

THE TOWN OF  
**Windermere**



*Agenda*

**Development Review Board**

**Norma Sutton  
Stephen Withers  
Frank Chase  
Jennifer Roper  
Molly Rose  
Peter Fleck**

**Council Liaison: Bill Martini**

*Agenda*

**August 18, 2020  
6:30 PM**

**VIRTUAL MEETING**

**Join Zoom Meeting**

**<https://zoom.us/j/91619123621?pwd=S1REYjIKOGFXK0tPeIJ5U2FFMTN4dz09>**

**Meeting ID: 916 1912 3621**

**Passcode: 594545**

**One tap mobile**

**+13126266799,,91619123621# US (Chicago)**

**+16465588656,,91619123621# US (New York)**

**Dial by your location**

**+1 312 626 6799 US (Chicago)**

**+1 646 558 8656 US (New York)**

**+1 301 715 8592 US (Germantown)**

**+1 346 248 7799 US (Houston)**

**+1 669 900 9128 US (San Jose)**

**+1 253 215 8782 US (Tacoma)**

**Meeting ID: 916 1912 3621**

**Find your local number: <https://zoom.us/j/adseU4MIXC>**

**PLEASE NOTE:** IN ACCORDANCE WITH F.S. 286.26: Person with disabilities needing assistance to participate in any such proceeding should contact the Office of the Town Clerk at least 48 hours beforehand at (407) 876-2563

Pursuant to Resolution No. 2005-12 adopted on December 13, 2005, the following Civility Code shall govern all proceedings before the Town of Windermere Town Council:

1. All electronic devices, including cell phones and pagers, shall be either turned off or otherwise silenced.
2. Prolonged conversations shall be conducted outside Council meeting hall.
3. Whistling, heckling, gesturing, loud conversations, or other disruptive behavior is prohibited.
4. Only those individuals who have signed the speaker list and/or who have been recognized by the Mayor (or Chair) may address comments to the Council.
5. Comments at public hearings shall be limited to the subject being considered by the Council.
6. Comments at Open Forums shall be directed to Town issues.
7. All public comments shall avoid personal attacks and abusive language
8. No person attending a Town Council meeting is to harass, annoy, or otherwise disturb any other person in the room.

Any member of the public whose behavior is disruptive and violates the Town of Windermere Civility Code is subject to removal from the Town Council meeting by an officer and such other actions as may be appropriate. **PLEASE NOTE:** IN ACCORDANCE WITH F.S. 286.0105: Any person who desires to appeal any decision at this meeting will need a record of this proceeding. For this, such person may need to ensure that a verbatim record of such proceeding is made which includes the testimony and evidence upon which the appeal is to be based.

## **AGENDA**

- **THE MEETING IS CALLED TO ORDER BY THE CHAIRMAN**

### **1. OPEN FORUM/PUBLIC COMMENT (3 Minute Limit):**

- a. **Please email [dburkhalter@town.windermere.fl.us](mailto:dburkhalter@town.windermere.fl.us) prior to 5pm EST August 17, 2020**
- b. **At meeting, please open chat box and add name address and issue to discuss**

### **2. NEW BUSINESS**

#### **a. MINUTES**

- i. **July 21, 2020 Board Meeting Minutes (Attachments-Board Option)**

#### **b. GENERAL ITEMS FOR CONSIDERATION**

- i. **Z19-11: 111 W 5th Avenue – Owner 111 5th Ave, LLC – Request for Conditional Use Approval for Micro-Brewery and Taproom**
- ii. **Z20-07: 111 W 5th Avenue – Owner 111 5th Ave, LLC – Request for Major Development Approval for Commercial Development**
- iii. **Z20-010: 826 Oakdale Street – Owner Will and Anna Headley – Request for Variance to Allow a Floor Area Ratio of 51.1% and Impervious Area Ratio of 48.4%**
- iv. **Z20-11: 11214 Lake Butler Boulevard – Owner Lewis and Janet Ashenheim – Request for Variance to Allow a 1,474 square foot Addition to a Non-Conforming Detached Garage with Guest Suite**

### **3. ADJOURN:**

---

# TOWN OF WINDERMERE

## Development Review Board Meeting Minutes

July 21, 2020

Present were Chair Frank Chase, Board Members; Norma Sutton, Stephen Withers, Molly Rose, Jennifer Roper, and Peter Fleck. Town Manager Robert Smith, Liaison Bill Martini, Town Planner Brad Cornelius, and Town Clerk Dorothy Burkhalter were also present.

Chair Chase called the meeting to order at 6:30pm. He then led everyone in the Pledge of Allegiance.

### 1. OPEN FORUM/PUBLIC COMMENTS:

Manager Smith read into the record an email received from Lynn and Jim Salmon of 8 Pine Street (attached). He also read into the record an email received from Douglas Kegler of 12 Pine Street. Some discussion followed regarding chickens.

### 2. NEW BUSINESS:

#### a. RESIGNATION LETTER: William Yeager

Chair Chase stated for the record that William Yeager has resigned from the Board. He stated that another member is needed.

#### b. MINUTES:

##### i. May 19, 2020 Meeting Minutes

Member Rose made a motion to approve the May 19, 2020 meeting minutes. Member Roper seconded the motion. All were in favor. Motion carried 6-0. Chair Chase stated Member Withers would need to read his Form 8B from the previous meeting. Clerk Burkhalter stated that Member Withers would read the form into the record at the next meeting.

#### h. GENERAL ITEMS FOR CONSIDERATION:

##### i. Z20-06: 10972 Bayshore Drive Expansion of a non-conforming home by more than 10% and allow a boat dock with a zero (0) foot side setback.

Chair Chase turned the floor over to Town Planner, Brad Cornelius. Mr. Cornelius introduced case number Z20-06 for 10972 Bayshore Drive. He explained that the request is for an increase of the floor area of a nonconforming structure beyond 10%. And, originally a second request for an expansion of an existing non-conforming boat dock which would be a zero (0) setback for the new deck and a 14-foot setback for a new boat port. Mr. Cornelius stated that the request for the addition for a new deck has been rescinded but the request for the new boat port remains. He explained that the first request is to allow for a garage and additional living space, which would add an additional 2,470 square feet to the home. Mr. Cornelius then explained the new boat port request. He stated that the request for the new boat port is to allow a fourteen (14') foot side set back instead of sixteen (16') feet required by code. Mr. Cornelius stated that the expansion to the home will be on the east side, which there is room. He stated that the setbacks and FAR will be met. However, the stormwater and septic will need to be re-worked on the

## TOWN OF WINDERMERE

### Development Review Board Meeting Minutes

July 21, 2020

property. Mr. Cornelius commented on the notices that were sent to the surrounding property owners. Some discussion was made regarding the responses. Member Rose questioned if the existing boat dock is shared with the neighbor. Mr. Cornelius stated that there is a wall for separation but it is utilized by both properties. Member Fleck questioned if the existing boat dock is being demolished. Mr. Cornelius stated no. Some discussion was made regarding the attached boat port. Mr. Darrell Nunnelley explained the existing boat house and proposed boat port. He also stated that the boat port may not be permitted by Orange County due to the size. Member Fleck commented that he can't see a portion of the dock being demolished without impacting the neighbor. Member Withers commented that the drawings needed to reflect the existing and proposed better. Member Rose commented on the code that is causing the variance request. Member Sutton questioned if the owner would have access to the existing dock and the proposed new port. Mr. Nunnelley stated yes. Discussion followed regarding separating this variance request into two. Member Sutton commented on a concern of setting a precedent of allowing three boat docks across two properties. Member Roper questioned if the setback for the dock would be at zero (0). Mr. Cornelius stated that the request leading to the zero (0) setback has been withdrawn. He explained that the boat port request is for a fourteen (14') foot setback instead of a sixteen (16') foot setback, a two (2') foot encroachment. Member Withers made a motion to approve the two (2') foot side encroachment for the boat port. Member Fleck seconded the motion. Voting was as follows: Sutton - no, Withers - aye, Chase - aye, Rose - aye, Roper - aye, and Fleck - aye. Motion carried 5-1. Mr. Nunnelley explained that the house variance is due to the laundry room being added to the west side of the property years ago. He then commented on the well/septic, pavers, stormwater retention, and aesthetics. Discussion followed regarding setbacks, lot shape, floor area ratio, septic system and location, well location, neighbors well location, and the variance request. Member Rose made a motion to recommend approval of the variance request. Member Withers seconded the motion. After some discussion was made, voting was as follows: Sutton - aye, Withers - aye, Chase - aye, Rose - aye, Roper - aye, and Fleck - aye. Motion carried 6-0.

- ii. **220-08: 711 W 2<sup>nd</sup> Avenue - Replacement of an existing non-conforming boat dock at a setback of one (1) foot from the side property line.**

Chair Chase stated he will be abstaining from voting on this item due to family property across the street. He then turned the floor over to Mr. Cornelius. Mr. Cornelius presented the variance request. Mr. Cornelius stated that the request is to replace the existing boat dock which encroaches three (3') feet across the property line. He explained that with the newly proposed dock, a fifteen-foot (15') variance is needed. In which the boat dock will have a one-foot (1') set-back instead of the sixteen feet (16') required by code. Mr. Cornelius commented on the replies received from residents. Member Withers questioned why the applicant can't meet the setback requirement. Member Fleck questioned the disapproval responses. Mr. Cornelius reviewed the disapprovals. Member Roper questioned the hardship. Ms. Shelia Cichra, representative for the applicant introduced herself. She then stated that the view is the reason for the variance. Member Withers stated that the view is not a hardship. Discussion followed regarding no hardship, width of lot on the lakefront, placement of the dock, rebuilding of an

## TOWN OF WINDERMERE

### Development Review Board Meeting Minutes

July 21, 2020

enclosed boat house, and size of existing boathouse. Member Rose questioned if the applicant would consider an eight-foot (8') setback. Ms. Cichra stated that owners would need to make that decision. Owner Mrs. Stephanie Weisz introduced herself. She stated that they would like to replace an old antiquated dock with a new one that will meet their needs. Mrs. Weisz also stated that the renovation will then allow them to park their boat as the current size is for a john boat. Discussion followed regarding the size of the boat house, length of walkway, existing setbacks and boathouse. Member Roper made a motion to recommend denial of the variance request. Member Sutton seconded the motion. Voting was as follows: Sutton – aye, Withers – aye, Chase – abstain, Rose – aye, Roper -aye, and Fleck- yes. Motion carried 5- 0 – 1 abstain.

**iii. Z20-09: 31 Pine St – Expansion of a non-conforming home by more than 10% and to allow a pool deck at less than 50 feet from the normal high-water elevation of the lake.**

Chair Chase introduced this item. He then turned the floor over to Mr. Cornelius. Mr. Cornelius gave a brief history of the previous variance request approval for this property. He stated that this house has since been sold and the new owners would like to cover the porches in the rear yard. With this being done, anything under roof has to be calculated. Mr. Cornelius then commented on the pool deck replacement/expansion request. He then stated that the previously approved variance request conditions will be carried forward. Mr. Cornelius then reported on the comments that were received from surrounding property owners. Member Rose questioned the roof coverage. Mr. Cornelius explained the overhang on the porches. He explained that in the original request, there were not any roof overhangs to the porches. They are now being turned into covered patios. Discussion was made regarding what was previously approved and what is now being requested for approval. Ms. Patricia Sweet-Grafton, owner of 31 Pine Street, explained that only roofs will go over the proposed decks. Further discussion followed. Member Rose questioned the hardship. Mr. Cornelius explained that the previous hardship was found with the unique shape of the lot. Member Withers commented that since the porches would be covered, it will now add to the total square footage. Mr. Cornelius stated that now that the roofs would be added, the floor space needed to be counted. Member Withers made a motion to recommend deny any further extension towards the lake. Member Roper seconded the motion. Ms. Sweet-Grafton requested to speak on the pool deck. Chair Chase allowed comments. Ms. Sweet-Grafton stated that the existing pool deck is failing/deteriorating and needs to be redesigned. Mr. Grafton commented that the walkway is too narrow, approximately three feet (3') wide. Discussion followed regarding pervious/imperious surface, setbacks, faint line on site plan C-101, and the existing and proposed pool decking. Mr. Jim Salmon of 8 Pine Street introduced himself. He then commented on the previous condition of the house and the improvements that have been made. Mr. Salmon stated that they have added significant value to the area. Chair Chase stated that the concern is the deck set back to the lake. Discussion continued regarding the pool deck. Member Roper questioned if consideration has been given for a rectangular pool. Ms. Sweet-Grafton stated that at this time, the main house is the financial concern. Maybe the pool in the future. Discussion was made regarding the sea wall, setbacks, and drainage/swale. Chair Chase recalled the motion. Member Withers reiterated his motion. Ms. Sweet-Grafton questioned the "nothing 50' from the normal high eater". Chair Chase explained the code. Mr. Cornelius stated that the fifty-foot (50') setback for this property would be at the back of the house, the pool sits within the fifty-feet (50'). Pervious and imperious surfaces were discussed. Member Fleck questioned Member Withers if he would amend his motion to include only pervious surface can be used. Member Withers commented his concern with anything in the fifty-feet (50')

## TOWN OF WINDERMERE

### Development Review Board Meeting Minutes

July 21, 2020

set back and keeping things from the edge of the lake. Member Fleck stated that the pool is existing but it would allow for a pervious decking. Discussion followed regarding the hardship. Member Rose questioned Member Withers if he was in favor of amending his motion to include the pervious coverage. Member Withers stated he would like to see how his original motion goes. Chair Chase call for the vote on the original motion. Voting was as follows: Sutton – no, Withers – aye, Chase – no, Rose -aye, Roper – no, and Fleck – no. Motion failed 2-4. Mr. Grafton and Ms. Sweet-Grafton commented on the location of the seawall and the distance from the deck to the lake. Member Fleck made a motion to recommend approval with the use of an engineered pervious surface. Member Roper questioned that if this has been done, would the applicant needed to appear before this Board. Mr. Cornelius commented that the structure fails under the Florida Building code, which it would still need to come before the Board. Member Sutton seconded the motion. Chair Chase questioned the variance of 15.7' from the normal high water. Mr. Cornelius stated that it's only for the pool deck. Voting was as follows: Sutton – aye, Withers – aye, Chase – aye, Rose – aye, Roper – aye, and Fleck – aye. Motion carried 6-0. Chair Chase then stated that the balcony needed a motion. Member Sutton made a motion to recommend approval for the balconies. Member Fleck seconded the motion. Chair Chase questioned the if the second-floor covering is what's causing the variance. Mr. Cornelius stated yes. Some discussion followed. Voting was as follows: Sutton – aye, Withers – aye, Chase – aye, Rose – aye, Roper – aye, and Fleck – aye. Motion carried 6-0.

iv. **ORDINANCE NO. 2020-06 (Revise LDC to allow Chickens in residential area)**

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF WINDERMERE, FLORIDA ALLOWING FOR BACKYARD CHICKENS; ADDING A NEW ARTICLE III TO CHAPTER 4 OF THE TOWN'S CODE OF ORDINANCES TO CREATE A BACKYARD CHICKEN PROGRAM; REQUIRING A PERMIT AND PROVIDING FOR TERMS, CONDITIONS, AND PENALTIES CONCERNING THE KEEPING OF CHICKENS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.**

Manager Smith introduced this item. He then gave a history of and on the proposed Ordinance. Member Rose questioned if Key West had been researched. Manager Smith stated no. Discussion followed. Member Sutton stated she is adamantly opposed. Chair Chase stated that his concerns have been discussed. Member Rose made a motion to recommend denial of the proposed Chicken Ordinance. Member Sutton seconded the motion. Voting was as follows: Sutton – aye, Withers – no, Chase – aye, Rose – aye, Roper – no, and Fleck – aye. Motion carried 4-2.

4. **ADJOURN:**

Member Rose made a motion to adjourn. Member Roper seconded the motion. All were in favor

The meeting adjourned at 9:05pm.

**TOWN OF WINDERMERE**

**Development Review Board  
Meeting Minutes**

**July 21, 2020**

---

Dorothy Burkhalter, Town Clerk

---

Frank Chase, Chair

DRAFT



# FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME <b>WITHERS STEPHEN EDWARD</b>	NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE <b>DEVELOPMENT REVIEW BOARD</b>
MAILING ADDRESS <b>712 MAIN ST</b>	THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: <input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY
CITY      COUNTY <b>WINDERMERE      ORANGE</b>	NAME OF POLITICAL SUBDIVISION: <b>TOWN OF WINDERMERE</b>
DATE ON WHICH VOTE OCCURRED <b>FEB 18, 2020</b>	MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTEE

## WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

## INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

\* \* \* \* \*

### ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; and

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

\* \* \* \* \*

### APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

**IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:**

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

**APPOINTED OFFICERS (continued)**

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

**IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:**

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

**DISCLOSURE OF LOCAL OFFICER'S INTEREST**

I, STEPHEN WITNERS, hereby disclose that on FEB 18, 2020, 20     :

(a) A measure came or will come before my agency which (check one or more)

- inured to my special private gain or loss;
- inured to the special gain or loss of my business associate, \_\_\_\_\_ ;
- inured to the special gain or loss of my relative, \_\_\_\_\_ ;
- inured to the special gain or loss of \_\_\_\_\_, by whom I am retained; or
- inured to the special gain or loss of \_\_\_\_\_, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

• I AM A CONSULTANT TO TOWN FOR THE PROJECT CONCERNING THE VOTE.

• PROJECT: TEMPORARY TOWN OFFICES.

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

Feb 19 2020

Date Filed



Signature

**NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.**

# FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME <i>Chase Frank W.</i>		NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE <i>Development Review Board</i>	
MAILING ADDRESS <i>935 Ockdale St.</i>		THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF:	
CITY <i>Wintermere, FL 34786</i>	COUNTY <i>Orange</i>	<input checked="" type="checkbox"/> CITY	<input type="checkbox"/> COUNTY
DATE ON WHICH VOTE OCCURRED <i>July 21, 2020</i>		NAME OF POLITICAL SUBDIVISION: <i>Town of Wintermere</i>	
		MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTIVE	

### WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

### INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

#### ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

**PRIOR TO THE VOTE BEING TAKEN** by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

**WITHIN 15 DAYS AFTER THE VOTE OCCURS** by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

#### APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

**IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:**

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

**APPOINTED OFFICERS (continued)**

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

**DISCLOSURE OF LOCAL OFFICER'S INTEREST**

I, Frank W., hereby disclose that on July 21st, 20 20:

(a) A measure came or will come before my agency which (check one or more)

- inured to my special private gain or loss;
- inured to the special gain or loss of my business associate, \_\_\_\_\_;
- inured to the special gain or loss of my relative, Jean W. Hargadan (Mother);
- inured to the special gain or loss of \_\_\_\_\_, by whom I am retained; or
- inured to the special gain or loss of \_\_\_\_\_, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

Item 220-08 regarding 711 W. 2nd Ave is adjacent to rental property owned by my mother, Jean W. Hargadan and located at 727 W. 2nd Ave.

I personally could have a future interest in the property located at 727 W. 2nd Ave.

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

7/21/20  
Date Filed

[Signature]  
Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.

