supply. This method would require negotiation with Orange County Utilities as this is not a common application. Those homeowners would

need to have a separate connection to the potable system so they would not be billed for this usage. The advantage is that the water is not wasted, it is used to offset irrigation water. This irrigation would increase demands during off hours, which would serve to flush the lines. The homeowners would need to commit to regular watering all year long and would need to ensure there were no cross-connections with their home plumbing.

5.0 CAPITAL IMPROVEMENT PLAN DEVELOPMENT

5.1 RECOMMENDED IMPROVEMENTS AND PHASING PLAN

The phasing plan was developed based on three criteria. The first was that the phases large enough to attract contractors and obtain competitive bids. Larger phases also allow for some economies of scale in the bids. The second criterion was that the phases be independent of each other and prevent projects from overlapping, resulting in a single point of responsibility for each phase. This independence of phases has the added benefit of allowing the work to be conducted in any order the Town prefers. The third criterion was that the phases be relatively equal in scale.

As shown in Exhibit 5-1, the town limits were divided into three phases (North, Central, and South) which can be constructed in any order. The division between the North Phase and Central Phase is the canal crossing of Main Street/Maguire Road. The existing 16-inch water main down Main Street/Maguire Road will not require modification; therefore, no work is required across this boundary. The division between the Central Phase and South Phase is along 6th Avenue, which is serviced by an existing 8-inch main that does not require replacement.

Exhibit 5-1 Division of Phases

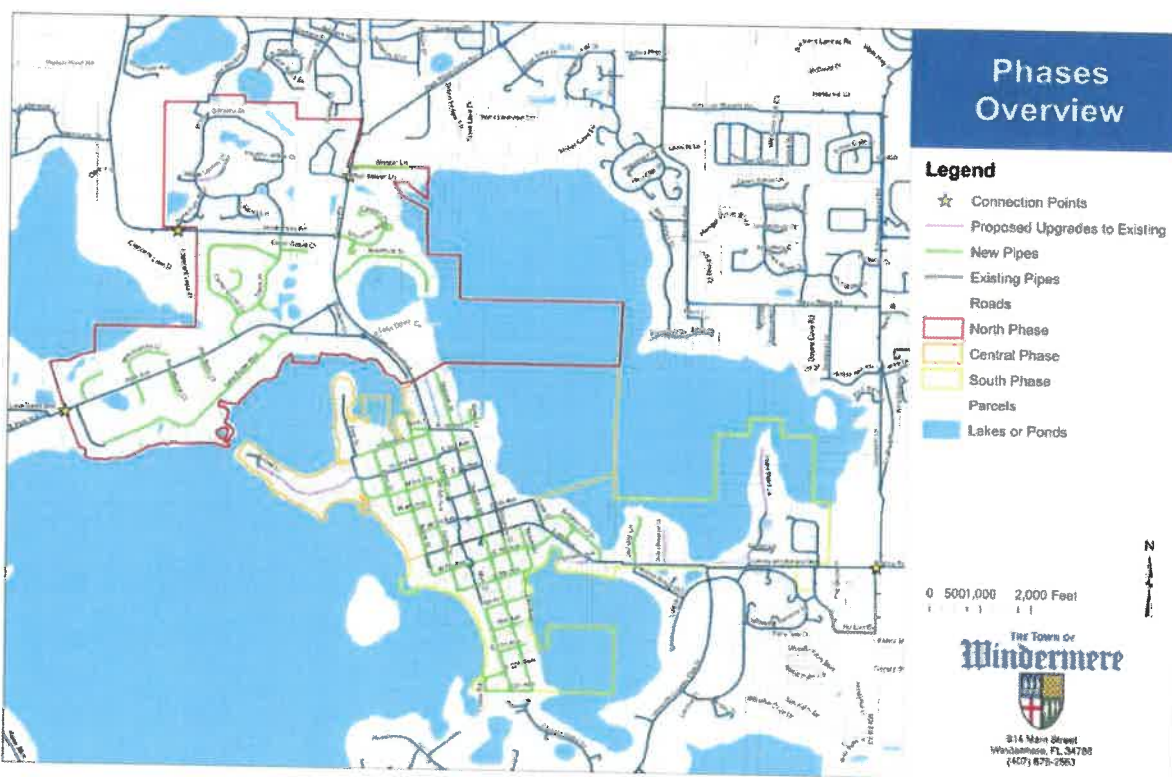
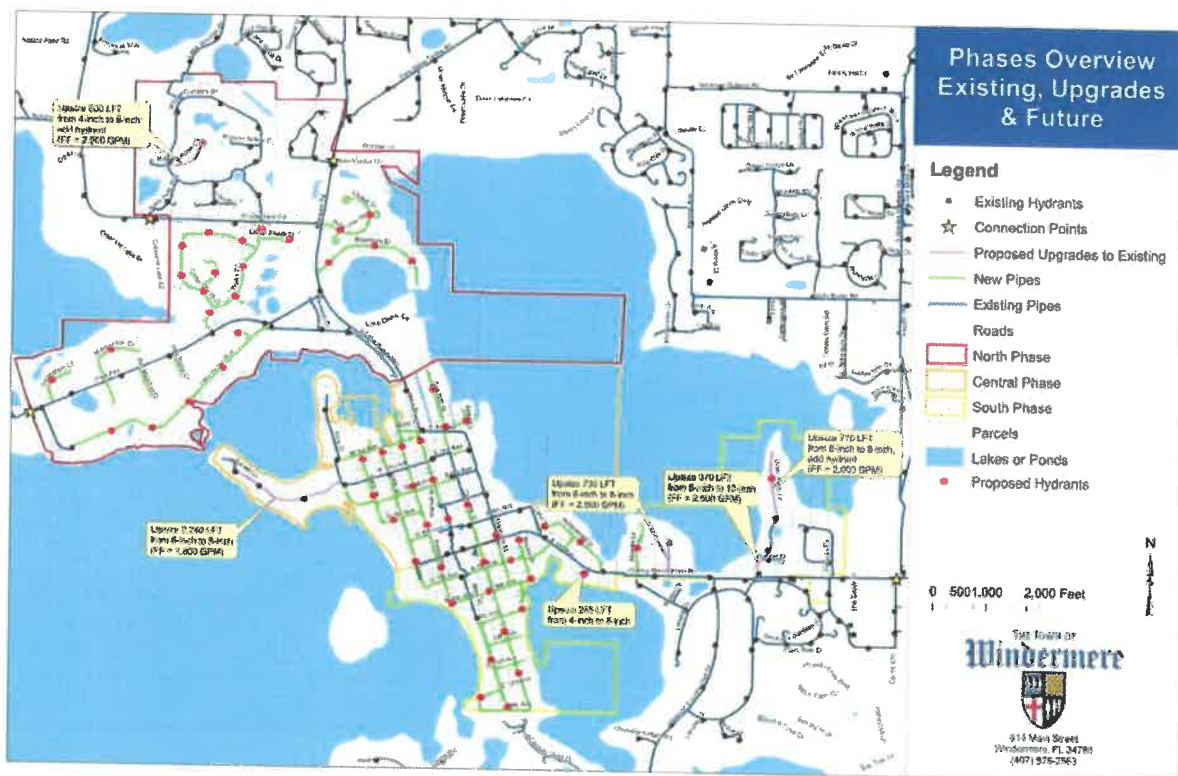