# Town of Windermere

614 Main Street, Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

## Conditional Use – 111 W 5<sup>th</sup> Avenue – Z19-11

Date: August 11, 2020  
Reviewer: Sarah Mastison and Brad Cornelius (Wade Trim)  
Property: 111 W 5th Avenue Windermere, FL 34786  
Parcel No.: 17-23-28-9336-02-891  
Zoning: Commercial  
Applicant: Andrew McGhee and Robert Williams  
Point of Contact: Andrew McGhee  
Email Address: [andy@windermerebrewing.com](mailto:andy@windermerebrewing.com)

**Description of Request:** The applicant requests conditional use approval for the operation of a micro-brewery and taproom at 111 W 5<sup>th</sup> Avenue,

**Need for Conditional Use Approval:** The Town's land development code (LDC) does not specially state that micro-breweries or taprooms are an allowable use. However, neither use is specially prohibited. Because the proposed use is not specifically identified as an allowable use and is not specially prohibited, the Town Council may approve the proposed use as provided in Section 2.02.02(2)o, LDC. The Town Council must find that the proposed use is similar in character to another permitted use and is consistent with the overall purpose and intent of the Town's land development code and comprehensive plan.

In addition, the proposed micro-brewery and taproom will have on-site consumption of alcohol and is not licensed as a restaurant. Consequently, the proposed micro-brewery is subject to a 1,000 foot separation requirement from the First Baptist Church of Windermere and the existing Tim's Wine (Section 8-82, Code of Ordinances). However, Section 8-82, Code of Ordinances, also provides that the Town Council may waive the 1,000 foot separation requirement through the approval of a Conditional Use.

Section 8-82, Code of Ordinances, includes the following standards that would result in the revocation of the Conditional Use. These standards for revocation are:

1. Violates conditions of approval;

2. Receives more than two code enforcement violations; or
3. Receives more than two registered police incident reports in a calendar year.

In addition to the standard conditions, the Development Review Board may recommend, and the Town Council approve, additional conditions or restrictions on the operation to assure compatibility with the surrounding area.

Section 15.00.04 of the Land Development Code provides the standards of review for the DRB and Town Council. The standards of review are:

- Whether the conditional use will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area.
- Whether the conditional use will preserve any town, state or federally designated historic, scenic, archaeological, or cultural resources.
- Whether the conditional use will be compatible with adjacent residential development, if any, based on characteristics such as size, building style and scale; or whether such incompatibilities are mitigated through such means as screening, landscaping, setbacks, and other design features.
- Whether the conditional use will have significant adverse impacts on the livability and usability of nearby land due to: noise, dust, fumes, smoke, glare from lights, late-night operations, odors, truck and other delivery trips, the amount, location, and nature of any outside displays, storage, or activities, potential for increased litter, and privacy and safety issues.
- Whether the transportation system is capable of safely supporting the conditional use in addition to the existing uses in the area.
- Whether the minimum off-street parking area required and the amount of space needed for the loading and unloading of trucks, if applicable, has been provided and will function properly and safely.
- Whether generally, the public health, safety and welfare will be preserved, and any reasonable conditions necessary for such preservation have been made.

The applicant provided a plan of operation. The following provides a summary of the plan of operation and review comments where additional information is needed or recommended conditions of operation.

**Proposed Hours of Operation:** Section 8-83, Code of Ordinances, prohibits the sale of alcoholic beverages between the hours of 12:00 am and 7:00 am. The applicant's proposed hours of operation are:

- Monday – Closed
- Tuesday – 3 pm – 10 pm
- Wednesday – 3 pm – 10 pm
- Thursday – 12 pm – 10 pm
- Friday – 12 pm – 11 pm
- Saturday – 12 pm – 12 am
- Sunday – 12 pm – 10 pm

Under the Conditional Use, the Town has the ability to regulate the hours of operation and impose other operating hours.

**Production:** The applicant states that this establishment will primarily produce malt beverages. However, they will also produce the following non-alcoholic items on-site: root beer, ginger ale, and sodas. Since the Town does not have this use specified in the code, there are no Town standards or limitations on production. However, Orange County does provide standards for production volume limitations. **Chapter 38 Article IV. Sec. 38-74 (180)** of Orange County's code provides regulations on the maximum production volume per calendar year. Orange County limits micro-brewery's production not to exceed 15,000 barrels in a calendar year. The Town would apply the County's standards for brewing volume limitations.

The applicant states the planned production for the first year is 1,200 barrels. The applicant may not exceed 15,000 barrels per year of production.

**Distribution/onsite consumption:** Percentage of sales and volume for onsite consumption is needed to determine the primary use. To verify that the operation is not a primary distribution operation as opposed to a primary onsite consumption and sale operation, more than 50% of the sales and volume consumed must be onsite.

The applicant states that 75% of sales will be taproom sales primarily for on-site consumption with secondary retail sales for beer-to-go.

**Deliveries:** The applicant states *"All deliveries will be limited to the hours allocated by Town ordinance & be kept to a minimal schedule based on the supply needs of the brewhouse. The building plan for the brewery allows for a delivery pad directly in front of the brewhouse to allow for trucks to sit stationary and off the main thoroughfare."*

The Town's code of ordinances does not specifically address hours for deliveries. However, the Town's code of ordinances does address noise impacts, which would be related to delivery activities.

The applicant states that the hours for delivery will be Monday through Thursday from 10 am to 12 pm and 2 pm to 4 pm.

**Trash:** The applicant states that the proposed establishment will utilize the dumpster that currently serves the Windermere Market. The applicant will provide the Town with the shared use agreement for the shared use of the dumpster with Windermere Market.

**Parking:** Based on the Town Center Design Guidelines parking standards, the number of parking spaces required is 10 spaces. Parking is proposed to be shared with the existing parking at the Windermere Market. Based on the calculation of the required parking at the Windermere Market in comparison to the actual provided parking results in an excess of 9 parking spaces. These 9 parking spaces can be applied to the required parking for the proposed micro-brewery. There is also one parking space that is a handicap space provided on-site.

The Town's code provides that off-site parking may be used based on the following factors:

1. Proximity of the off-site spaces to the use that they will serve.
2. East of pedestrian access to the off-site parking spaces.
3. Whether or not off-site parking spaces are compatible with the use intended to be served.
4. The location of the off-site parking spaces will not create unreasonable:
  - a. Hazards to pedestrians.
  - b. Hazards of vehicular traffic.
  - c. Traffic congestion.
  - d. Interference with access to other parking spaces in the vicinity.
  - e. Detriment to any nearby use.
5. The developer supplies a written agreement, approved in form by the town attorney, assuring the continued availability of the off-site parking facilities for the use they are intended to serve.

**Traffic:** The estimated traffic impact of the proposed taproom and micro-brewery based on traffic generation data from the Institute of Traffic Engineers (ITE) Trip Generation Manual 10<sup>th</sup> Edition. The ITE Code is 925 for "Drinking Place". The ITE Trip Generation Manual provides that a "Drinking Place" (Code 925) generates 11.36 trips per 1,000 gross floor area in the PM peak hour. For small operations, less than 50,000 gross square feet, the PM peak hour trips may be reduced by 60% to account for primary local traffic to the use. The proposed gross floor area of the proposed building is 3,847 square feet, per the submitted plans. This equates to a PM peak hour trip generation of 17 trips in the PM peak hour ( $3.847 \times 11.36 = 43.7$ ;  $43.7 - 60\% = 17.48$ ). This equates to an increase of 16 trips from the previous single-family home located on the property. The 10th Edition of the ITE Trip Generation Manual provides that a single-family



home generates 0.99 trips per PM peak hour per unit, or 1 trip in the PM peak hour. The 16 trip PM peak hour increase is de minimis and is not projected to result in a significant impact to W 5th Avenue.

**Noise/Entertainment:** The applicant states that they will be compliant with the Town's noise ordinance and will not provide live entertainment.

**Outdoor Storage:** The applicant states there will be no outdoor storage with the exception of a brewing water effluent holding tank at the back of the building on the east side (closest to Windermere Market). The holding tank will be screened from view.

**PUBLIC NOTICE:**

Public notices were mailed to property owners within 500 feet of the subject property (33 notices sent). As of August 11, 2020, 56 responses were received. Of the 56 responses, 14 came from residences within 500 feet of the subject property: 9 in support and 5 in opposition. Of the total 56 responses received, 50 were in support and 6 were in opposition. The 56 responses came from 43 different households: 37 households in support and 6 households in opposition. An update to any responses received after August 11, 2020, will be provided at the DRB meeting.

# WINDERMERE BREWING COMPANY

ESTD  2018

## Windermere Brewing Company Conditional Use Proposal

05.28.2020

---

Andrew McGhee

Co Founder | Head Brewer  
Windermere Brewing Company  
111 W. 5th Ave.  
Windermere, FL 34786

	1
<b>Overview</b>	<b>1</b>
<b>Defining a Micro Brewery &amp; Taproom</b>	<b>1</b>
<b>Hours of Operation</b>	<b>2</b>
<b>Entertainment &amp; Noise</b>	<b>2</b>
<b>Smoking Policy</b>	<b>2</b>
<b>Deliveries &amp; Trash Pickup</b>	<b>2</b>
<b>Beverages</b>	<b>3</b>
<b>Drinking Responsibly</b>	<b>3</b>
<b>Traffic &amp; Parking</b>	<b>3</b>
<b>Conclusion</b>	<b>3</b>
<b>Appendix A - Proposed Floor Plan</b>	<b>5</b>

## **Overview**

Windermere Brewing Company plans to operate a combined micro brewery & taproom within Windermere, Florida at 119 W. 5th Ave., Windermere, FL 34786. The purpose of this proposal is to inform all parties involved in the Town of Windermere's decision making process as to what the operation of this business would require within the scope of the Town's conditional use review process.

## **Defining a Micro Brewery & Taproom**

A micro brewery is a small scale malt beverage production facility that is self contained & does not create external noise pollution or foul odors. Although breweries may look like a large scale processing facility, most equipment is simply intended to hold liquids (i.e. water, fermenting process tanks, & beverage serving tanks). The primary purpose of the brewery is to supply the taproom with malt beverage for on-premise & to-go retail sales. The taproom serves to support the brewhouse with retail beverage sales and a gathering place for customers to enjoy their beverages on-site. A taproom operates much differently than the typical "bar" as we promote a place for the community to come together and enjoy conversation in a family-friendly environment.

## Production Volume

Windermere Brewing Company will produce beer with a 5 barrel, stainless steel brewing plant. Production capacity of our 5 barrel brewing plant with 6 initial 10 barrel fermenters is approximately 1,500 barrels per year (1 barrel equals 31 gallons, which equals two standard 15.5 gallon kegs). The addition of more fermentation tanks at regular intervals will increase capacity to 3,000 barrels per year by year 5 and most likely the full capacity of the facility.. The management team intends to produce and sell approximately 1,200 barrels in the first year and then grow by a modest 18% year over year for the first 3 years. Thereafter, the management team will increase production and sales by approximately 500-600 barrels annually, until the approximately 3,000-barrel limit imposed by most likely space has been reached.

## Projected on Site Alcohol Sales

The management team of Windermere Brewing Company is determined to produce approximately 1,200 barrels during the first 12 months of production. These approximately 2,400 kegs (15.5 gallon full keg) will be sold primarily through retail sales on premises and secondly through wholesale to distributors. The first 12 month split will be a concentration of 75% taproom sales to 25% wholesale. The wholesale market is of little gain to most micro breweries and serves primarily as a marketing source while driving minimal revenue. It is the intention to keep this percentage of on-site sales versus wholesale consistent year over year. Retail sales on premises consist of primarily on-site alcohol consumption & secondly through beer-to-go sold within the taproom.

## Hours of Operation

Windermere Brewing Company is requesting the following hours of operation:

- Monday - Closed
- Tuesday - 3pm - 10pm
- Wednesday - 3pm - 10pm
- Thursday - 12pm - 10pm
- Friday - 12pm - 11pm
- Saturday - 12pm - 12am
- Sunday - 12pm - 10pm

This request falls in line with the Town's Code of Ordinances in regards to alcoholic beverage sales under [Article IV Sec. 8-83](#).

## **Entertainment & Noise**

In keeping with the Town Ordinance on the prohibition of “nightclubs”, Windermere Brewing Company has no plans for live entertainment, which, in turn will allow for a low level of noise on site.

## **Smoking Policy**

Windermere Brewing Company will operate as a smoking prohibited business including all communal areas inside and outside the entire property.

## **Deliveries & Trash Pickup**

All deliveries will be limited to the hours allocated by Town ordinance & be kept to a minimal schedule based on the supply needs of the brewhouse. The building plan for the brewery allows for a delivery pad directly in front of the brewhouse to allow for trucks to sit stationary and off the main thoroughfare. Trash pickup will be scheduled in accordance with Town code & synchronized with other business trash pickups. Windermere Brewing Company will work with its suppliers to fit deliveries into timed windows that would be the least likely to impact traffic & noise. These hour will be set in two windows:

Monday - Thursday: 10am - 12pm & 2pm - 4pm

## **Beverages**

Windermere Brewing Company plans to operate first and foremost as a cereal malt beverage manufacturer under State & Federal license. We pride ourselves on creating quality lagers & ales and in an effort to promote responsible alcohol consumption, we keep most ABV (alcohol by volume) around 4 - 6%. In addition to alcoholic beverage options, Windermere Brewing Company intends to produce NA (non-alcoholic) offerings such as root beer, ginger ale, & other “sodas” keeping with our commitment to a family friendly environment.

## **Drinking Responsibly**

Windermere Brewing Company believes that alcohol should be enjoyed but never over consumed. Although, as dedicated by applicable laws already in place such as overserving & VIPs (visually intoxicated persons), Windermere Brewing Company will provide certified training to every employee on safe alcohol sales and also provide free ride share service to

any consumers who we deem unable to operate a motor vehicle. The American Brewers Associations along with the Florida Brewers Guild provides a fund to help with this rideshare effort. It is our view that through elevated training, promoting healthy lifestyles, & enforcing our policies, we will act as a model for safe & responsible alcohol consumption.

## **Traffic & Parking**

Windermere Brewing Company understands residents concerns over parking and traffic. First & foremost, we are dedicated to our local community, we know that many residents will utilize our space and many of them can either walk or utilize golf carts to come to our establishment. We also know that we will still attract outside Town Limit consumers, we are dedicated to working with the Town to alleviate any concerns that arise from this and we will defer to the building & design plan for parking requirements.

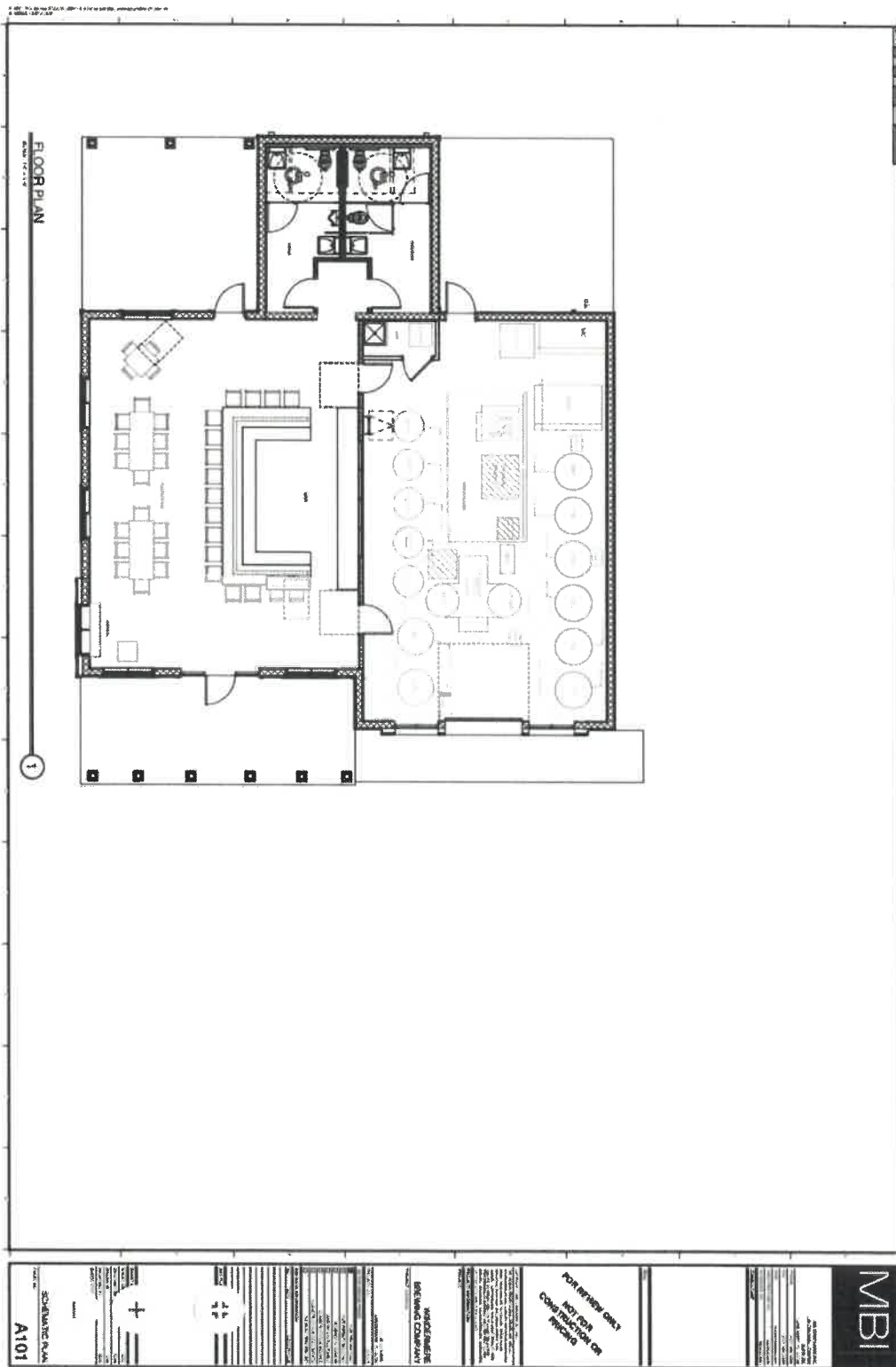
## **Outdoor Storage:**

Windermere Brewing will not have any outdoor storage or operational equipment on the outside of the building. The only exception will be a brewing water effluent holding tank on a rear concrete pad on the production plant side that will serve in our water recycling efforts. This tank will have no mechanical parts and produce no noise or odors and will be screened from public view.

## **Conclusion**

Windermere Brewing Company looks forward to working with the Town to bring a great communal space to our wonderful area. As both owners are also indeed residents of the Town, our intent is simply to provide a unique place for our Town to relax, unwind, & have good conversation. We believe in a happy & vibrant Windermere with options in the business center for our residents.