Exhibit 5-2 below shows the approximate recommended locations of hydrants to adequately provide fire protection across the system. Final location of individual hydrants must be determined as part of the final design stage. Proposed hydrants in each phase are:

- North Phase – 23 hydrants
- Central Phase – 16 hydrants
- South Phase – 18 hydrants

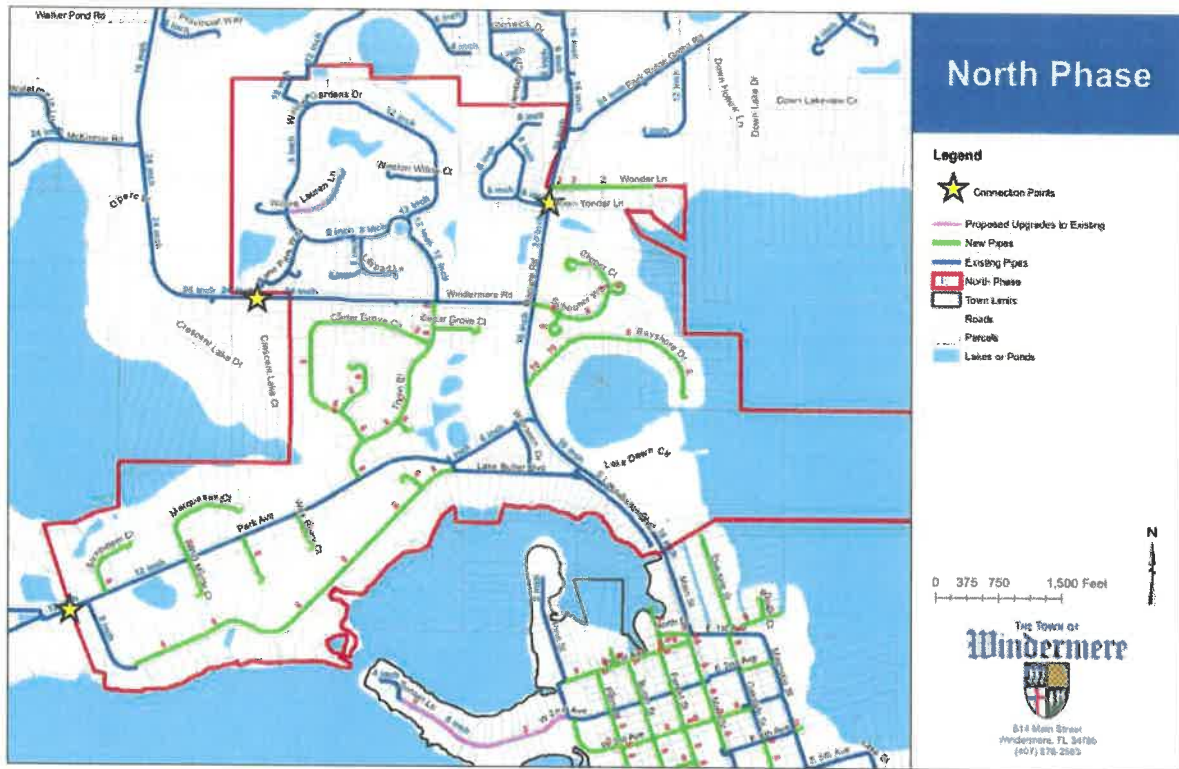
Exhibit 5-2 Proposed Future Hydrants



5.1.1 North Phase

The North Phase is predominately residences in subdivisions including the Manors, The Willows, Estancia, several smaller subdivisions such as Lake Crescent Reserve, and larger homes along Lake Butler Boulevard. As shown in Exhibit 5-2, the main arteries through the phase are in place, this will allow the work to be conducted mostly within the subdivisions.

Exhibit 5-3 North Phase



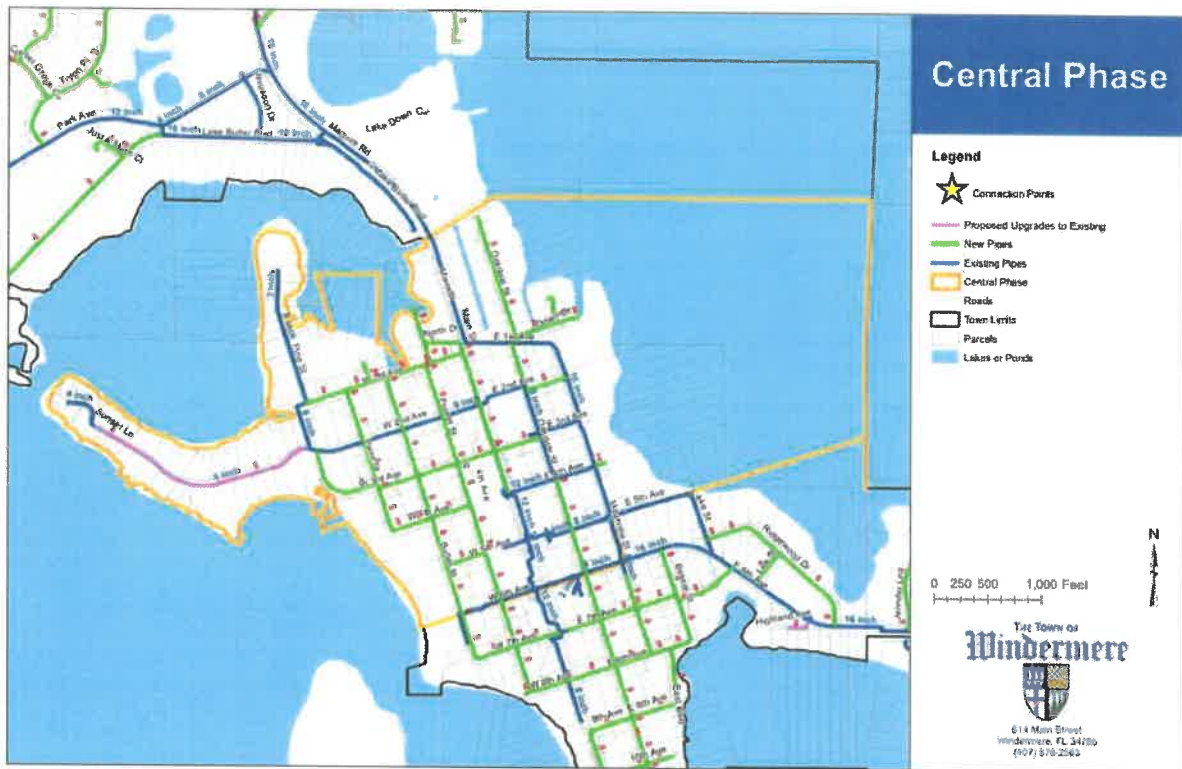
In the North Phase, 376 parcels are not currently connected to the OCU system. Of the unserved parcels, 301 parcels would have water available to them when the new lines are connected, the remaining 75 parcels already have water available to them. Of the 301 parcels, 289 are residential lots with a home; two are non-residential sites (includes recreation sites, such as Windermere Recreation Area); and 10 are miscellaneous (ROW, vacant/conservation, etc.).