# Appendix A - Proposed Floor Plan



RECOMMEND - Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL

Received

COMMENTS: *We do not think a business of this kind would be an asset to the beautiful unique town of Windermere. The town of Windermere has always been known as a very nice, quiet, prestigious and prominent town, lets keep it that way, that is why we choose to live here. Thank you*

Wade Thim

SIGNATURE:  
COX JAMES L

*James L Cox*

DATE: *Aug. 3, 2020*



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

CRAVEN BARRY T  
PO BOX 574  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  X  DISAPPROVAL \_\_\_\_\_

COMMENTS:  My only concern is about parking

SIGNATURE:  Craven Barry T   
CRAVEN BARRY T

DATE:  7/31/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

KOFFARNUS MARK L  
515 BUTLER ST  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE:  \_\_\_\_\_  
KOFFARNUS MARK L

DATE: 7/27/2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager **Received**  
ROBERT SMITH

Clerk **Wade Trim**  
DOROTHY BURKHALTER

July 21, 2020

PARK RESIDENTIAL RENTALS LLC  
4 PINE ST  
WINDERMERE, FL 34786

## RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGhee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped-envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)**

**APPROVAL:**  **DISAPPROVAL:**

**COMMENTS:** \_\_\_\_\_

**SIGNATURE:** *Valerie Tucker Morgan*  
PARK RESIDENTIAL RENTALS LLC  
*Dana*

**DATE:** *7/28/2020*

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received

Wade Trim

July 21, 2020

501 MAIN L L C  
901 ROSSER RD  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  DISAPPROVAL:

COMMENTS: \_\_\_\_\_

SIGNATURE:  
501 MAIN L L C

DATE: 7/27/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

JUL 29 2020

Wade Trim



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

BLACK AMANDA L  
414 FOREST ST  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL:  DISAPPROVAL

COMMENTS: Approved

SIGNATURE: *Black Amanda L*  
BLACK AMANDA L

DATE: 7-25-2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

JONES FRANCES K LIFE ESTATE  
412 FOREST ST  
WINDERMERE, FL 34786

Received

JUL 29 2020

Wade Trim

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)**

APPROVAL: \_\_\_\_\_ DISAPPROVAL: JK Jones

COMMENTS: I live across the street - I do not want this in my neighborhood. We do not need this in Windermere. Plenty of other places other than our neighborhood - No-no-no-no

SIGNATURE: Frances K Jones  
JONES FRANCES K LIFE ESTATE

DATE: July 24, 2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

DAVID J HAAS LIVING TRUST  
211 W 6TH AVE  
WINDERMERE, FL 34786

Received

JUL 29 2020

Wade Trim

## RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.


This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL:  DISAPPROVAL

COMMENTS: DOG-FRIENDLY WOULD BE GREAT!

SIGNATURE:   
DAVID J HAAS LIVING TRUST

DATE: 7.24.2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

435 BUTLER TRUST  
435 BUTLER ST  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL

Highly Disapprove!

COMMENTS: The Town said "We didn't say a brewery is going in. Right?!! We live 3 lots from this proposed brewery and we don't want a bar in Windermere. You all will do what you want this disapproval is meaningless!"

SIGNATURE: Robert Faray  
435 BUTLER TRUST

DATE: 29 July 2020



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH  
  
Clerk  
DOROTHY BURKHALTER

July 21, 2020

WINDERMERE MARKET LLC  
901 ROSSER RD  
WINDERMERE, FL 34786

### RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL \_\_\_\_\_

COMMENTS: \_\_\_\_\_

\_\_\_\_\_

SIGNATURE: *Brad Cornelius*  
WINDERMERE MARKET LLC

DATE: 7.21.2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Mayor  
JIM O'BRIEN



July 21, 2020

DIEDERICH ANDREA  
635 BUTLER ST  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGhee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL \_\_\_\_\_

COMMENTS: I Dont WANT A BAR A  
Block From MY HOUSE!

SIGNATURE: \_\_\_\_\_  
DIEDERICH ANDREA

DATE: 7/28/20

RECOMMEND -- Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL:  DISAPPROVAL

Received

COMMENTS: \_\_\_\_\_

Wade Trim

SIGNATURE:   
ROSS SCOTT M

DATE: 7/28/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

111 5TH AVE LLC  
901 ROSSER RD  
WINDERMERE, FL 34786

## Owner Response

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery.**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.


This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)**

**APPROVAL:**  **DISAPPROVAL:**

**COMMENTS:** \_\_\_\_\_

\_\_\_\_\_  
**SIGNATURE:**   
**111 5TH AVE LLC**

**DATE:** 7/27/20

To: Mayor and Town Council and Development Review Board

From: JEANNE F. GRAHAM

Date: AUGUST 10, 2020

Address: 235 PALM STREET  
WINDERMERE FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Eric Graham

Date: Aug. 10, 2020

Address: 235 Palm St., Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Monday, July 27, 2020 12:09 PM  
**To:** Robert Smith  
**Cc:** Warner, Amanda; Mastison, Sarah  
**Subject:** Public Response Proposed Tap Room/Micro-Brewery

Robert,

**Two Responses from same person.**

FYI – I received a phone call today from Ms. Jones who lives at 412 Forest Street. She called to express her extreme objection to the opening of a micro-brewery and tap room in the Town. I advised her to submit her letter of objection and it will be included as part of the record for the DRB and Town Council hearings.

Take care,  
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President  
One Tampa City Center  
201 North Franklin Street, Suite 1350, Tampa, FL 33602  
813-882-4373 office  
813-415-4952 cell



**To:** Jim O'Brien <[jobrien@town.windermere.fl.us](mailto:jobrien@town.windermere.fl.us)>; Robert McKinley <[RMcKinley@town.windermere.fl.us](mailto:RMcKinley@town.windermere.fl.us)>; Bill Martini <[bmartini@town.windermere.fl.us](mailto:bmartini@town.windermere.fl.us)>; Liz Andert <[landert@town.windermere.fl.us](mailto:landert@town.windermere.fl.us)>; Chris Sapp <[csapp@town.windermere.fl.us](mailto:csapp@town.windermere.fl.us)>; Andy Williams <[awilliams@town.windermere.fl.us](mailto:awilliams@town.windermere.fl.us)>; Frank Chase <[fchase@town.windermere.fl.us](mailto:fchase@town.windermere.fl.us)>; Peter Fleck <[pfleck@town.windermere.fl.us](mailto:pfleck@town.windermere.fl.us)>; Jennifer Roper <[jroper@town.windermere.fl.us](mailto:jroper@town.windermere.fl.us)>; Molly Rose <[mrose@town.windermere.fl.us](mailto:mrose@town.windermere.fl.us)>; Norma Sutton <[nsutton@town.windermere.fl.us](mailto:nsutton@town.windermere.fl.us)>; Stephen Withers <[swithers@town.windermere.fl.us](mailto:swithers@town.windermere.fl.us)>; Diane Edwards <[dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)>

**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Angie Winn

Date: August 4, 2020

Address: 908 Rosser Road, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Angie Winn



Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards, Bill Bardoe 225 E 9TH AVE



Sent from my iPhone

## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Tuesday, August 11, 2020 9:02 AM  
**To:** Mastison, Sarah  
**Subject:** FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Another one.....

Brad  
-----

**From:** [bconnors@cfl.rr.com](mailto:bconnors@cfl.rr.com) <[bconnors@cfl.rr.com](mailto:bconnors@cfl.rr.com)>  
**Sent:** Tuesday, August 4, 2020 4:03 PM  
**To:** Jim O'Brien <[jobrien@town.windermere.fl.us](mailto:jobrien@town.windermere.fl.us)>; Robert McKinley <[RMcKinley@town.windermere.fl.us](mailto:RMcKinley@town.windermere.fl.us)>; Bill Martini <[bmartini@town.windermere.fl.us](mailto:bmartini@town.windermere.fl.us)>; Liz Andert <[landert@town.windermere.fl.us](mailto:landert@town.windermere.fl.us)>; Chris Sapp <[csapp@town.windermere.fl.us](mailto:csapp@town.windermere.fl.us)>; Andy Williams <[awilliams@town.windermere.fl.us](mailto:awilliams@town.windermere.fl.us)>; Frank Chase <[fchase@town.windermere.fl.us](mailto:fchase@town.windermere.fl.us)>; Peter Fleck <[pfleck@town.windermere.fl.us](mailto:pfleck@town.windermere.fl.us)>; Jennifer Roper <[jroper@town.windermere.fl.us](mailto:jroper@town.windermere.fl.us)>; Molly Rose <[mrose@town.windermere.fl.us](mailto:mrose@town.windermere.fl.us)>; Norma Sutton <[nsutton@town.windermere.fl.us](mailto:nsutton@town.windermere.fl.us)>; Stephen Withers <[swithers@town.windermere.fl.us](mailto:swithers@town.windermere.fl.us)>  
**Cc:** Diane Edwards <[dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)>; 'nconnors34786@gmail.com' <[nconnors34786@gmail.com](mailto:nconnors34786@gmail.com)>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Bryнна Connors

Date: August 4, 2020

Address: 217 Oakdale Street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address. I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Bryнна Connors

**To:** Jim O'Brien <[jobrien@town.windermere.fl.us](mailto:jobrien@town.windermere.fl.us)>; Robert McKinley <[RMcKinley@town.windermere.fl.us](mailto:RMcKinley@town.windermere.fl.us)>; Bill Martini <[bmartini@town.windermere.fl.us](mailto:bmartini@town.windermere.fl.us)>; Liz Andert <[landert@town.windermere.fl.us](mailto:landert@town.windermere.fl.us)>; Chris Sapp <[csapp@town.windermere.fl.us](mailto:csapp@town.windermere.fl.us)>; Andy Williams <[awilliams@town.windermere.fl.us](mailto:awilliams@town.windermere.fl.us)>; Frank Chase <[fchase@town.windermere.fl.us](mailto:fchase@town.windermere.fl.us)>; Peter Fleck <[pfleck@town.windermere.fl.us](mailto:pfleck@town.windermere.fl.us)>; Jennifer Roper <[jroper@town.windermere.fl.us](mailto:jroper@town.windermere.fl.us)>; Molly Rose <[mrose@town.windermere.fl.us](mailto:mrose@town.windermere.fl.us)>; Norma Sutton <[nsutton@town.windermere.fl.us](mailto:nsutton@town.windermere.fl.us)>; Stephen Withers <[swithers@town.windermere.fl.us](mailto:swithers@town.windermere.fl.us)>

**Cc:** Diane Edwards <[dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)>

**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Douglas Kegler

12 Pine St, Windermere, FL 34786

August 7, 2020

**Re:** Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

I would like to voice my approval for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

Regards,

Douglas Kegler

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Wednesday, July 29, 2020 4:26 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Get [Outlook for iOS](#)

---

**From:** Heather Oles <heather\_oles@yahoo.com>  
**Sent:** Wednesday, July 29, 2020 1:24:49 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development. Please note that I am full time resident of the Town of Windermere, of legal voting age (plus some!) and my address is 11230 Lake Butler Blvd. Contact information provided below.

Regards,

Heather Oles  
11230 Lake Butler Blvd

---

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Wednesday, July 29, 2020 4:26 PM  
**To:** Cornelius, Brad; Warner, Amanda  
**Subject:** Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Want to make sure you're getting these!

Get [Outlook for iOS](#)

---

**From:** David Tulk <davetulk@hotmail.com>  
**Sent:** Wednesday, July 29, 2020 1:37:57 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: David Tulk

---

Date: 7/29/2020

Address: 3340 Wax Berry Ct, Windermere FL, 34786

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

David Tulk

## **Mastison, Sarah**

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Wednesday, July 29, 2020 4:27 PM  
**To:** Cornelius, Brad; Warner, Amanda  
**Subject:** Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Get [Outlook for iOS](#)

---

**From:** Rob Matheison <rob@matheison.com>  
**Sent:** Wednesday, July 29, 2020 12:52:41 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

**To:** Mayor and Town Council and Development Review Board

**From:** Rob Matheison

**Date:** July 29, 2020

**Address:** 610 Ridgewood Drive, Windermere, FL 34786

**Re:** Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Rob Matheison

[rob@matheison.com](mailto:rob@matheison.com)



From: Lindsey Tomaszewski

Date: August 7, 2020

Address: 40 Main st Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lindsey Tomaszewski  
40 Main Street Windermere, FL 34786  
321-624-3070

Address: 40 Main st Windermere FL 34786

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Best,

**Matt Tomaszewski**

C. [407.719.5956](tel:407.719.5956)

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,  
Anne DeBoer

---

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

**Derek DeBoer** | [derek@dvcsalemarket.com](mailto:derek@dvcsalemarket.com)

**DIRECT:** (407) 900-0226

**PHONE:** (844) 382-7767

**FAX:** (407) 210-0112

**DVCSALEMARKET.COM**



**Sell at our special 8.5% commission!**  
**Offer expires July 31st!**  
**Never upfront fees.**

[Visit Our Website](#)

From: Ryan Mendro

Date: August 3, 2020

Address: 10864 Bayshore Dr, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Ryan Mendro

Address: [10864 Bayshore Dr, Windermere, FL 34786](#)

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at [111 W 5th Avenue](#)

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at [111 W 5th Avenue](#) will occur in front of the Development Revue Board [on August 18, 2020](#) & later by the Windermere Town Council [on September 8, 2020](#).

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,  
[Lucía Roca Mendro](#)

---

Sent from my iPhone

From: Steve Ruffner

Date: August 5, 2020

Address: 2108 Kane Park Way

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,  
Steve Ruffner

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Tuesday, August 4, 2020 7:05 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Sara Ruffner <sarajruffner@gmail.com>

**Sent:** Tuesday, August 4, 2020 4:34 PM

**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>

**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Sara Ruffner

Date: August 4, 2020

Address: 2108 Kane Park Way, Windermere 34786



Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Sara Ruffner

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Thursday, August 6, 2020 3:22 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: I am in full support

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Teresa Aken <tkaken@cfl.rr.com>

**Sent:** Thursday, August 6, 2020 3:06 PM

**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>; 'Teresa Aken' <tkaken@cfl.rr.com>

**Subject:** I am in full support

To: Mayor and Town Council and Development Review Board

From: Teresa Aken, Town Resident @ 70 Forest Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It understand a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020. The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. I do feel this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District. I agree so much of our Town's charm is our unique downtown district and town square where residents come together as a community. I fully support small businesses to create an even better quality of life for the residents of Windermere.

Once again, **I am in full support of both the conditional use proposal & commercial building development.**

Thank you,  
Teresa Aken  
70 Forest St  
Windermere, FL 34786  
407-376-4141  
tkaken@cfl.rr.com

**Date:** July 30, 2020

**Address:** 215 Forest St., Windermere, FL 34786

**Re:** Public Hearing on Proposed New Commercial Building and Proposed Taproom and Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 and also by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom and micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both of these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the town's character and will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal and commercial building development.

Regards,

Michael Guthrie

215 Forest St.

Windermere, FL 34786

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Tuesday, August 4, 2020 7:05 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Build the Brewery Support

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Wayne Sheffield <WSheffield@Isleworth.com>

**Sent:** Tuesday, August 4, 2020 4:33 PM

**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>; andy@windermerebrewing.com <andy@windermerebrewing.com>

**Subject:** Build the Brewery Support



---

To: Mayor and Town Council and Development Review Board

From: Wayne & Carey Sheffield

Date: 8/4/2020

Address: 101, Lee Street, Windermere, FL34786

---

**Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue**

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

**I would like to voice my approval for both these items.** While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

---

Wayne Sheffield  
*President, General Manager*

**ISLEWORTH GOLF & COUNTRY CLUB**  
**ISLEWORTH REALTY**  
6100 Payne Stewart Drive  
Windermere, FL 34786  
Main: 407.909.2000  
Direct: 407.909.2006  
Cell: 407.274.2256  
Fax: 407.876.0682

[www.isleworth.com](http://www.isleworth.com)



This email message is for the sole use of the intended recipient(s) and may contain confidential information. Any unauthorized review, use, dissemination, disclosure, distribution or copying is strictly prohibited. If you are not the intended recipient, please contact the sender by reply email and destroy all copies of the original message. If you are the intended recipient, please be advised that the content of this message is subject to access, review and disclosure by the sender's Email System Administrator.

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Monday, August 3, 2020 9:28 AM  
**To:** Cornelius, Brad; Warner, Amanda  
**Subject:** FW: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

**From:** Richard Montgomery <richmontgom@gmail.com>  
**Sent:** Monday, August 03, 2020 9:26 AM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to strongly state my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Richard Montgomery  
11067 Schooner Way  

---

Windermere, FL 34786

407-637-1929



From:

Hubert van Alphen

Date:

8/06/20

Address:

11200 cedar grove ct, windermere, fl , 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Hubert

From: Tim Kelly

Date: 8/5/2020

Address: 2829 Marquesas Ct., Windermere FL 34786

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Tim Kelly

Date: August 5, 2020

Address: 515 W 2nd Ave, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lily Siviglia

From: Krista Kirk

Date: August 3rd, 2020

Address: 11311 Willow Gardens Dr

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Krista Kirk

Sent from my iPhone

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Friday, July 31, 2020 10:34 AM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** chamblissn@aol.com <chamblissn@aol.com>  
**Sent:** Friday, July 31, 2020 10:32 AM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Neal Chambliss

Date: July 31, 2020

Address: 117 Palm Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Neal Chambliss



## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Friday, August 7, 2020 9:50 AM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

**From:** Joshua Lieberman <joshua.lieberman@yahoo.com>  
**Sent:** Friday, August 07, 2020 9:47 AM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Joshua & Maria Lieberman

Date: 08/07/2020

Address: 41 Pine St Windermere Fl, 34786

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Joshua Lieberman  
C -407-616-1589  
[Joshua.lieberman@yahoo.com](mailto:Joshua.lieberman@yahoo.com)

To: Mayor and Town Council and Development Review Board

From: Lauren Gurr

Date: 07/30/2020

Address: 44 oakdale street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lauren Gurr

To: Mayor and Town Council and Development Review Board

From: Stephen @ Wendy Fasen

Date: 7/30/2020

Address: 10808 Bayshore Dr. / Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Stephen @ Wendy Fasen

Handwritten signatures of Stephen and Wendy Fasen. The signature for Stephen is on the left, and the signature for Wendy is on the right, connected by a horizontal line.

**LYNN AND JIM SALMON**  
**8 PINE STREET**  
**BEAUTIFUL WINDERMERE, FL 34786**

7 August 2020

TO: The Honorable Jim O'Brien, Mayor of Windermere  
Members of the Windermere Town Council

Subject: Support of Windermere Town Brewery

As a twenty plus year residents of Windermere, we have been pleased with the addition of social and business opportunities allowed to our town members in the "Heart of Downtown". The current restaurant, coffee shop and ice cream parlor are all welcome improvements to give our citizens a place to go without having to leave our town (for most in walking distance) and fight the massive traffic we incur at times.

In this same view, we see the addition of a brewery in the downtown area as a welcome establishment and fully support its participation in our town. It would give town residents a place to go and socialize without having to leave our area. We feel the Windermere community would widely support this business and look forward to seeing our local friends there once opened.

Lynn and Jim Salmon



To: Mayor and Town Council and Development Review Board

From: George E. Foote, Jr.

Date: 8/6/2020

Address: 407 E. 7<sup>th</sup> Ave.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

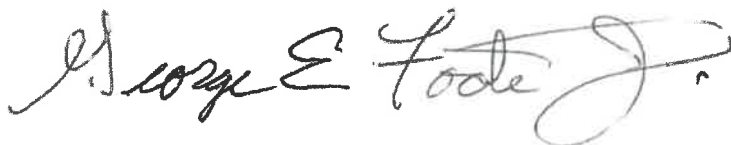
The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Agnes Foote

Date: 08/06/2020

Address: 407 E. Seventh Ave  
Windermere, FL 32786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Karen Fay

Date: 8/6/2020

Address: 28 Pine St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

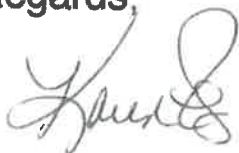
The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,





## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Friday, July 31, 2020 4:00 PM  
**To:** Robert Smith  
**Cc:** Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter  
**Subject:** Call from Mr. Spears - Public Response Proposed Tap Room/Micro-Brewery

Robert,

FYI – I received a call this afternoon from Mr. Spears at 406 Forest Street. Mr. Spears had a general question regarding the conditional use process, expressed concerns about the proposed parking not sufficient for the use, control of crowds at the proposed operation, commercial fire standards for buildings not meeting sufficient spacing from another commercial building, and possibility of moving the rear patio from the west side to the east side of the building closest to Windermere Market.

Mr. Spears was understanding of my explanation of the conditional use process.

Take care,  
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President  
One Tampa City Center  
201 North Franklin Street, Suite 1350, Tampa, FL 33602  
813-882-4373 office  
813-415-4952 cell



**From:** Robert Smith <[rsmith@town.windermere.fl.us](mailto:rsmith@town.windermere.fl.us)>  
**Sent:** Monday, July 27, 2020 12:38 PM  
**To:** Cornelius, Brad <[bcornelius@wadetrim.com](mailto:bcornelius@wadetrim.com)>  
**Subject:** Re: Public Response Proposed Tap Room/Micro-Brewery

Ok thanks

Sent from my iPhone

On Jul 27, 2020, at 12:09 PM, Cornelius, Brad <[bcornelius@wadetrim.com](mailto:bcornelius@wadetrim.com)> wrote:

To: Mayor and Town Council and Development Review Board

From: Dean Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Dean Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FI 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Tuesday, August 4, 2020 10:30 AM  
**To:** Robert Smith  
**Cc:** Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter  
**Subject:** Call from Lesha Miller - Public Response Proposed Tap Room/Micro-Brewery

Robert,

This morning I received a call from Lesha Miller regarding the proposed micro-brewery/tap room. Lesha expressed support for the proposal. Her only comment was potential impact on Forest Street and if there is a way to prohibit people from parking on Forest Street or using Forest Street to access the business.

Take care,  
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President  
One Tampa City Center  
201 North Franklin Street, Suite 1350, Tampa, FL 33602  
813-882-4373 office  
813-415-4952 cell



## Mastison, Sarah

---

**From:** Robert Smith <rsmith@town.windermere.fl.us>  
**Sent:** Monday, August 3, 2020 9:48 AM  
**To:** Cornelius, Brad  
**Subject:** Fw: Brewery

Regards,

Robert Smith  
Town Manager  
Town of Windermere  
614 Main St.  
Windermere, FL 34786  
rsmith@town.windermere.fl.us  
Cell: (407) 797-5004  
Main: (407) 876-2563 x5324  
Fax: (407) 876-0103

Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Elle Rickerson <amandascoolmom@cfl.rr.com>  
**Sent:** Monday, August 3, 2020 7:29 AM  
**To:** Robert Smith <rsmith@town.windermere.fl.us>  
**Cc:** Jim O'Brien <jobrien@town.windermere.fl.us>  
**Subject:** Brewery

884 Main St.

Why are we allowing a Brewery in our Town? We just don't understand. These people wanting to open the Brewery say it is to attract people in the neighborhood that can walk to the Brewery and have a "pint". It will attract unwanted people to our area. I think we have seen an increase in people coming to Town for the wrong reasons. We want to keep our Town a small family Town. You can see the 1000 to 2000 people that the Food Trucks bring to Town. A nice restaurant similar to a "Dexters" Restaurant like we had in the Grove would be wonderful. We use to go there and enjoy eating outside with our dog. Lunch Time and Dinner Time was a meeting place for people in the area to come and enjoy friendship. I know we have Dixie Cream which is a great welcome to our community. We all enjoy that. If a restaurant could incorporate with them I believe it would be an awesome addition. We just cannot see opening a Brewery. It is not a family atmosphere. We have seen lives ruined by the start of early

drinking in a friendly atmosphere. Everyone is different when drinking alcohol. One thing is clear everyone shows the effect of alcohol. We don't like it. I expressed our views to the ones wanting to open this Brewery. They want to have a conversation to change our mind. There is no changing our mind. We have felt the same through high school, college and raising our 3 children. If you want to drink in your home, fine. Our opinion is SOLID. Thank you for allowing our input. Best, Elle

## Mastison, Sarah

---

**From:** Robert Smith <rsmith@town.windermere.fl.us>  
**Sent:** Monday, August 3, 2020 9:48 AM  
**To:** Cornelius, Brad  
**Subject:** Fw: Brewery

Regards,

Robert Smith  
Town Manager  
Town of Windermere  
614 Main St.  
Windermere, FL 34786  
rsmith@town.windermere.fl.us  
Cell: (407) 797-5004  
Main: (407) 876-2563 x5324  
Fax: (407) 876-0103

Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Elle Rickerson <amandascoolmom@cfl.rr.com>  
**Sent:** Monday, August 3, 2020 8:27 AM  
**To:** Robert Smith <rsmith@town.windermere.fl.us>  
**Cc:** Jim O'Brien <jobrien@town.windermere.fl.us>  
**Subject:** Brewery

884 Main St.

I would like to add one more thought to my previous email. I am not a "prude" where I think any alcohol should not be served. If we had a nice restaurant as I described in my previous email that serves wine or beer with our meal that is different. It is just the fact that a Brewery is a destination for alcohol only. Thank you again for allowing my opinion. My Best, Elle



## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Tuesday, August 4, 2020 7:03 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Build The Brewery

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Simon Simaan <simon@simonsimaan.com>  
**Sent:** Tuesday, August 4, 2020 4:50 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Build The Brewery

To: Mayor and Town Council and Development Review Board

From: Simon and Simona Simaan

Date: 8/4/2020

Address: 812 East Blvd and 820 East Blvd

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

--

Simon Simaan | Realtor® | Broker  
The Simon Simaan Group | Real Estate  
Cell: 407-558-1396  
Email: [simon@simonsimaan.com](mailto:simon@simonsimaan.com)  
Website: [www.simonsimaan.com](http://www.simonsimaan.com)

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

PEARL CYNTHIA E  
525 BUTLER ST  
WINDERMERE, FL 34786

**RE: Public Notice of Conditional Use Public Hearing – 111 W 5<sup>th</sup> Avenue – Proposed Taproom and Micro-brewery**

Andrew McGhee, applicant, Co-Founder of Windermere Brewing Company, has submitted a request for approval of a conditional use for operation of a taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue, pursuant to Section 8-82(c) of the Town of Windermere Land Development Code. The purpose of the conditional use is to allow a micro-brewery and taproom that will have the production and sale of beer for consumption on and off premises less than 1,000 feet from a church and another place of business that also sells alcoholic products for consumption on premise. Please see the enclosed conditional use proposal from Andrew McGehee for additional information.

Please be advised that at a later date you will also receive a second public notice related to the proposed new commercial building to house the proposed taproom and micro-brewery at 111 W 5<sup>th</sup> Avenue. Specific information regarding the proposed new commercial building will be included in the second public notice.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Conditional Use (111 W 5<sup>th</sup> Ave.)

APPROVAL:   X   DISAPPROVAL           

COMMENTS: ABSOLUTELY APPROVE AND  
WELCOME THIS PROJECT.

SIGNATURE:   C Pearl    
PEARL CYNTHIA E

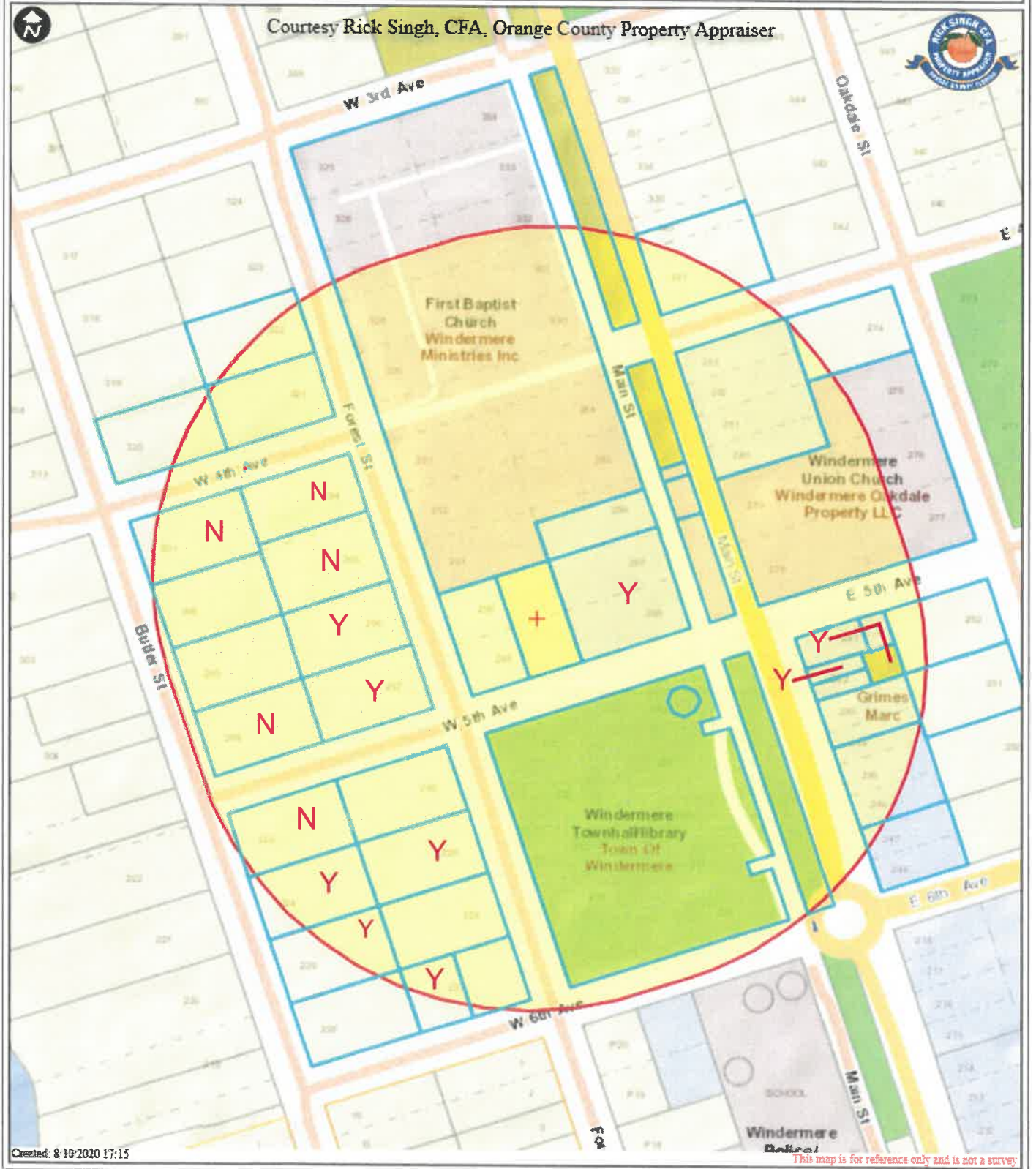
DATE:   7/25/2020

Name	Address	Response	Responses Per Person	Within 500 Ft
COX JAMES L	405 BUTLER ST	N	1	Y
CRAVEN BARRY T	516 FOREST ST	Y	1	Y
KOFFARNUS MARK L	515 BUTLER ST	Y	1	Y
PARK RESIDENTIAL RENTALS LLC	505 MAIN ST	Y	1	Y
501 MAIN L L C	501 MAIN ST	Y	1	Y
BLACK AMANDA L	414 FOREST ST	Y	1	Y
JONES FRANCES K LIFE ESTATE (JONES FRANCES)	412 FOREST ST	N	2	Y
DAVID J HAAS LIVING TRUST	211 W 6TH AVE	Y	1	Y
435 BUTLER TRUST	435 BUTLER ST	N	1	Y
WINDERMERE MARKET LLC	428 MAIN ST	Y	1	Y
DIEDERICH ANDREA	505 BUTLER ST	N	1	Y
ROSS SCOTT M	201 W 5TH AVE	Y	1	Y
GRAHAM JEANNE F	235 PALM ST	Y	1	N
GRAHAM ERIC A	235 PALM ST	Y	1	N
WINN ANGELA D (ANGIE)	908 ROSSER RD	Y	1	N
BARDOE WILLIAM G (BILL)	225 E 9TH AVE	Y	1	N
BRYNNA E CONNORS REVOCABLE TRUST (BRYNNA CONNORS)	217 OAKDALE ST	Y	1	N
DOUGLAS ANTHONY KEGLER TRUST (DOUGLAS KEGLER)	12 PINE ST	Y	1	N
OLES HEATHER H	11230 LAKE BUTLER BLVD	Y	1	N
TULK DAVID WILLIAM	3340 WAX BERRY CT	Y	1	N
MATHEISON ROBERT A	610 RIDGEWOOD DR	Y	1	N
TOMASZEWSKI LINDSEY A	40 MAIN ST	Y	1	N
TOMASZEWSKI MATT M	40 MAIN ST	Y	1	N
DEBOER ANNE	306 BUTLER ST	Y	1	N
DEBOER DEREK	306 BUTLER ST	Y	1	N
MENDRO RYAN L	10864 BAYSHORE DR	Y	1	N
LUCIA ROCA MENDRO	10864 BAYSHORE DR	Y	1	N
STEVE RUFFNER	2108 KANE PARK WAY	Y	1	N
SARA RUFFNER	2108 KANE PARK WAY	Y	1	N
AKEN TERESA L	70 FOREST ST	Y	1	N
GUTHRIE MICHAEL	215 FOREST ST	Y	1	N
SHEFFIELD WAYNE STUART	101 LEE ST	Y	1	N
SHEFFIELD CAREY ANNE	101 LEE ST	Y	1	N
MONTGOMERY RICHARD L	11067 SCHOONER WAY	Y	1	N

VAN ALPHEN HUBERT	11200 CEDAR GROVE CT	Y	1	N
KELLY TIM	2829 MARQUESAS CT	Y	1	N
LILY SIVIGLIA	515 W 2ND AVE	Y	1	N
KIRK KRISTA JEAN	11311 WILLOW GARDENS DR	Y	1	N
CHAMBLISS ROBERT NEAL	117 PALM ST	Y	1	N
LIEBERMAN JOSHUA JOEL	41 PINE ST	Y	1	N
LIEBERMAN MARIA CECELIA	41 PINE ST	Y	1	N
GURR LAUREN NICOLE	44 OAKDALE ST	Y	1	N
STEPHEN FASEN	10808 BAYSHORE DR	Y	1	N
WENDY FASEN	10808 BAYSHORE DR	Y	1	N
SALMON JAMES G (JIM)	8 PINE ST	Y	1	N
SALMON LYNN T	8 PINE ST	Y	1	N
FOOTE GEORGE E JR	407 E 7TH AVE	Y	1	N
FOOTE AGNES	407 E 7TH AVE	Y	1	N
FAY KAREN F	28 PINE ST	Y	1	N
SPEARS JOHN A	406 FOREST ST	N	1	N
MILLER LESHA C	625 BUTLER ST	Y	3	Y
MILLER DEAN A	625 BUTLER ST	Y	1	N
RICKERSON LANCE L LIFE ESTATE (ELLE RICKERSON)	884 MAIN ST	N	2	N
SIMAAN SIMON T	812 & 820 EAST BLVD	Y	1	N
SIMAAN SIMONA	812 & 820 EAST BLVD	Y	1	N
PEARL CYNTHIA E	525 BUTLER ST	Y	1	Y

Responses Within 500 Ft	14
Total Support	9
Total Opposed	5
Total Person Responses	56
Total Person Support	50
Total Person Opposed	6
Total Households	43
Total Household Support	37
Total Households Opposed	6

<b>OCPA Web Map</b>	Major Roads	Proposed Rise	Block Line	Commercial/Institutional	Hydro	Golf Course
Florida Turnpike	Public Roads	Brick Road	Lot Line	Governmental/Institutional/Misc	Waste Land	Lakes and Rivers
Interstate 4	Gated Roads	Rail Road	Residential	Commercial/Industrial	County Boundary	Building
Toll Road	Road Under Construction	Proposed Sun/Rail	Agriculture	Agricultural Curtilage	Parks	Hospital



Created: 8/10/2020 17:15

This map is for reference only and is not a survey



# Town of Windermere

614 Main Street, Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

## Major Development – 111 W 5<sup>th</sup> Ave. – Z20-07

Date: August 11, 2020  
Reviewer: Sarah Mastison and Brad Cornelius (Wade Trim)  
Property: 111 W 5th Avenue Windermere, FL 34786  
Parcel No.: 17-23-28-9336-02-891  
Zoning: Commercial  
Owner/Applicant: 111 5<sup>th</sup> Ave, LLC  
Point of Contact: Robert and Lavina Williams

**Description of Request:** The applicant proposes the construction of a commercial building. The subject property was rezoned to commercial by the Town Council on September 10, 2019. A condition of the approval was that development on the subject site would proceed as a major development with reviews and public hearings with the Development Review Board (DRB) and Town Council. In addition, a condition of the rezoning was that the building and site shall be developed consistent with the standards of the Town Center Design Guidelines.

**Standards:** This Major Development plan was reviewed based on the Town Center Design Guidelines. Where standards were not specifically addressed within the Town Center Design Guidelines, the Town's general code standards were applied.

**Use of Building:** The applicant has stated their intent to utilize the proposed commercial building as a micro-brewery and taproom. The proposed use is under separate review as a conditional use (Case Z19-11).

**Floor Area:** The gross floor areas of the proposed commercial building, per the site plan, is 24.8% , which is less than the permitted maximum.

### Setbacks:

	Proposed	Required Min.	
Front (South)	20'	15'	<b>Compliant</b>
Side (West)	15.4'	0'	<b>Compliant</b>
Side (East)	9.5'	0'	<b>Compliant</b>



**Building Height:** The height of the proposed building is limited to 35' high. The proposed building is one-story and 21'8" high.

**Awnings:** Awning are allowed and encouraged in the Town Center Design Guidelines. The proposed elevation sheet shows a proposed metal awning.

**Sign:** The area of any sign cannot exceed 20 square feet. The plans show a proposed wall mounted sign on located above the proposed awning. However, the plans indicate the sign will not exceed 20 square feet.

**Landscaping:** The Town Center Design Guidelines does not provide full landscaping standards that would be applicable to the subject property. However, in combination with the Town's code, the proposed development is required to provide the following landscaping standards:

1. A 4-foot wide landscape area in between the building and right-of-way at the base of the building that extends at least 50% of the building frontage. The applicant is not providing the landscaping at the base of the building due to the desire to create a courtyard in the front. However, the applicant is providing landscaping along the front property line in lieu of the landscaping at the base of the building.
2. Stormwater retention area must be buffered. The landscape plans show compliance with this standard.
3. A minimum of 10' wide landscape buffer along the North property line, to buffer incompatible uses and zoning districts. That landscape plans show a landscape buffer along the North property line at 10 feet with plantings.