To accommodate fire flows, 500 feet of 4-inch main on Willow Lauren Lane will need to be upsized to 8-inch. This increased line size will allow for a hydrant to be placed halfway down Willow Lauren Lane. In addition, the individual service lines down Wonder Lane will be replaced by one new 8-inch line to allow for a hydrant to be placed on Wonder Lane.

5.1.2 Central Phase

The Central Phase is characterized by older neighborhoods, primarily with dirt roads, and the Town Center and business district. This portion of the town has a mix of homes including original homes dating back to the 1920’s, homes built during the expansion of the 1960’s, and recent homes. As shown in Exhibit 5-3, the main artery along the east side of the phase is in place, the majority of the work is the in-fill of residential roads.

Exhibit 5-4 Central Phase



In the Central phase, 223 parcels are not currently served by OCU. Of the unserved parcels, 185 parcels do not have OCU water available to them current and would gain access under this plan. Of the 185 parcels, 172 are residential lots with homes; four are non-residential sites (includes recreation/public use sites); and nine are miscellaneous (ROW, vacant/conservation, etc.).

To accommodate fire flows, 2,240 feet of 6-inch water main along Sunset Lane will be replaced with 8-inch main. This is the only line that requires a size increase in the Central Phase.

Along Main Street, there are two roads as shown in Exhibit 5-4. Typically, the 40-foot wide property between the roads is associated with the properties to the west of the roads. The Town is in the process of acquiring much of this area as part of a planned multi-modal path. It is recommended that the water mains be run between the two roads in the Town’s proposed multi-modal path.