**Trash/Dumpster Screening:** Applicant stated that the proposed commercial building will utilize the dumpster that currently serves the Windermere Market. The applicant has proposed plans to update and improve the existing dumpster area. The plans show a 6-foot fence that extends into the right-of-way with a two outward swinging gates. Because the proposed dumpster improvements encroach into the ROW of W 5<sup>th</sup> Avenue, these improvements must also be permitted separately as a ROW permit with the Town's Public Works. The applicant is required to provide documentation showing the agreement between the two properties that allows 111 W 5<sup>th</sup> Avenue to utilize the existing dumpster at 428 Main Street and obtain a separate ROW permit for improvements within the ROW of W 5<sup>th</sup> Avenue.

**Septic:** The septic system for the proposed commercial building will be permitted with the Orange County Health Department.

**Potable Water:** The commercial building will be served by Orange County Utilities with potable water.

**Stormwater:** The proposed building will be fully guttered and the water will be discharged to a dry stormwater detention area, as shown on plans. The project engineer certified that the project does not require permitting through the South Florida Water Management District due to its limited size.

**Traffic:** Based on the Institute of Traffic Engineers (ITE) Trip Generation Manual, using the trip generation rates for a “Drinking Place”. The 10<sup>th</sup> Edition of the ITE Trip Generation Manual provides that a “Drinking Place” (Code 925) generates 11.36 trips per 1,000 gross floor area in the PM peak hour. For small operations, less than 50,000 gross square feet, the PM peak hour trips may be reduced by 60% to account for primary local traffic to the use. The proposed gross floor area of the proposed building is 3,847 square feet, per the submitted plans. This equates to a PM peak hour trip generation of 17 trips in the PM peak hour ( $3.847 \times 11.36 = 43.7$ ;  $43.7 - 60\% = 17.48$ ). This equates to an increase of 16 trips from the previous single-family home located on the property. The 10<sup>th</sup> Edition of the ITE Trip Generation Manual provides that a single-family home generates 0.99 trips per PM peak hour per unit, or 1 trip in the PM peak hour. The 16 trip PM peak hour is de minimis and is not projected to result in a significant impact to W 5<sup>th</sup> Avenue.

**Parking:** The Town Center Design Guidelines requires 4 parking spaces per 1,000 square feet. The proposed A/C area of the building is 2,519 square feet. This equates to 10 parking spaces. The applicant is providing one (1) handicap parking space on-site. The applicant has provided a justification letter stating that there is a surplus of parking spaces at the adjacent Windermere Market (428 Main St.) that the proposed business would be able to utilize. There are 45 parking spaces in the Windermere Market shopping complex. Based on the square footage of the building, the Windermere market is only required to have 36 parking spaces. This provides a surplus of 9 spaces. Additionally, the hours of operation will not significantly overlap with the businesses in the Windermere Market. There is also a public parking lot to the adjacent property to the west (119 W 5<sup>th</sup> Ave.). Based on the nine (9) surplus parking spaces available at the Windermere Market in addition to the one (1) on-site handicap parking space, the applicant believes the availability of these parking spaces will allow the applicant to provide adequate parking. Based on the Town’s code, the proposed development would be required to provide one (1) bicycle parking. The Town’s code allows for an applicant to provide required off-site parking on an adjacent property with DRB approval based on the following factors:

1. Proximity of the off-site spaces to the use that they will serve.
2. East of pedestrian access to the off-site parking spaces.
3. Whether or not off-site parking spaces are compatible with the use intended to be served.
4. The location of the off-site parking spaces will not create unreasonable:
  - a. Hazards to pedestrians.
  - b. Hazards of vehicular traffic.
  - c. Traffic congestion.

- d. Interference with access to other parking spaces in the vicinity.
- e. Detriment to any nearby use.

5. The developer supplies a written agreement, approved in form by the town attorney, assuring the continued availability of the off-site parking facilities for the use they are intended to serve.

The Town's code for parking requires that on-site parking may not directly connect to the public right-of-way and must be accessed from an internal drive aisle. The proposed handicapped space connects directly to W 5<sup>th</sup> Avenue. The Town's code does allow for the DRB to permit exceptions to this requirement with a finding that the direct access to W 5<sup>th</sup> Avenue will not result in a traffic hazard.

**Loading/Unloading:** The applicant's plans do not show loading/unloading areas. The Town's code requires one on-site loading/unloading area at a dimension of 25 feet long by 10 feet wide. The loading/unloading can be provided on an off-site property, as with the required parking, subject to DRB approval. The applicant is proposing to provide for loading and unloading on the adjacent Windermere Market property, which requires a shared use agreement.

**Architectural Style:** As required by the condition of the rezoning, the building architectural character must be consistent with the architectural style provided within the Town Center Design Guidelines.

**PUBLIC NOTICES:**

Public notices were mailed to property owners within 500 feet of the subject property (33 notices sent). As of August 11, 2020, 54 responses were received. Of the 54 responses, 12 came from residences within 500 feet of the subject property: 7 in support and 5 in opposition. Of the total 54 responses received, 48 were in support and 6 were in opposition. The 54 responses came from 42 different households: 36 households in support and 6 households in opposition. An update to any responses received after August 11, 2020, will be provided at the DRB meeting.

# WFP - Commercial Building

Issued for: Town Of Windermere

Date: June 1st, 2020

# Major Development Plan

111 W 5th Ave. Windermere FL 34786

**Applicant:**

Windermere Brewing Company LLC  
Andrew McGhee  
226 Butler Blvd Windermere FL 34786

**Owner:**

111 5th Ave LLC  
Robert Williams, Lavina Williams  
901 Rosser Road Windermere FL 34786

**Parcel ID:** 17-23-28-9336-02-891

**Legal Description:**

THE EAST 80 FEET OF LOT 289 AND THE EAST 80 FEET OF LOT 290, REPLAT OF WINDERMERE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK G, PAGES 36-39 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**Sheet Index:**

Pg 2 Site Plan  
Pg 3 Site Details  
Pg 4 Grading Plan  
Pg 5 Erosion Control & Demo Plan  
Pg 6 Architectural Cover Page - MBI  
Pg 7 Floor Plan  
Pg 8-9 Elevations  
Pg 10 Wall Section  
Pg 11-13 Renderings  
Pg 14/15 Landscape Plan / Notes & Details  
Pg 16/17 Irrigation Plan / Notes & Details  
Pg 18 Current Boundary Survey  
& Topography  
Pg 19 Current Aerial Map & Zoning Map  
Pg 20 Parking & Variance Request  
Pg 21 Additional Parking & Dumpster Layouts

**Civil Engineer:**

Timothy W. Schutz, P.E.  
111 Suffolk Ct.  
Longwood, FL 32779

**Construction Contractor:**

Hembree Construction, Inc.  
4397 36th St, S.W  
Orlando, FL 32811  
407-841-9460 Office

**Architect:**

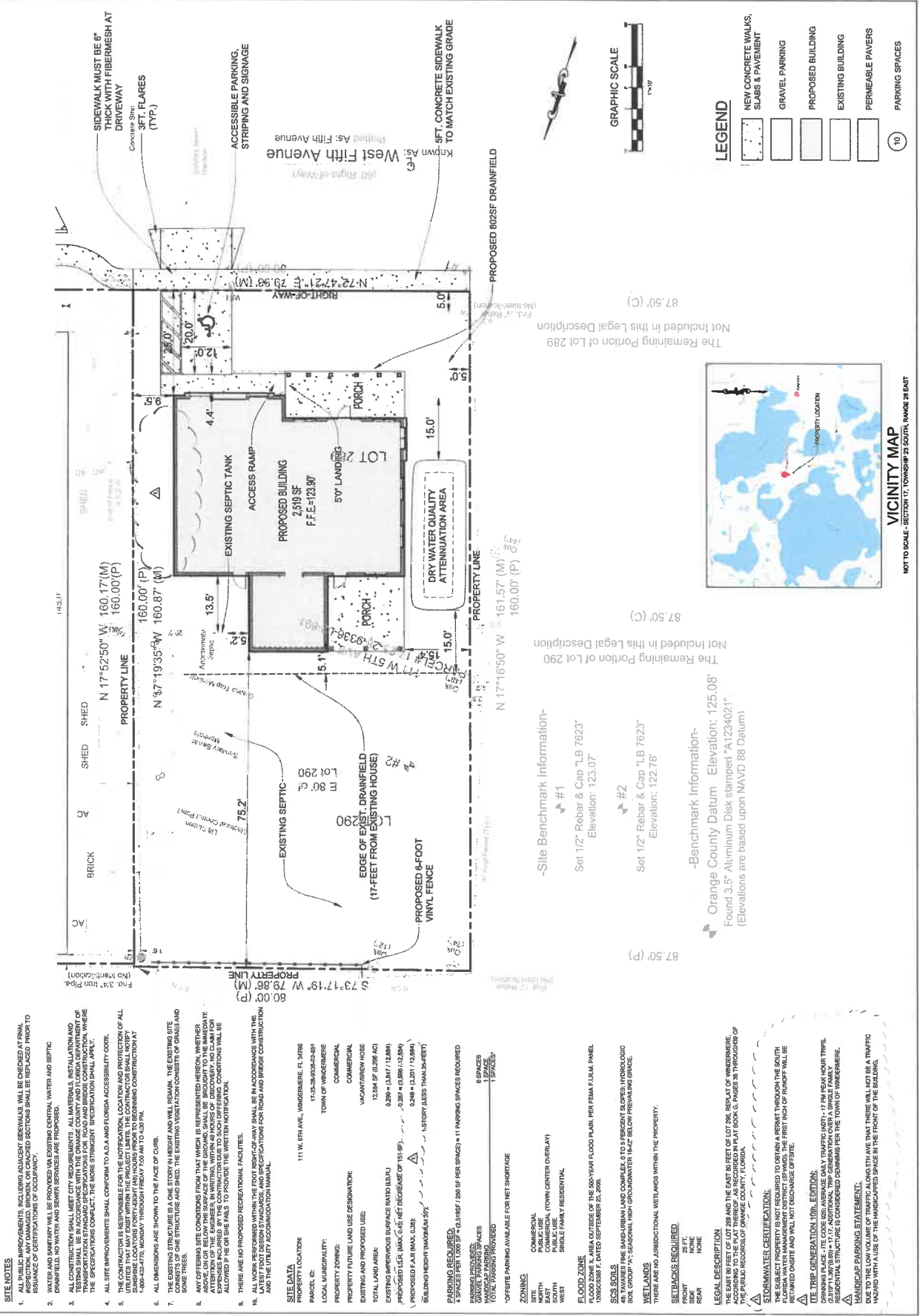
Scott Malenock, AIA



MBI  
architecture - interiors  
100 Colonial Center Pkwy, Suite 230  
Lake Henry, FL 32746  
(407) 585-0330  
[www.mbiinteriors.com](http://www.mbiinteriors.com)

**Landscape Architect:**

Magley Designs  
817 East Washington  
treet, Orlando, FL, 32803



**SITE NOTES**

- ALL PUBLIC IMPROVEMENTS, INCLUDING ADVANCED SEWERLINES WILL BE CHECKED AT FINAL CONSTRUCTION. ALL PUBLIC IMPROVEMENT SECTIONS SHALL BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- WATER AND SANITARY WILL BE PROVIDED VIA EXISTING CENTRAL WATER AND SEPTIC SYSTEMS.
- ALL CONSTRUCTION SHALL MEET CITY REQUIREMENTS. ALL MATERIALS, INSTALLATION AND TESTING SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF HIGHWAYS. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- ALL SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. AND FLORIDA ACCESSIBILITY CODE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL NOTIFY 48 HOURS PRIOR TO ANY UTILITY CUTTING THROUGH FROM 7:00 AM TO 5:00 PM.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF CURB.
- THE EXISTING DRIVEWAY SHALL BE RECONSTRUCTED WITH THE EXISTING SITE CONDITIONS OF ONE STRUCTURE AND SHED. THE EXISTING VEGETATION CONSISTS OF GRASS AND SOME TREES.
- ANY OTHER SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER OR NOT SHOWN ON THIS PLAN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS WILL BE ALLOWED TO BE CONSIDERED AS PART OF THE NOTIFICATION NOTICE.
- THERE ARE NO PROPOSED RECREATIONAL FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS WILL BE ALLOWED TO BE CONSIDERED AS PART OF THE NOTIFICATION NOTICE.
- ALL UTILITIES SHALL BE PROTECTED AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF HIGHWAYS AND THE UTILITY ACCOMMODATION MANUAL.

**SITE DATA**

PROPERTY LOCATION	111 W. 5TH AVE., WINDERMERE, FL 34786
PARCEL ID	17-03-36-0300-0380
LOCAL MUNICIPALITY	TOWN OF WINDERMERE
PROPERTY ZONING	COMMERCIAL
PROPERTY FUTURE LAND USE DESIGNATION	VACANT/RESIDENTIAL
EXISTING AND PROPOSED USE	COMMERCIAL
TOTAL LAND AREA	12,004 SF (0.28 AC)
EXISTING IMPERVIOUS SURFACE (AVOID I.B.A.R.)	0.200 = (0.817 / 12,004)
PROPOSED I.S.R. (MAX. 0.45, NET DECREASE OF 10% I.S.R.)	0.287 = (0.894 / 12,004)
PROPOSED F.A.R. (MAX. 0.38)	0.246 = (0.271 / 12,004)
BUILDING HEIGHT (MAXIMUM 35')	35' STORY (LESS THAN 35-SHEET)

**PARKING REQUIRED:**  
4 SPACES PER 1,000 SF = (0.5186F / 260 SF PER SPACE) = 11 PARKING SPACES REQUIRED

**EXISTING PROPOSED PARKING SPACES**  
HANDICAPPED PARKING: 1 SPACE  
TOTAL PARKING PROVIDED: 1 SPACE

\*OFF-SITE PARKING AVAILABLE FOR NET SHORTAGE

**ZONINGS**  
COMMERCIAL  
PUBLIC USE (TOWN CENTER OVERLAY)  
PUBLIC USE  
SINGLE FAMILY RESIDENTIAL

**FLOOD ZONE**  
FLOOD ZONE X, AREA OUTSIDE OF THE 500-YEAR FLOOD PLAIN, PER FEMA F.I.R.M. PANEL 19050088F.F. DATED SEPTEMBER 25, 2008.

**SCS SOILS**  
AS TOWARDS THE SANDHURST LAND CORP. 6 TO 9 DEPARTMENT RECORDS, THE SUBJECT PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE (FLOOD ZONE X) AS SHOWN ON THE F.I.R.M. PANEL 19050088F.F. DATED SEPTEMBER 25, 2008.

**WETLANDS**  
THERE ARE NO JURISDICTIONAL WETLANDS WITHIN THE PROPERTY.

**SETBACKS REQUIRED**  
FRONT: 20 FT.  
REAR: NONE  
SIDE: NONE

**LEGAL DESCRIPTION**  
THE SUBJECT PROPERTY IS PART OF THE EAST 60' OF 161.57' OF WINDERMERE, FLORIDA, AS SHOWN ON THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 0, PAGE 3 THROUGH OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**STORMWATER CERTIFICATION:**  
THE SUBJECT PROPERTY IS NOT REQUIRED TO OBTAIN A PERMIT THROUGH THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) FOR FIRST FLOOD PROTECTION. THE SUBJECT PROPERTY WILL BE RETAINED ON-SITE AND WILL NOT DISCHARGE OFF-SITE.

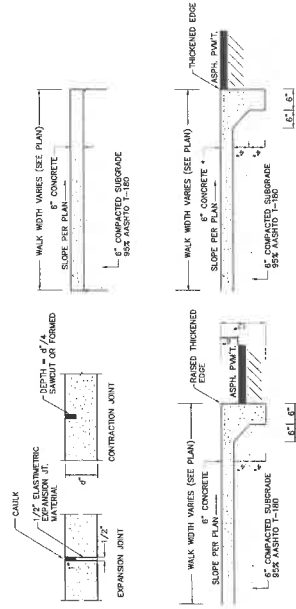
**THE TRIP GENERATION 100% OPTION:**  
THE TRIP GENERATION 100% OPTION IS NOT APPLICABLE TO THIS PROJECT. THE TRIP GENERATION 100% OPTION IS NOT APPLICABLE TO THIS PROJECT. THE TRIP GENERATION 100% OPTION IS NOT APPLICABLE TO THIS PROJECT.

**DECLARATION OF PUBLIC USE:**  
THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE. THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE. THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE.

**DECLARATION OF PUBLIC USE:**  
THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE. THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE. THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE.

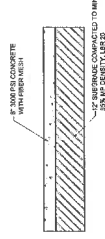
**DECLARATION OF PUBLIC USE:**  
THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE. THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE. THE SUBJECT PROPERTY IS NOT BEING USED FOR PUBLIC USE.

SCALE	AS SHOWN
DATE	09/25/2019
PROJECT #	190925-20
DESIGNED	TWS
CHECKED	SJS
SCALE	

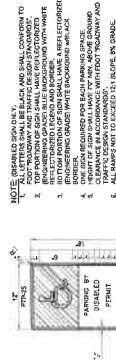


- NOTE:
- 8" THICK SIDEWALK W/ ROUNDED FINISH & IRONWEED EDGE. FINISH SHALL BE COMPACTED TO 95% RELATIVE HUMIDITY. IRONWEED SHALL BE SPACED AT MAXIMUM INTERVALS OF 8' LINEAR FEET.
  - 8" THICK SIDEWALK W/ ROUNDED FINISH & IRONWEED EDGE. FINISH SHALL BE COMPACTED TO 95% RELATIVE HUMIDITY. IRONWEED SHALL BE SPACED AT MAXIMUM INTERVALS OF 8' LINEAR FEET.