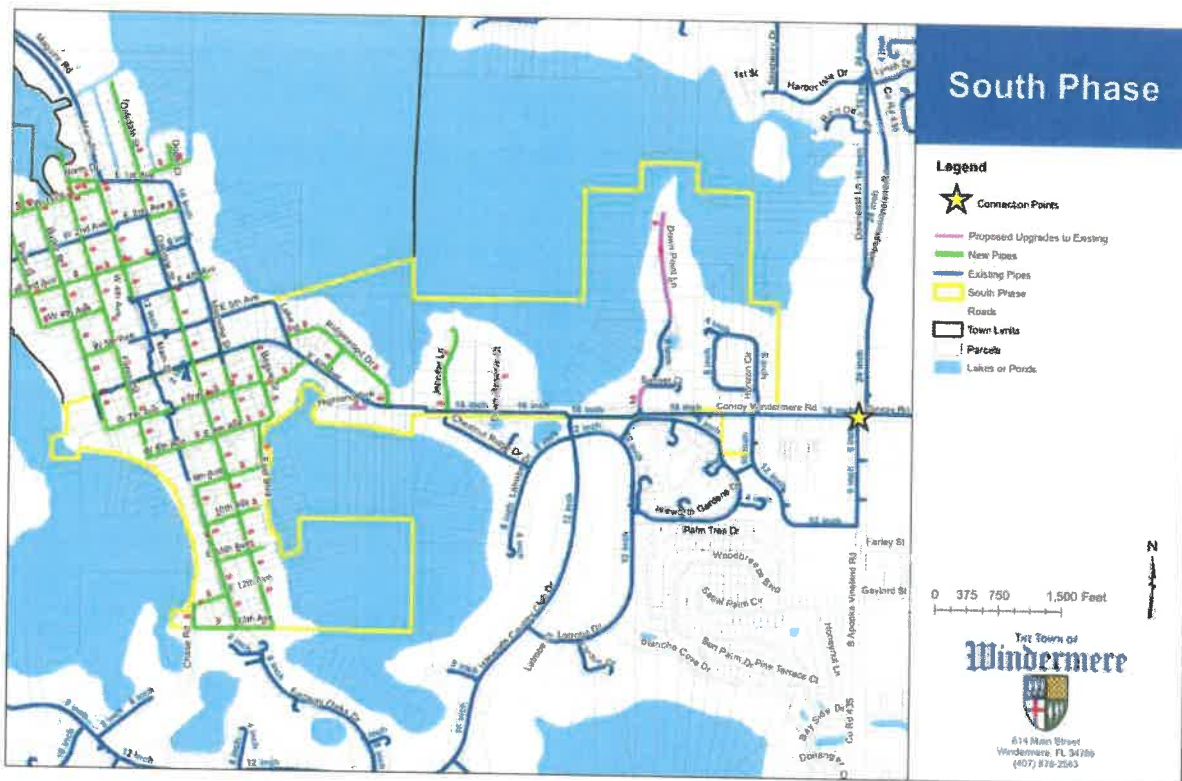
Exhibit 5-5 Main Street Property Lines



5.1.3 South Phase

The South Phase includes a mixture of older neighborhoods and developments built off Conroy-Windermere Road (E 6th Ave). As shown in Exhibit 5-5, most of the infrastructure along Conroy-Windermere Road (E 6th Ave) is already in place with the majority of the work required in the older neighborhoods along Oakdale Street and Main Street.

Exhibit 5-6 South Phase



The South Phase has a total of 241 parcels that are not connected to OCU water. Of the unconnected parcels, 208 do not currently have access to OCU water and would gain access under this project. Of the 208, 188 are residential lots with homes; three are non-residential sites (includes recreation/public uses sites), and 17 are miscellaneous (ROW, vacant/conservation, etc.).

In the South Phase, four existing line sizes need to be increased to accommodate fire flows:

- 770 feet of 6-inch line on Down Point Lane needs to be upsized to 8-inch
- 370 feet of 8-inch on Down Point Lane needs to be upsized to 10-inch
- 730 feet of 6-inch main on Down Reserve Court needs to be upsized to 8-inch
- 265 feet of 4-inch main on Highland Avenue needs to be upsized to 8-inch

5.2 DEVELOPMENT OF COSTS

The intent of this cost estimate is to develop the anticipated construction cost of the water main installation and service laterals within the public right-of-way. Additional cost will be incurred by the private property owners connecting to the potable water system. The estimated connection fee for a standard sized house (5/8-inch diameter connection) is \$1,970 plus a \$140 water meter service charge. Connection fees for demands requiring larger water meters will incur higher fees. These connection fees are charged to the property owner by OCU at time of connection to the system. Individual properties will have additional costs for plumbers to re-route their house service from the current well to the new public utility meter at the property line.

The costs developed in this master plan were developed on the phase level, the estimates cannot be broken-down into smaller portions of the work. These estimates are based on economies of scale only available when contractors can perform these large phases.

The cost estimate was developed using a bottom-up approach. The work on each street was summarized and costs were applied to each activity within the work. The unit costs shown in Table 5-1 are based on recent received bids or estimates from manufacturers, where applicable. Once the phase costs were summed, a 40% contingency was added which is industry standard for this planning level of estimate. The total estimate was then marked up 6% for inflation assuming approximately two years to the mid-point of construction and 3% per year.

Description	Unit	Unit Cost
Install 8-inch PVC WM	LF	\$60.00
Install 10-inch PVC WM	LF	\$80.00
Install Fire Hydrant Assembly	EA	\$4,000.00
Install 10-inch Isolation Gate Valve	EA	\$5,000.00
Install 8-Inch Isolation Gate Valve	EA	\$4,000.00
Install Fittings	EA	\$2,000.00
Remove Existing 4-inch WM	LF	\$20.00
Install Tapping Sleeve and Valve	EA	\$10,000.00
Pavement Resurfacing	SY	\$25.00
Blowoff Valve Assembly	EA	\$2,000.00
Automatic Flushing Device Assembly	EA	\$5,000.00
Maintenance of Traffic	LF	\$3.75
Surveying for Construction	LF	\$0.65
Video Route (Pre- and Post-Construction)	LF	\$0.20
Erosion Control	LF	\$1.00
Dewatering	LF	\$0.50
NPDES Permitting	LF	\$0.25
Final Measures (As-Builts)	LF	\$0.18
Service Connections	EA	\$2000.00

5.2.1 Cost Overview

This Engineer's Opinion of Construction Costs is provided based on available information and the engineer's experience and qualifications and represents his best judgement as a design professional familiar with the construction industry. The engineer has no control over the costs of labor, materials, equipment, or over the contractor's methods of determining prices or over competitive bidding or

market conditions. The engineer cannot and does not guarantee that proposals, bids, or construction cost will not vary from this estimate.

Table 5-2 Cost Summary provides a summary of the phase costs. The detailed breakdown of costs for each phase is included in Appendix A.

Phase	Cost
North	\$3,994,000
Central	\$3,081,000
South	\$3,206,000
Total	\$10,281,000

5.2.2 Cost Analysis

The overall costs above were broken down by cost per linear foot of added pipe and the cost per new residential connection. As shown in Table 5-3, although the North Phase has the highest overall cost, it also connects the most residential properties to new service. The North Phase also has the highest cost per linear foot due to the percentage of roads in the north phase that are paved.