CONCRETE SIDEWALK



CONCRETE DRIVEWAY AND PARKING SECTION



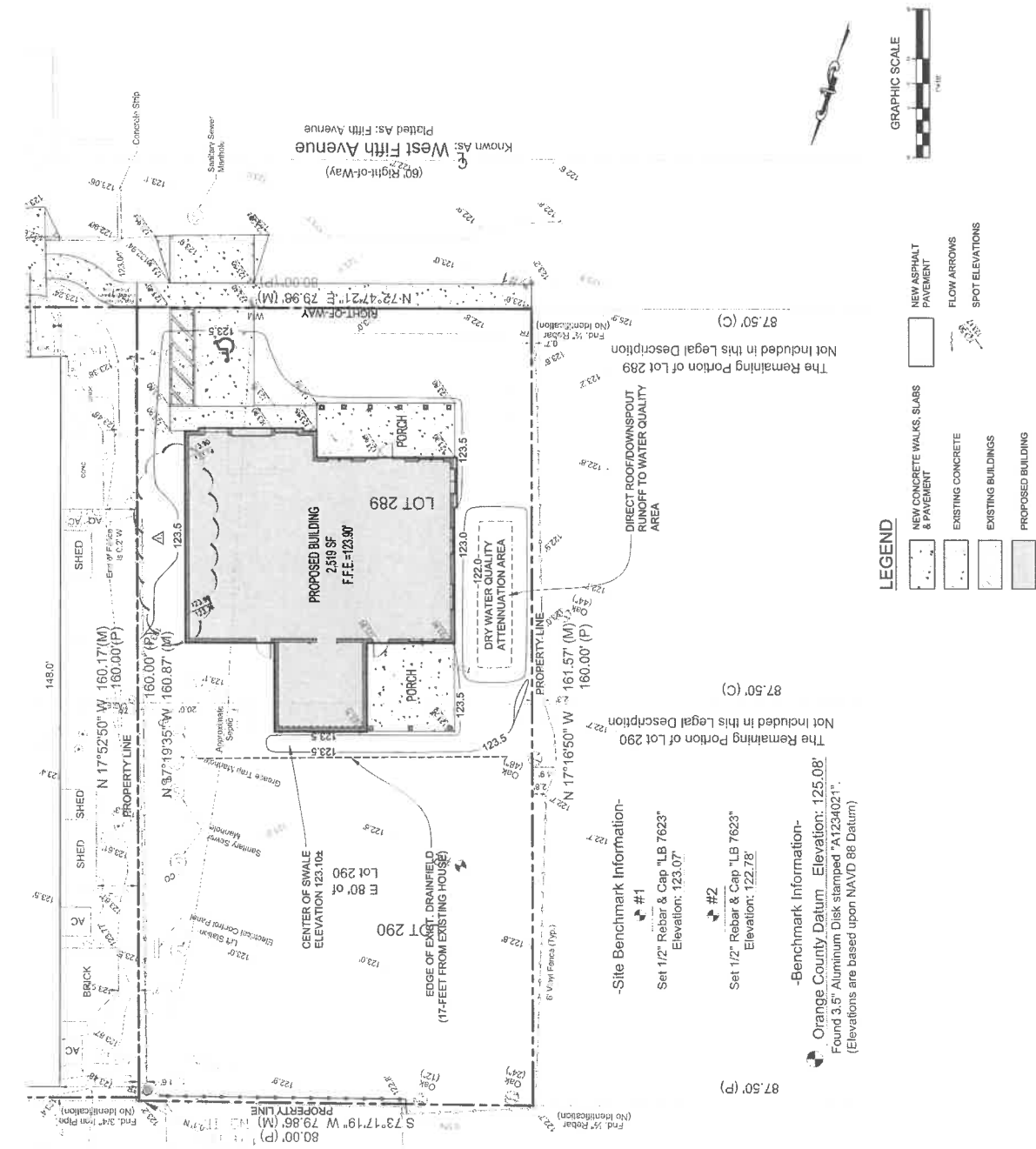
- NOTE: DISABLED PARKING STALLS SHALL CONFORM TO THE FOLLOWING:
- TOP SURFACE SHALL BE FINISHED WITH WHITE POLYURETHANE PAINT.
  - REINFORCING SHALL BE 1/2" GALVANIZED STEEL.
  - REINFORCING SHALL BE 1/2" GALVANIZED STEEL.
  - ONE SIDE REQUIRED FOR EACH PARKING SPACE.
  - CLEARANCE IN ACCORDANCE WITH FDOT REQUIREMENTS.
  - ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ACCESSIBILITY: ALL PARKING SPACES SHALL CONFORM TO THE FOLLOWING:
- ALL PARKING SPACES SHALL BE FINISHED WITH WHITE POLYURETHANE PAINT.
  - REINFORCING SHALL BE 1/2" GALVANIZED STEEL.
  - REINFORCING SHALL BE 1/2" GALVANIZED STEEL.
  - ONE SIDE REQUIRED FOR EACH PARKING SPACE.
  - CLEARANCE IN ACCORDANCE WITH FDOT REQUIREMENTS.
  - ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- REINFORCING SHALL BE 1/2" GALVANIZED STEEL.
- CONCRETE SHALL BE 8" THICK WITH 1/2" GALVANIZED STEEL REINFORCING. FINISH SHALL BE COMPACTED TO 95% RELATIVE HUMIDITY. IRONWEED SHALL BE SPACED AT MAXIMUM INTERVALS OF 8' LINEAR FEET.
- CONCRETE SHALL BE 8" THICK WITH 1/2" GALVANIZED STEEL REINFORCING. FINISH SHALL BE COMPACTED TO 95% RELATIVE HUMIDITY. IRONWEED SHALL BE SPACED AT MAXIMUM INTERVALS OF 8' LINEAR FEET.
- CONCRETE SHALL BE 8" THICK WITH 1/2" GALVANIZED STEEL REINFORCING. FINISH SHALL BE COMPACTED TO 95% RELATIVE HUMIDITY. IRONWEED SHALL BE SPACED AT MAXIMUM INTERVALS OF 8' LINEAR FEET.
- CONCRETE SHALL BE 8" THICK WITH 1/2" GALVANIZED STEEL REINFORCING. FINISH SHALL BE COMPACTED TO 95% RELATIVE HUMIDITY. IRONWEED SHALL BE SPACED AT MAXIMUM INTERVALS OF 8' LINEAR FEET.

HANDICAPPED PARKING STALL

PARKING STALLS SHALL BE MARKED WITH WHITE & BLUE PAINT. TOP SURFACE SHALL BE FINISHED WITH WHITE POLYURETHANE PAINT.

N.C.S.

SCALE	AS SHOWN
DATE	09/23/2019
PROJECT #	150925-20
DESIGNED	TMS
CHECKED	SSS
SEALED	



- PAVING AND DRAINAGE NOTES**
1. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS AND CALCULATIONS AS NECESSARY TO DETERMINE THE PROPER PAVING AND DRAINAGE SYSTEMS TO BE INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPORTS REQUIRED, ON-TIME REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TAMPA AND THE COUNTY OF HILLSBOROUGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE PROPOSED PAVING AND DRAINAGE SYSTEMS TO THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF CONSTRUCTION FROM THE TESTING COMPANY.
  3. PRIOR TO BID PREPARATION, THE CONTRACTOR MUST BECOME FAMILIAR WITH THE EXISTING GRADING AND DRAINAGE CONDITIONS ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TAMPA AND THE COUNTY OF HILLSBOROUGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE PROPOSED PAVING AND DRAINAGE SYSTEMS TO THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF CONSTRUCTION FROM THE TESTING COMPANY.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TAMPA AND THE COUNTY OF HILLSBOROUGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE PROPOSED PAVING AND DRAINAGE SYSTEMS TO THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF CONSTRUCTION FROM THE TESTING COMPANY.
  5. ALL FILL MATERIALS SHALL BE FREE OF MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH, OR OTHER UNDESIRABLE MATTER.
  6. ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED SEPARATELY AS TO USABLE INORGANIC FILL STOCKPILES AND SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
  7. ALL FILL MATERIALS EXCAVATED SHALL BE COMPACTED TO AT LEAST 90% MAXIMUM DENSITY AS SPECIFIED IN AUSTIN T-80. ALL OTHER AREAS ARE TO BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY AS SPECIFIED IN AUSTIN T-80. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TAMPA AND THE COUNTY OF HILLSBOROUGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE PROPOSED PAVING AND DRAINAGE SYSTEMS TO THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF CONSTRUCTION FROM THE TESTING COMPANY.
  8. ALL OTHER RELATED ITEMS REQUIRED FOR THE CONSTRUCTION OF THE STORM SEWER SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TAMPA AND THE COUNTY OF HILLSBOROUGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF THE PROPOSED PAVING AND DRAINAGE SYSTEMS TO THE OWNER AND THE ENGINEER WITH COPIES OF THE CERTIFICATION OF CONSTRUCTION FROM THE TESTING COMPANY.
  9. ALL TREE CALL OUTS ARE MEASURED CENTERLINE TO CENTERLINE FOR MANKLES AND INLETS.
  10. ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED WITH A SEED AND MULCH Mixture UNLESS OTHERWISE NOTED OR AS PER THE LANDSCAPE PLAN.
  11. ALL OFF-SITE AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED WITH BAMA.
  12. ALL HARD WOOD TREES MAY BE PLANTED OVER OR WITHIN 5' OF UTILITY LINES OR STORM SEWER LINES UNLESS OTHERWISE NOTED OR AS PER THE LANDSCAPE PLAN.
  13. EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED.

**LEGEND**

- NEW ASPHALT PAVEMENT
- NEW CONCRETE WALKS, SLABS & PAVEMENT
- EXISTING CONCRETE
- EXISTING BUILDINGS
- PROPOSED BUILDING
- FLOW ARROWS
- SPOT ELEVATIONS

**GRAPHIC SCALE**  
 1"=10'

**-Site Benchmark Information-**  
 Set #1 Rebar & Cap "LB 7623" Elevation: 123.07'  
 Set #2 Rebar & Cap "LB 7623" Elevation: 122.76'

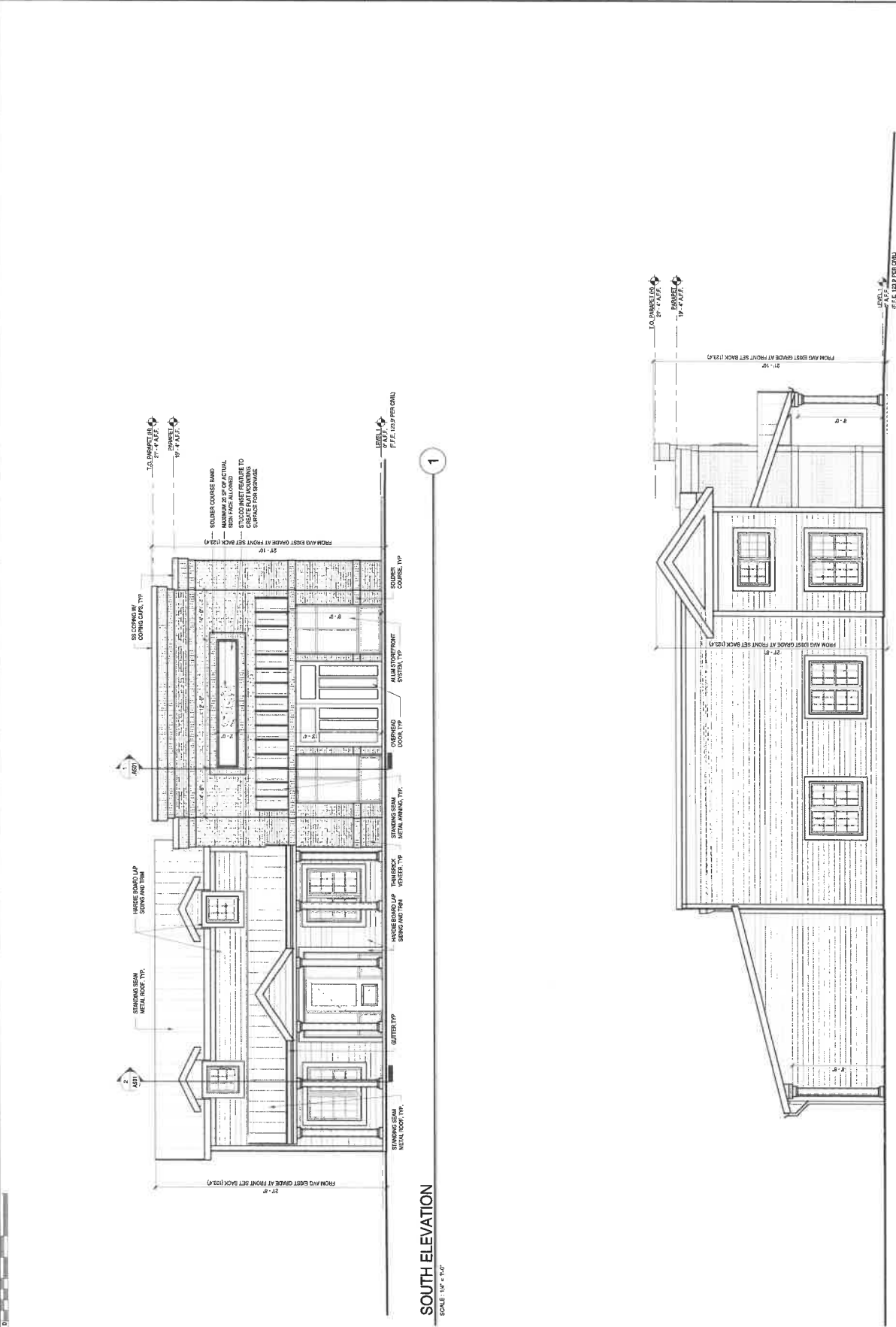
**-Benchmark Information-**  
 Orange County Datum Elevation: 125.08'  
 Found 3.5" Aluminum Disk stamped "A1234021"  
 (Elevations are based upon NAVD 88 Datum)











**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**FOR REVIEW ONLY**  
**CONSTRUCTION OR**  
**PRICING**

CONTRACTOR: BERRY COMPANY, INC. 2008  
 1400 GARDEN PARKWAY, SUITE 1000, WEST PALM BEACH, FL 33411  
 PHONE: (561) 833-1100 FAX: (561) 833-1101  
 WWW: www.berrycompany.com  
 PROJECT: WFP COMMERCIAL  
 DATE: 11/11/10

PROJECT ADDRESS:

PROJECT NO.:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

PROJECT:

DATE:

SCALE:

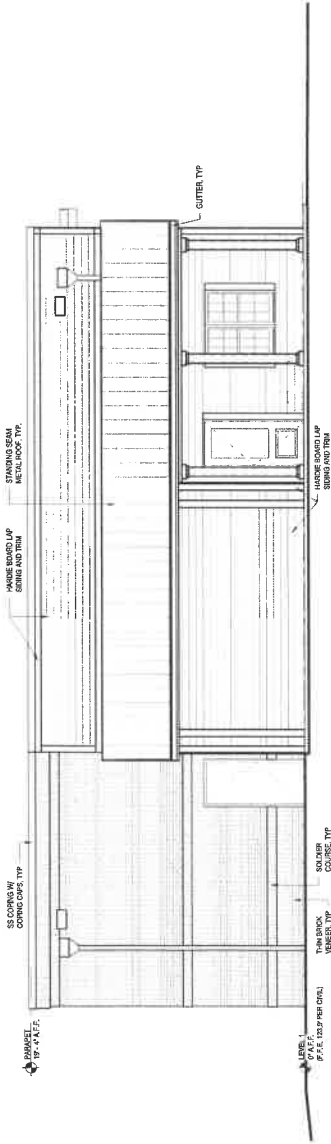
PROJECT:

DATE:

SCALE:

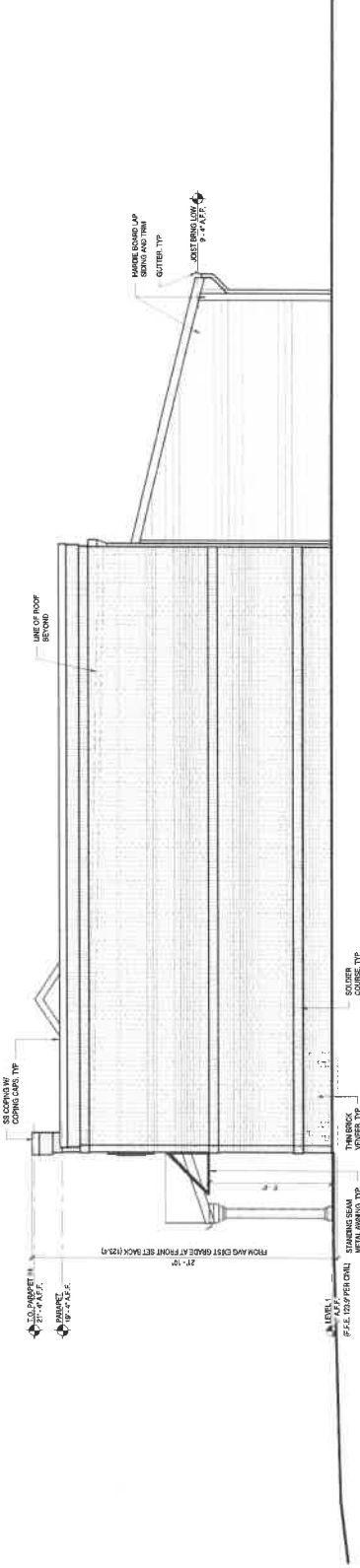
EXTERIOR ELEVATIONS

SHEET NO. A402



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

1

2



MBI COMPANIES, INC.  
 100 COLONIAL CENTER  
 LAKE WORTH, FL 33466  
 PHONE: 561-966-1100  
 FAX: 561-966-1101  
 WEB: www.mbi.com  
 EMAIL: info@mbi.com  
 401 SOUTH FLORIDA AVENUE, SUITE 200  
 WEST PALM BEACH, FL 33411  
 561-966-1100

**FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION OR  
 PRICING**

THIS DRAWING IS THE PROPERTY OF MBI COMPANIES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MBI COMPANIES, INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED. MBI COMPANIES, INC. ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

**WFP COMMERCIAL**

PROJECT ADDRESS:  
 1111 W. 8TH AVE.  
 WEST PALM BEACH, FL 33411

- ARCHITECTURAL PLAN
- FOUNDATION ONLY
- CONSTRUCTION
- EXHIBIT TO PRESENT
- DESIGN DEVELOPMENT
- CONTRACT DOCUMENTS
- AS-BUILT RECORD SET

DESIGN INFORMATION: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_

DATE PLOTTED: \_\_\_\_\_  
 USER: \_\_\_\_\_

DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET NO.: \_\_\_\_\_  
 PERSPECTIVE  
**A901**



MBI COMMERCIAL  
 106 COLONIAL CENTER  
 LAKE MARY, FL 32746  
 PHONE: 407.943.1100  
 FAX: 407.943.0200  
 WEB: [www.mbi.com](http://www.mbi.com)  
 ARCHITECTURE NO.: 1000000000  
 ADDRESS: 1000000000  
 CITY: 1000000000  
 STATE: 1000000000

NOT FOR REVIEW ONLY  
 CONSTRUCTION OR  
 PRICING

PROJECT INFORMATION  
 PROJECT:

WFP COMMERCIAL  
 PROJECT ADDRESS:

111 W. 4TH AVE.  
 WINDSORFLEET, FL 32080  
 COUNTY:

FOR REVIEW ONLY  
 FOR CONSTRUCTION  
 FOR PRICING ONLY  
 DESIGN DEVELOPMENT  
 CONSTRUCTION BOARDS  
 CITY:

SHEET INFORMATION  
 SHEET NO.:

SHEET TITLE:

PERSPECTIVE  
 A902



MBI COMMERCIAL INC.  
 100 COLUMBIA AVENUE, SUITE 200  
 LAKE HAVEN, FL 33716  
 TEL: (813) 562-2200  
 FAX: (813) 562-2209  
 WWW.MBI-CORPORATION.COM

PROJECT NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_

**FOR REVIEW ONLY  
 CONSTRUCTION OR  
 PRICING**

FOR PROJECTS IN FLORIDA, MARIETTA, GA, 30067  
 THE ARCHITECT'S PROFESSIONAL LIABILITY AND MALPRACTICE INSURANCE POLICY DOES NOT COVER THE ARCHITECT'S LIABILITY FOR PROFESSIONAL NEGLIGENCE IN THE STATE OF FLORIDA. THE ARCHITECT'S PROFESSIONAL LIABILITY AND MALPRACTICE INSURANCE POLICY DOES NOT COVER THE ARCHITECT'S LIABILITY FOR PROFESSIONAL NEGLIGENCE IN THE STATE OF FLORIDA. THE ARCHITECT'S PROFESSIONAL LIABILITY AND MALPRACTICE INSURANCE POLICY DOES NOT COVER THE ARCHITECT'S LIABILITY FOR PROFESSIONAL NEGLIGENCE IN THE STATE OF FLORIDA.