Phase	Cost	New Residential Connections	Cost Per New Connection	Linear Feet	Cost Per Linear Foot
North	\$3,994,000	289	\$13,820	22,278	\$179
Central	\$3,081,000	172	\$17,913	20,428	\$151
South	\$3,206,000	188	\$17,053	21,495	\$149
Average	\$3,427,000	216	\$16,262	21,400	\$160

6.0 FUNDING ANALYSIS

6.1 REVIEW OF OPTIONS

Projects were evaluated to determine possible funding opportunities. Although the socio-economic characteristics for the Town of Windemere do not allow for competing in many funding programs targeted to areas with low household incomes, multiple funding sources were identified for consideration. Several project characteristics were considered during the analysis. The primary characteristics included regulatory/permitting, environmental affect, system age, water loss, private well conditions, existing and new services, groundwater withdrawal offset, reliability, public health, and protection of water resources.

6.2 RECOMMENDED OPTIONS

Based on the funding option analysis, the following programs were identified for further consideration and pursuit:

- State Revolving Fund (SRF) Loan Program – Drinking Water
- Legislative Process Grants (Appropriations)
- South Florida Water Management District (SFWMD) Funding
- Water Supply Restoration Program (WSRP) Funding

Funding time frames, match, and other program requirements may affect viability of funding options as the project proceeds. It is recommended that the options listed above be pursued primarily and to continue seeking additional funding opportunities as the project develops.

6.2.1 State Revolving Fund (SRF) Loan Program – Drinking Water

We recommend pursuing an SRF loan as an umbrella for the entire program. This low-interest loan can be applied to planning, design, and construction. The loans are a 10-year term for planning and design or 20-year term for construction. Once this loan is in place, any funds received from other sources could offset the loan amounts. Any funds not used under this loan would be returned to SRF without penalty, reducing the amount of the loan.

6.2.2 Legislative Process Grants (Appropriations)

The next piece of the funding puzzle are legislative grants. These funds from the state can be used for planning, design, and construction. These grants typically require some benefit to the state, the benefits to the safety and environment noted in this master plan can be used as part of the application when bringing this request to the Town's state legislators. The legislative grants process starts in the summer with funds becoming available the following summer. While this program does not have specific funding requirements, most successful pursuits leverage a 50% contribution from the applicant.

6.2.3 South Florida Water Management District (SFWMD) Funding

The SFWMD offers alternative water supply funding. This program is designed to promote source water protection and promote water conservation and efficiency. This program releases individual requests for applications typically in the February and March time period. This program requires complete designs that are ready to be constructed. The program limits funding to 50% of the total project, typical projects would be a 25% contribution from SFWMD with a 75% match from the applicant. It should be noted that it can be difficult to obtain both legislative process grants and SFWMD funding, this would likely be an alternative if legislative funding is not available.

6.2.4 Water Supply Restoration Program (WSRP) Funding

Funding is not intended to offset the Town's funding investment. This program may be leveraged to assist the residents make their connections on the private property to the potable water lines once they are in place. This program is designed to protect the public from man-made contaminants. The program targets areas around known storage tanks and areas where the use of fertilizers and pesticides has been prevalent. If a private well is tested and determined to be contaminated, the Water Supply Restoration Fund would pay to connect the homeowner to the OCU line.

6.3 FUNDING CONSTRAINTS

6.3.1 Required Coordination with Orange County Utilities

Because Orange County Utilities will ultimately own and operate the system, they will need to be an active participant in this process. Negotiations with OCU will be critical to determine what portion of the design and capital costs the Town will be required to pay and what portion OCU will be willing to fund out of their fees to rate payers.

6.3.2 Restrictions Required by the Programs

In addition to being required to qualify for the program based on the merits of the projects, several restrictions will be placed on the project to make these funding sources possible. The State Revolving Fund will require that alternatives be considered to ensure that the project is cost-effective.

7.0 SUMMARY AND RECOMMENDATIONS

7.1 SUMMARY

The Town of Windermere has a water distribution backbone through the town that will serve as the basis for providing potable water connections and fire-fighting water throughout the town. This project would provide potable water to the 59% of the parcels in the town that do not have access to Orange County Utilities water, 649 residential connections. This project would also provide 57 fire hydrants and improve the available fire flow throughout the town.

The overall construction cost of the project is anticipated to be approximately \$10,281,000. The construction cost is broken out into three phases that can be conducted in any order.

7.2 RECOMMENDATIONS

Wade Trim recommends concurrently pursuing three actions.