**WFP COMMERCIAL**

PROJECT ADDRESS: \_\_\_\_\_

PROJECT NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_

- DATE: \_\_\_\_\_
- ARCHITECTURE
  - INTERIORS
  - EXTERIORS
  - MECHANICAL/ELECTRICAL/PLUMBING
  - STRUCTURAL
  - LANDSCAPE ARCHITECTURE
  - CIVIL
  - ENVIRONMENTAL
  - HISTORIC PRESERVATION
  - SPECIALTY

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET NO. \_\_\_\_\_  
**PERSPECTIVE**  
**A903**





Seal

# WFP RETAIL BUILDING

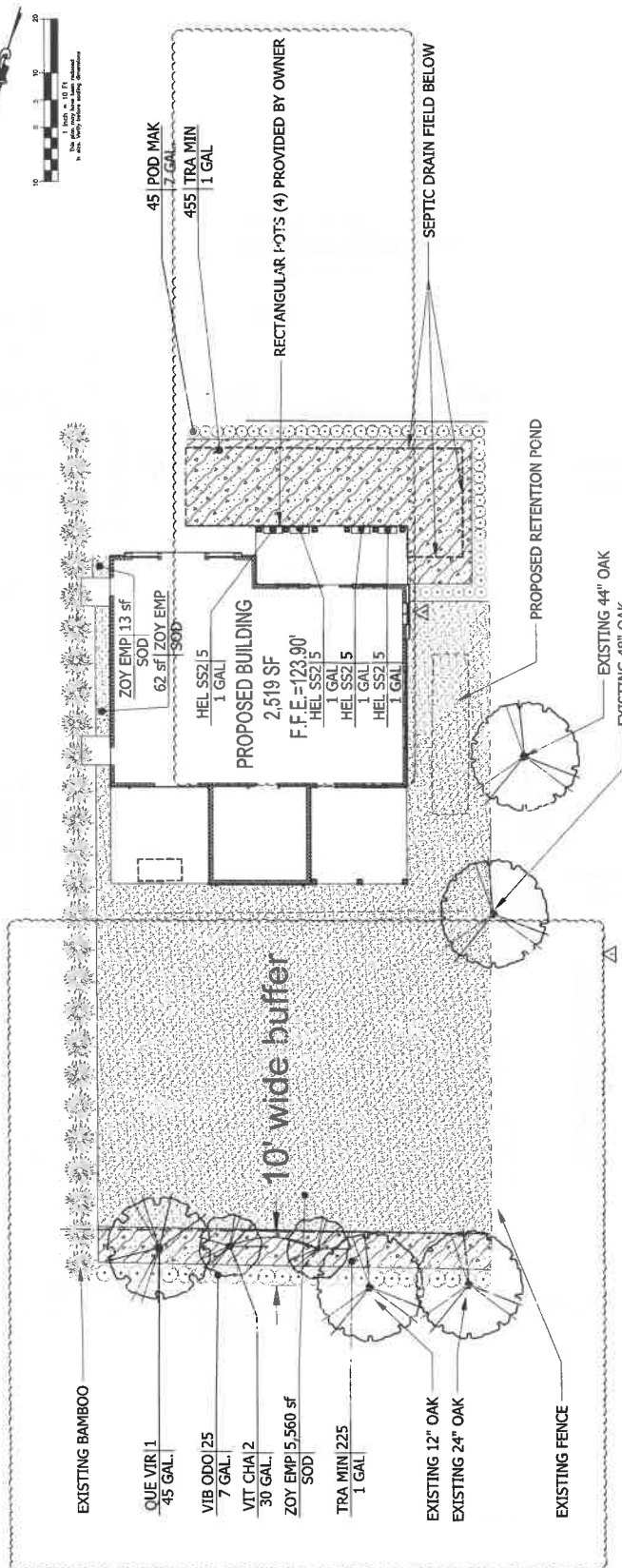
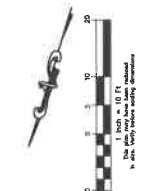
Windermere, Florida

Region: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 No: 1 July 20, 2020

LANDSCAPE PLAN

Sheet Number

# L1



PLANT SCHEDULE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CULTURE	SPECIFICATION	WATER USAGE	NATIVE	REMARKS
TREES										
	QUE VTR 1	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	45 GAL	2.5" CAL	12" H MIN X 6" SPK MIN	LOW-MEDIUM	YES	SINGLE STRAIGHT TRUNK, TELL
	VIT CHA 2	2	VITEX AGASTIS 'SIBBAL CREEK'	ONASITE TREE	20 GAL	6" H X 3" S		LOW	YES	
SHRUBS										
	POD MAK	45	POGONIAS PACHYPETALUS 'HAIL'	SHRUBBY TERN	7 GAL	30" H X 2.5" W		WATER USAGE LOW-MEDIUM	NATIVE	REMARKS FULL
	VEB ODO 25	25	VEURUNIA GOODENIIFLORA	SWIFT FORSYTHIA	7 GAL	36" H MIN X 24" S		LOW	NO	FULL
EXISTING SLANT MATERIAL										
	BAW ALP 27	27	BANISCA MULTIFLORA 'ALPINESE BARK' (EXISTING)	ALPINESE BARK BAMBOO				MEDIUM	NATIVE	REMARKS FULL
GROUND COVERS										
	HEL S82 20	20	HELIANTHUS DEBILIS 'DEBILIS'	PROSTRATE CUCUMBERLEAF SUNFLOWER	CONT.		12" H X 12" S	WATER USAGE LOW-MEDIUM	NATIVE	REMARKS SPACING 12" O.C.
	TRA PIN 680	680	TRACHELOSPERMUM ASVATICUM 'TRIDINA'	DOWNY ASIAN JASMINE	1 GAL	10" H X 12" S		LOW-MED	NO	FULL, 5 RUNNERS MIN.
SOD										
	ZOY EMP 5,560 SF	5,560 SF	ZOYSIA JAPONICA 'EMPIRE'	KOREAN GRASS	SOD			WATER USAGE LOW	NATIVE	REMARKS SPACING CLEAN AND WEED FREE

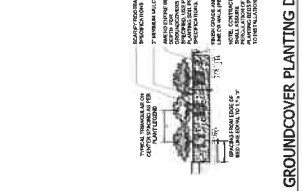
Copyright © 2020, Maryland Design, All design and drawings indicated or permitted by this drawing shall remain the property of Maryland Design, LLC. All dimensions are shown in feet and inches. Contractors shall verify and be responsible for all dimensions and conditions on job. Maryland Design must be notified immediately of any violations, omissions or inaccuracies in any manner. Plans are for general information only and are not to be used for construction. Plans are subject to change without notice. The designer and contractor shall be responsible for obtaining all necessary permits and approvals. The designer and contractor shall be responsible for obtaining all necessary permits and approvals. The designer and contractor shall be responsible for obtaining all necessary permits and approvals.

Seal

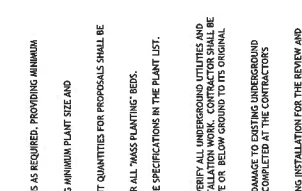
**TYPICAL LANDSCAPE NOTES:**

1. ALL TREE CALIBER SIZES NOTED ARE MINIMUM. INCREASE SIZE OR ANY OTHER SPECIFICATIONS AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS.
2. ALL CONTAINER SIZES NOTED ARE MINIMUM. INCREASE SIZE OF POT AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS. ALL HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUM.
3. SHRUB AND GROUND COVER SPECIFICATIONS ARE INDICATED FOR EACH PLANT BED. ALL PLANT QUANTITIES FOR PROPOSALS SHALL BE DERIVED SOLELY FROM DRAWINGS AND SPECIFICATIONS.
4. SHRUB AND GROUND COVER SPACING IS INDICATED ON THE PLANT LIST AND SHALL APPLY FOR ALL MASS PLANTING BEDS.
5. OWNERS REPRESENTATIVE MUST TAG AN EXAMPLE OF EACH PALM SPECIES ACCORDING TO THE SPECIFICATIONS IN THE PLANT LIST.
6. SEE PLANT LIST DETAILS AND SPECIFICATIONS FOR FURTHER PLANTING INFORMATION.
7. LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND LOCATIONS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE COMMITTED TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
8. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTORS EXPENSE AND SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE.
9. CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LOCATION OF ALL PLANT MATERIAL IS SUBJECT TO FIELD CHANGE.
10. LANDSCAPE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE IRRIGATION CONTRACTOR AND ALL OTHER TRADES.
11. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED UNTIL PLANT MATERIALS ARE WELL ESTABLISHED, TO SUPPLEMENT IRRIGATION WATERING AND BANFALL.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL LANDSCAPE AREAS WHERE THE EXISTING OR PROPOSED IRRIGATION IS FOR WHATEVER REASON NOT OPERATING OR NOT OPERATING CORRECTLY.
13. CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND REPORTED AS DIRECTED DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
14. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE 'GRANDS AND STANDARDS FOR NURSERY PLANTS' PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, CURRENT EDITION.
15. CONTRACTOR SHALL REMOVE EXISTING SOO AND/OR VEGETATION IN ALL AREAS TO BE PLANTED WITH SHRUBS/GROUNDCOVERS AND/OR ALL AREAS TO BE MULCHED.
16. CONTRACTOR SHALL REPLACE SOO IN ALL AREAS WHERE EXISTING VEGETATION IS REMOVED OR RELOCATED, WHERE EXISTING LAWN IS TO BE MAINTAINED. CONTRACTOR SHALL PROVIDE A COMPLETE AND DETAILED LIST OF ALL PLANT MATERIALS TO BE USED. CONTRACTOR SHALL PROVIDE A COMPLETE AND DETAILED LIST OF ALL PLANT MATERIALS TO BE USED. CONTRACTOR SHALL PROVIDE A COMPLETE AND DETAILED LIST OF ALL PLANT MATERIALS TO BE USED.
17. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPING WORK, FOR EVERY BLOCK SECTION OF STREET THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS FOR AT LEAST THREE JOBS UNDISTURBED BY PREVIOUS WORK AND TWO AREAS DESTROYED AND/OR REBUILT. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
18. THE CONTRACTOR SHALL PROVIDE UNIT PRICES AS REQUESTED WHICH INCLUDE THE TOTAL COST OF THE WORK INCLUDING BUT NOT LIMITED TO: LABOR, MATERIALS, EQUIPMENT, AND OVERHEADS. THE CONTRACTOR SHALL HAVE THE OPTION TO ADD OR DEDUCT FROM THE LUMP SUM BID CONTRACT AMOUNT, BASED ON THE QUOTED UNIT PRICES FOR ANY OR THE ITEMS LISTED IN THE 'PLANT LIST'.
19. CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN BY MEANS APPROVED BY THE OWNER/OWNERS REPRESENTATIVE AND AS DETAILED IN THE DRAWINGS.
20. CONTRACTOR SHALL CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNERS REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
21. CONTRACTOR AND EMPLOYEE VEHICLE PARKING SHALL BE COORDINATED WITH THE OWNER OR OWNERS REPRESENTATIVE. SHUTTLING OF EMPLOYEES TO THE PROJECT AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT INTERRUPT OR CONFLICT IN ANY WAY WITH EXISTING TRAFFIC.
22. CONSTRUCTION ACCESS SHALL BE INDICATED BY THE OWNER. COORDINATION OF HEAVY EQUIPMENT AND MATERIALS SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER OR OWNERS REPRESENTATIVE.
23. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES THAT MAY BE NECESSARY TO FULLY UNDERSTAND ALL THE ACCESS ROUTES AND CONSTRUCTION SCHEDULES IN ORDER TO PROVIDE A COMPLETE AND FINISHED PROJECT ON SCHEDULE.
24. PINE STRAW MULCH OR APPROVED EQUAL SHALL BE USED (CYPHRES MULCH NOT ALLOWED).

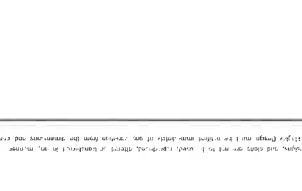
**1 SHRUB PLANTING DETAIL**



**2 GROUNDCOVER PLANTING DETAIL**

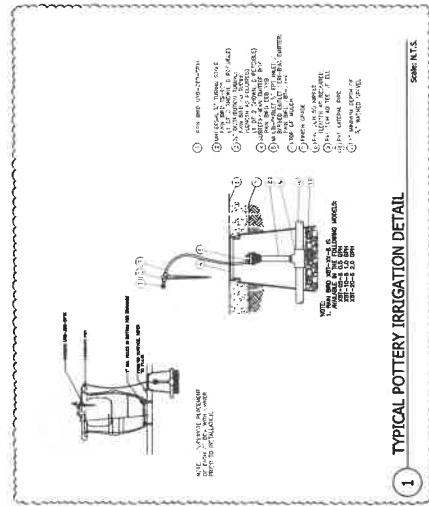
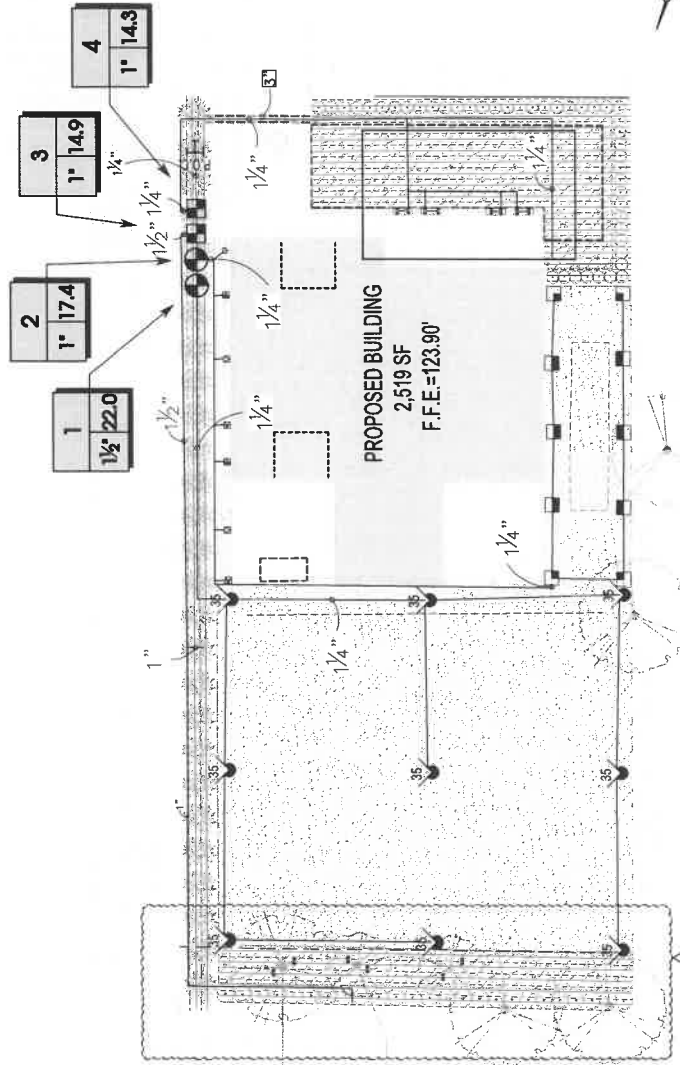


**3 PLANT SPACING DETAIL**



**4 LANDSCAPE POT DETAIL**





CRITICAL ANALYSIS

2020-05-11 09:13

Flow Available: 60.00 gpm  
 Current Max Flow: 60.00 gpm  
 Pressure Available: 50.00 psi  
 Pressure Available at POC: 30.00 psi  
 Headloss Available at POC: 20.00 psi  
 Headloss Available at Emitter: 10.00 psi

Flow Available: 60.00 gpm  
 Current Max Flow: 60.00 gpm  
 Pressure Available: 50.00 psi  
 Pressure Available at POC: 30.00 psi  
 Headloss Available at POC: 20.00 psi  
 Headloss Available at Emitter: 10.00 psi

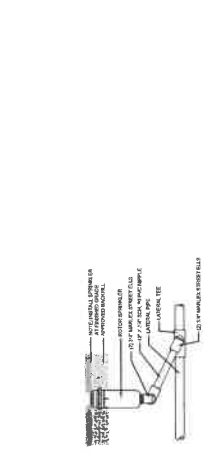
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	IBC	QPA	RADIUS
1	1 1/2\"/>				

VALVE SCHEDULE	SIZE	TYPE	QPA	IBC	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	1 1/2\"/>							

# WFP RETAIL BUILDING

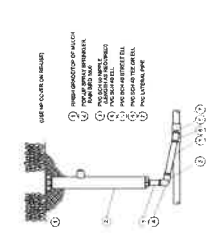
Windermere, Florida

Scale: N.T.S.



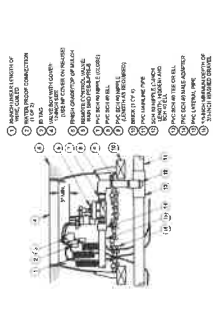
1 TYP. POP-UP SPRAY HEAD DETAIL

Scale: N.T.S.



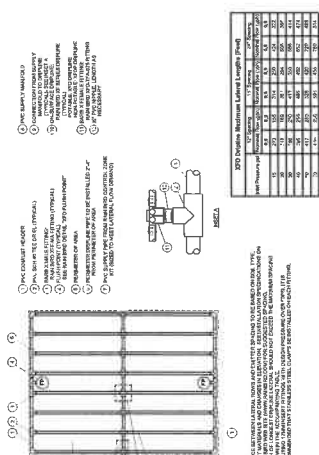
2 TYP. POP-UP SPRAY HEAD DETAIL

Scale: N.T.S.



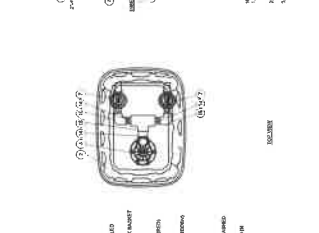
3 TYPICAL ROTOR DETAIL

Scale: N.T.S.



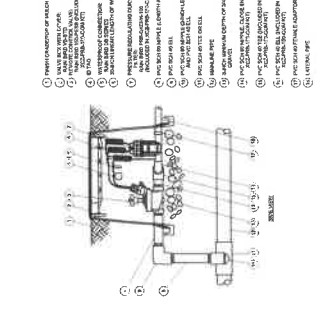
4 X-CZ-PRB DRIP CONTROL ZONE KIT

Scale: N.T.S.



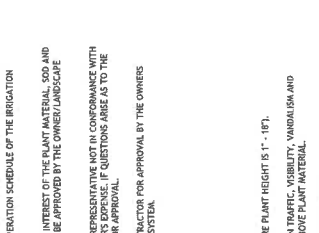
5 DRIP LINE PLAN VIEW TYPICAL

Scale: N.T.S.