1. Revise Interlocal Agreement with OCU
2. Funding
3. Detailed Design

7.2.1 Negotiation with OCU

The Town, OCU, and Wade Trim met on June 1st, July 1st, and August 5th, 2020 to discuss the proposed system and the process for funding and moving forward with the project.

Orange County Utilities will be the owner and operator of this potable water distribution system. OCU provided preliminary comments on the modeling effort and preliminary design. These comments will need to get resolved before OCU will accept the Town's design and allow the system to be connected to the system. OCU suggested changes to the model and design will be done as part of the detailed design process. For example:

1. OCU suggests modeling with a lower peaking factor because a higher peaking factor pushes a system to have larger pipes with higher residence times leading to water quality issues.
2. OCU suggests fire flow should be 1,000 gpm, regardless of the size of the homes. This would reduce the size of the lines as well.
3. OCU suggests calibrating the model using the connection point pressures they provided rather than actual hydrant tests. This would tend to increase the size of the lines. This should be run as a worst-case scenario and compared to the results using actual field data.
4. OCU does not use 10-inch pipes, they require either 8-inch or 12-inch pipes. This would need to be modified in the model and be included in the final design.

OCU will collect any connection and usage fees associated with the system. Understanding how OCU will participate in the process is going to be critical in how the system is constructed.

OCU's default position would be to treat the Town as a developer. If they treat the Town as a developer, the Town will need to front all of the money to design and construct the infrastructure. This path would make many of the funding options difficult.

If OCU takes complete ownership of the project, and based on the existing interlocal agreement, OCU will require a petition from 67% of the residents. OCU would then issue a cost estimate for each resident that must be agreed in order for OCU to design and build the infrastructure. This could be done as a Municipal Services Benefit Unit administered by the Town.

A hybrid approach may be the best solution. An interlocal agreement that allows the Town to take out financing and transfer a portion of that financing over to OCU with the complete project would be advantageous. It is most likely necessary to negotiate a new interlocal agreement with the OCU for this significant project. OCU has not yet agreed to this approach, however they have not ruled it out.

7.2.2 Funding

Several of the funding sources can be used for planning and design, as well as construction. It would be in the Town's best interest to explore these options early to fully benefit from the programs. The funding options cannot be finalized until it is fully understood how OCU will participate in the project. SRF rules state that the owning and operating utility entity must apply for SRF; assurance has to be based on revenues. If Windermere constructs the project, OCU may be able to apply for a loan with an interlocal agreement in place specifying repayment and the obligations of each entity. OCU has stated they would be amenable to looking into how an interlocal agreement could address the issues with a SRF application.

7.2.3 Detailed Design

Some of the funding agencies want to see construction-ready designs. This will mean procuring a design engineer to perform a detailed design of the proposed pipe network for each phase. Due to the size of these projects, an open procurement process should be conducted to select an engineer.

APPENDIX A. DETAILED COST ESTIMATE



ENGINEER'S OPINION OF CONSTRUCTION COST

PROJECT: Windermere Water Master Plan - North Phase

LOCATION: Town of Windermere

BASIS FOR ESTIMATE: CONCEPTUAL 30% 60% 90% FINAL

WORK:

Date: August 2020

Project No.: WND 2001.01L

All summarized values rounded up to nearest \$1,000

ITEM NO.	DESCRIPTION	AMOUNT
	Mobilization (5%)	\$ 190,000
	Willow Gardens Drive	\$ -
	Willow Lauren Lane	\$ 60,000
	Kane Park Way	\$ -
	Whaler Way	\$ 28,000
	Winston Willow Court	\$ -
	Clipper Court	\$ 70,000
	Schooner Way	\$ 182,000
	Park Ave	\$ -
	BayShore Drive	\$ 235,000
	Tryon Place	\$ 179,000
	Cedar Grove Court	\$ 55,000
	Rose Down Court	\$ 24,000
	Carter Grove Circle	\$ 266,000
	Stanton Hall Court	\$ 76,000
	Wonder Lane	\$ 103,000
	Estancia Woods Loop	\$ -
	Sunbittern Court	\$ 75,000
	Marquesas Court	\$ 109,000
	Lake Butler Blvd	\$ 409,000
	Wild Myrtle Court	\$ 43,000
	Bay Meadow Court	\$ 52,000
	Wax Berry Court	\$ 43,000
	Just-A-Mere Ct	\$ 18,000
	Service Connections	\$ 578,000
	Subtotal	\$ 2,605,000
	Contingencies (40%)	\$ 1,042,000
	Inflation (6%)	\$ 157,000
	Total Construction Cost	\$ 3,994,000

This Engineer's Opinion of Construction Costs is provided based on available information and the engineer's experience and qualifications and represents his best judgement as a design professional familiar with the construction industry. The engineer has no control over the costs of labor, materials, equipment, or over the contractor's methods of determining prices or over competitive bidding or market conditions. The engineer cannot and does not guarantee that proposals, bids or construction cost will not vary from this estimate.



ENGINEER'S OPINION OF CONSTRUCTION COST

PROJECT: Windermere Water Master Plan - Central Phase (LK Butler Waterway and N of 6th Ave)

LOCATION: Town of Windermere

BASIS FOR ESTIMATE: CONCEPTUAL 30% 60% 90% FINAL

WORK: _____ Date: August 2020

Project No.: WND 2001.01L

All summarized values rounded up to nearest \$1,000

ITEM NO.	DESCRIPTION	AMOUNT
	Mobilization (5%)	\$ 147,000
	Sunset Lane	\$ 177,000
	Oakdale Street	\$ 187,000
	Down Drive	\$ 51,000
	Down Court	\$ 23,000
	Forest Street (North of W 1st Ave)	\$ 30,000
	Forest Street (South of W 1st Ave and North of 6th Ave)	\$ 199,000
	North Drive	\$ 40,000
	W 1st Avenue	\$ 110,000
	E 2nd Avenue	\$ 36,000
	Pine Street	\$ 64,000
	W 3rd Avenue	\$ 91,000
	E 3rd Avenue	\$ 34,000
	W 4th Avenue	\$ 65,000
	W 5th Avenue	\$ 37,000
	Palm Street	\$ 106,000
	Butler Street	\$ 194,000
	Main Street Service Rd (North of 5th Ave)	\$ 164,000
	Main Street (North of 5th Ave)	\$ 57,000
	Service Connections	\$ 344,000
	Subtotal	\$ 2,009,000
	Contingencies (40%)	\$ 804,000
	Inflation (6%)	\$ 121,000
	Total Construction Cost	\$ 3,081,000

This Engineer's Opinion of Construction Costs is provided based on available information and the engineer's experience and qualifications and represents his best judgement as a design professional familiar with the construction industry. The engineer has no control over the costs of labor, materials, equipment, or over the contractor's methods of determining prices or over competitive bidding or market conditions. The engineer cannot and does not guarantee that proposals, bids or construction cost will not vary from this estimate.



ENGINEER'S OPINION OF CONSTRUCTION COST

PROJECT: Windermere Water Master Plan - South Phase (South of 6th Ave)

LOCATION: Town of Windermere

BASIS FOR ESTIMATE: CONCEPTUAL 30% 60% 90% FINAL

WORK:

Date: August 2020

Project No.: WND 2001.01L

All summarized values rounded up to nearest \$1,000

ITEM NO.	DESCRIPTION	AMOUNT
	Mobilization (5%)	\$ 160,000
	Horizon Circle	\$ -
	Down Point Lane	\$ 90,000
	Sunset Court	\$ -
	Rosser Road	\$ -
	Jennifer Lane	\$ 84,000
	Highland Ave	\$ 26,000
	Ridgewood Street	\$ 133,000
	Lee Street	\$ 39,000
	Lake Street	\$ -
	Bessie Street South of 5th Ave	\$ 89,000
	East Blvd	\$ 77,000
	Magnolia Street (South of 5th Ave)	\$ 83,000
	Oakdale Street (South of 6th Ave)	\$ 249,000
	Main Street (South of 6th Ave)	\$ 167,000
	Chase Road	\$ 68,000
	Forest Street (South of 6th Ave)	\$ 87,000
	Butler Street (South of 6th Ave)	\$ 43,000
	East 13th Ave	\$ 79,000
	East 11th Ave	\$ 55,000
	East 10th Avenue	\$ 59,000
	East 9th Avenue	\$ 43,000
	8th Avenue (East and West)	\$ 144,000
	7th Avenue (East and West)	\$ 205,000
	6th Avenue (East and West)	\$ -
	Service Connections	\$ 376,000
	Subtotal	\$ 2,196,000
	Contingencies (40%)	\$ 878,000
	Inflation (6%)	\$ 132,000
	Total Construction Cost	\$ 3,206,000

This Engineer's Opinion of Construction Costs is provided based on available information and the engineer's experience and qualifications and represents his best judgement as a design professional familiar with the construction industry. The engineer has no control over the costs of labor, materials, equipment, or over the contractor's methods of determining prices or over competitive bidding or market conditions. The engineer cannot and does not guarantee that proposals, bids or construction cost will not vary from this estimate.



3790 NE Dixie Highway
Suite D
Palm Bay, FL 32905
321.728.3389
www.wadetrim.com

Palm Bay • Miami • Tampa