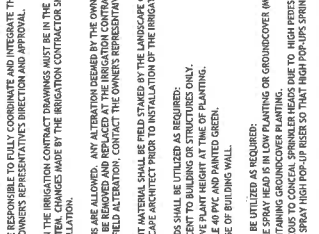
6 DRIP LINE RISER ASSEMBLY

Scale: N.T.S.



7 DRIP LINE INSERT ADAPTER

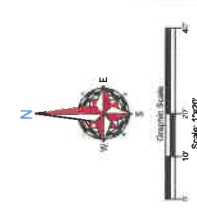
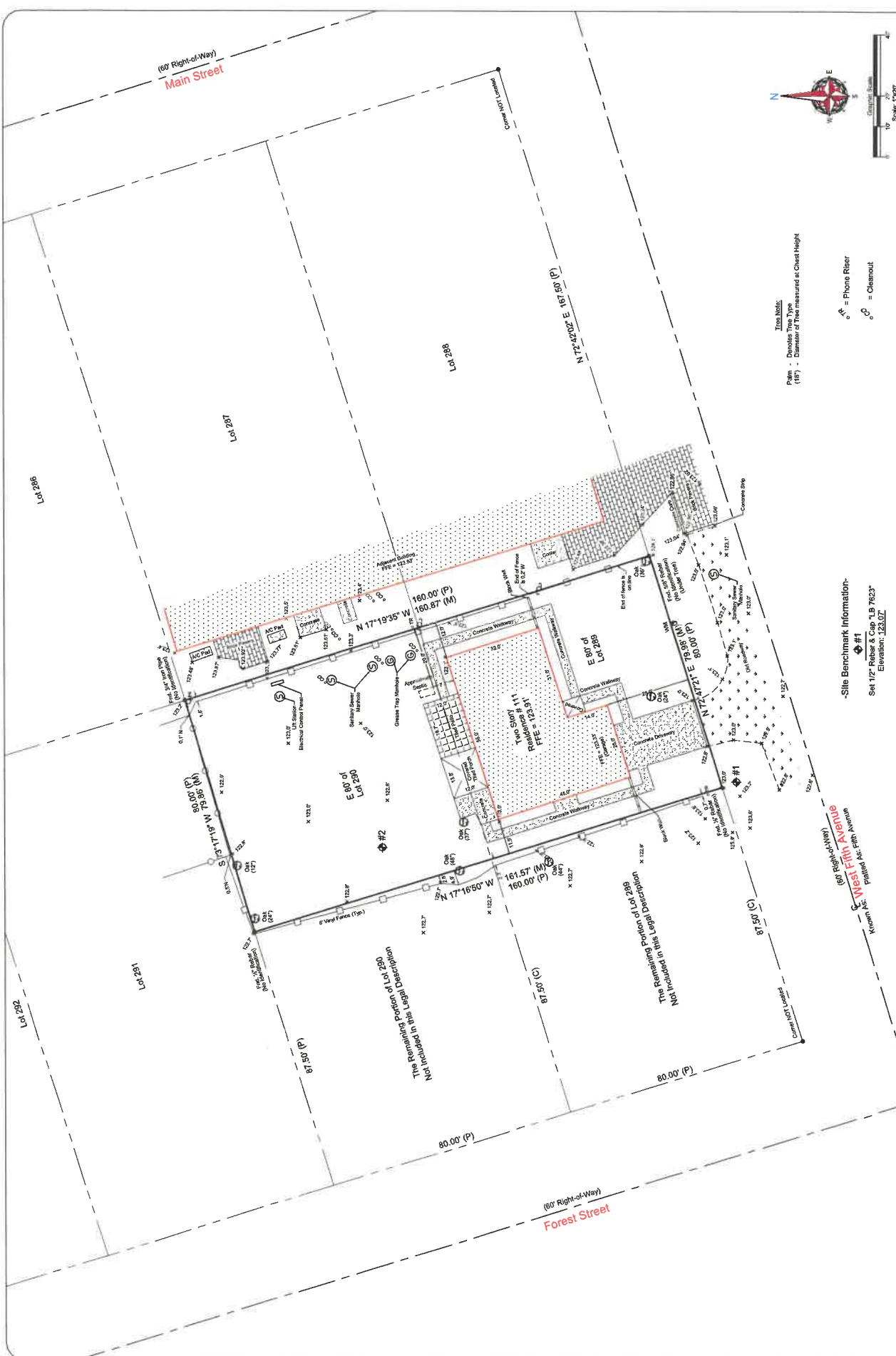
Scale: N.T.S.



8 DRIP LINE AT GRADE

Scale: N.T.S.

4. REFER TO ENGINEERING DRAWINGS FOR ALL UTILITY LOCATIONS, AND VERIFY IN THE FIELD PRIOR TO COMMENCING WORK. REFER TO ENGINEERING DRAWINGS FOR FINAL GRADING AND SPOT ELEVATIONS. VERIFY IN THE FIELD PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE POWER SOURCE AND SERVICE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
21. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
22. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
23. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
24. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
25. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
26. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
27. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
29. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
30. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
31. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE LINE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



Iron Nails:  
 Plain - Diameter Three Type  
 (12) - Diameter of Iron Measured at Chest Height

⊕ = Phone Rebar  
 ⊙ = Cleamout

**Boundary Survey**  
**Legal Description:**  
 THE EAST 80 FEET OF LOT 298 AND THE EAST 80 FEET OF LOT 299, REPLAT OF WINDERMERE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK G, PAGES 38 THROUGH 93 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**Flood Description:**  
 By performing a search with the local governing municipality or www.fema.gov, the plat was found to be in a Flood Hazard Area (FHA) as shown on the FEMA Flood Hazard Map of Windermere, community number 120391, dated 05/25/2003.

**CERTIFIED TO:**  
**ANDY WILLIAMS**

**Flood Description:**  
 By performing a search with the local governing municipality or www.fema.gov, the plat was found to be in a Flood Hazard Area (FHA) as shown on the FEMA Flood Hazard Map of Windermere, community number 120391, dated 05/25/2003.

**Site Benchmark Information:**  
 #1  
 Set 1/2" Rebar & Cap "LB 7623"  
 Elevation: 123.07'

#2  
 Set 1/2" Rebar & Cap "LB 7623"  
 Elevation: 122.76'

**Benchmark Information:**  
 Orange County Datum, Elevation: 125.08'  
 Found 3.7' Aluminum Disk stamped "A 1244021"  
 (Elevations are based upon NAVD 83 Datum)

**Site Legend:**  
 - Survey Boundary  
 - Easement  
 - Utility Line  
 - Proposed Structure  
 - Existing Structure  
 - Easement  
 - Utility Line  
 - Proposed Structure  
 - Existing Structure

**Client:** Mr. & Mrs. [Name]  
**Address:** [Address]  
**City:** [City]  
**State:** FL  
**Zip:** [Zip]

**Surveyor:** Ireland & Associates, Surveying, Inc.  
**Address:** 900 Country Club, Suite 1008  
 Lake Mary, Florida 32746  
**Phone:** 407-878-3366  
**Fax:** 407-320-8165

**Boundary Survey**  
**Legal Description:**  
 THE EAST 80 FEET OF LOT 298 AND THE EAST 80 FEET OF LOT 299, REPLAT OF WINDERMERE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK G, PAGES 38 THROUGH 93 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**Flood Description:**  
 By performing a search with the local governing municipality or www.fema.gov, the plat was found to be in a Flood Hazard Area (FHA) as shown on the FEMA Flood Hazard Map of Windermere, community number 120391, dated 05/25/2003.

**CERTIFIED TO:**  
**ANDY WILLIAMS**

**Flood Description:**  
 By performing a search with the local governing municipality or www.fema.gov, the plat was found to be in a Flood Hazard Area (FHA) as shown on the FEMA Flood Hazard Map of Windermere, community number 120391, dated 05/25/2003.

**Site Benchmark Information:**  
 #1  
 Set 1/2" Rebar & Cap "LB 7623"  
 Elevation: 123.07'

#2  
 Set 1/2" Rebar & Cap "LB 7623"  
 Elevation: 122.76'

**Benchmark Information:**  
 Orange County Datum, Elevation: 125.08'  
 Found 3.7' Aluminum Disk stamped "A 1244021"  
 (Elevations are based upon NAVD 83 Datum)

**Site Legend:**  
 - Survey Boundary  
 - Easement  
 - Utility Line  
 - Proposed Structure  
 - Existing Structure

**Client:** Mr. & Mrs. [Name]  
**Address:** [Address]  
**City:** [City]  
**State:** FL  
**Zip:** [Zip]

**Surveyor:** Ireland & Associates, Surveying, Inc.  
**Address:** 900 Country Club, Suite 1008  
 Lake Mary, Florida 32746  
**Phone:** 407-878-3366  
**Fax:** 407-320-8165



**Aerial Map of Site & Surrounding Properties**

- North** Family Church
- North East** Tringas Orthodontics
- East** Windermere Market LLC  
Dixie Cream Cafe, Lakeside Realty  
Hometown Title, Tim's Wine  
Windermere Frame Shop
- South** Town Square, Town Hall  
Basketball Courts, Community Room
- West** 5th & Forest St Parking Lot



**Current Zoning Map of surrounding properties.**

- North:** Public Facility
- North East:** Commercial
- East:** Commercial
- South:** Public Facility
- West:** Public Facility

## PARKING

111 W 5th Ave - will have the one handicapped parking space in front, that will be used also as an unloading zone during off hours. Windermere Market has a surplus of 9 spaces that we will be made available to the proposed building through an exclusive right of use agreement between Windermere Market LLC & 501' Main LLC. The exclusive use agreement to be approved by Council and Staff. The current bicycle parking will also be including in this agreement, to include the 4 unit bike rack located at the South end of the building on 5th Ave. adjacent to the dumpsters.

**Mixed Use:** 3,745 sqft - 18 Spaces

Hometown Title (Office)  
Lakeside Realty (Office)  
Tim's Wine (Retail)

**Restaurant:** 70 Seats - 18 Spaces  
1,200 sqft Dining Area

Windermere Market - 45 Spaces  
111 W 5th Ave - 1 Space

48 Spaces Total
-18 Windermere Mkt
10 - Balance

## Trash Dumpsters & Loading/Unloading

We would like to request that the Dumpster & Deliveries Area to be consolidated with the Windermere Market LLC and 111 5th LLC Properties. A new 9x20 fenced in Dumpster Area along 5th Ave. The current dumpster area will be enlarged and lowered to grade and ramped in conjunction of a new sidewalk along 5th Ave. This will enhance the current look of both properties in this area.

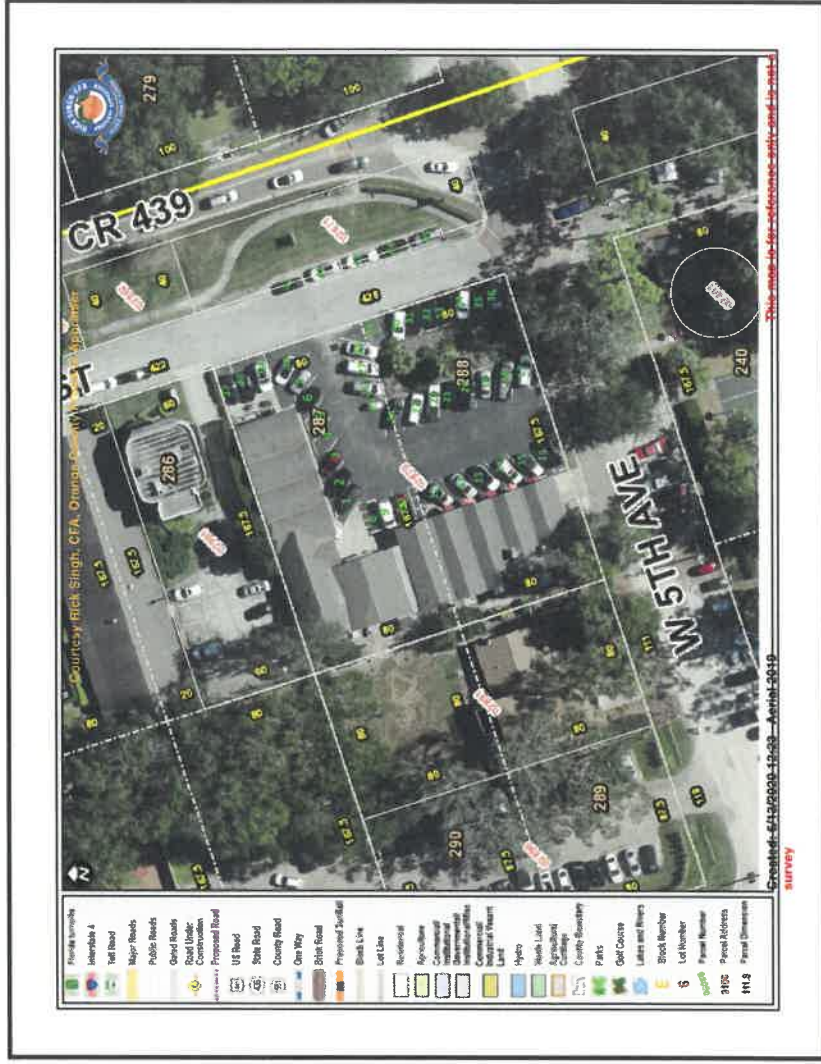
The Delivery Area is also to be lengthened. Additionally the use of the parking lot is used for larger trucks when needed. Deliveries for 111 5th Ave will be scheduled for "Closed Days" only. Mondays, which is also the closed days for Dixie Cream Restaurant, further reducing possible congestion.

We request this in an effort to minimize these areas, which are typically unsightly but necessary. Combining them seems to make the most sense. It will improve the overall area's aesthetics, along 5th Ave. The owners of both properties are within the same immediate family, which allows for this unique opportunity to be easily done plus this will tie these parcels together further minimizing future development or density.

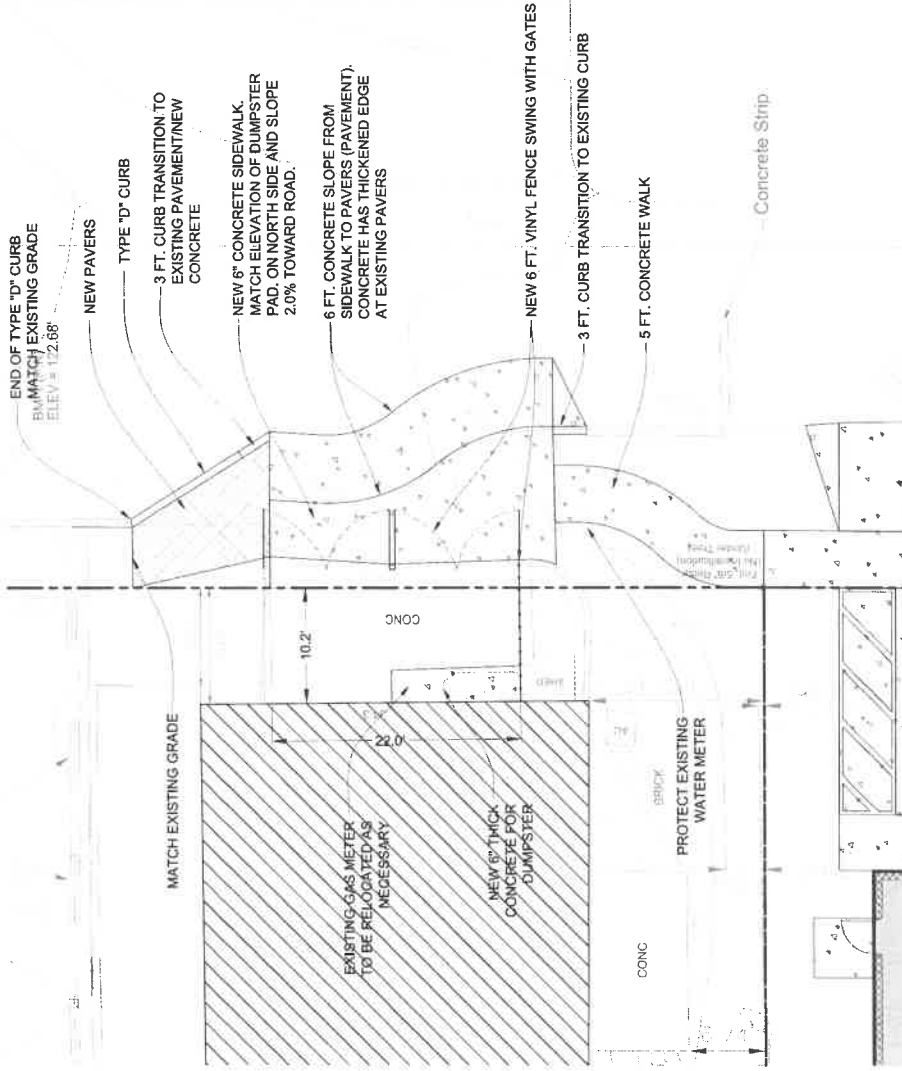
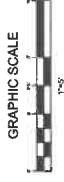
There will be joint use agreements between 111 5th Ave LLC and Windermere Market LLC to combine the "rights of use" for these areas. The joint use agreements to be approved by Council and Staff.

## Variance Request

This is a request to vacate 5 parking spaces in front of the proposed building to allow for a landscaped "front lawn" and a sidewalk connecting an existing sidewalk at North Main and 5th to the 5th/Forest St. Parking lot. A landscaped "front lawn" will give the new building a more residential quality and softer feel blending it well with the surrounding commercial and residential properties.



SCALE	AS SHOWN
DATE	09/25/2019
PROJECT #	190925-20
DESIGNED	TWS
CHECKED	SES
SEAL	



**LEGEND**

	NEW CONCRETE WALKS, SLABS & PAVEMENT
	GRAVEL PARKING
	PROPOSED BUILDING
	EXISTING BUILDING
	PERMEABLE PAVERS



RECOMMEND - Major Development (111 W 5<sup>th</sup> Ave.)

APPROVAL: ✓ DISAPPROVAL \_\_\_\_\_

Received

COMMENTS: \_\_\_\_\_

Wade Trim

SIGNATURE: [Signature]  
ROSS SCOTT M

DATE: 8/1/20

RECOMMEND - Major Development (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL X

COMMENTS: Absolutely no - we do not need - Especially a tap room - I live across the street - hope I do not have to state "no" again. Thank you

SIGNATURE: [Signature]  
JONES FRANCES K LIFE ESTATE

DATE: July 31, 2020

Received  
Wade Trim

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Receiver

Wade Trim



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

BLACK AMANDA L  
414 FOREST ST  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  DISAPPROVAL

COMMENTS: Approved

SIGNATURE: [Signature]  
BLACK AMANDA L

DATE: 8-1-20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

DAVID J HAAS LIVING TRUST  
211 W 6TH AVE  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  DISAPPROVAL:

COMMENTS: \_\_\_\_\_

SIGNATURE:   
DAVID J HAAS LIVING TRUST

DATE: 8/1/2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Wade Trim

Clerk  
DOROTHY BURKHALTER

July 29, 2020

PARK RESIDENTIAL RENTALS LLC  
4 PINE ST  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020, at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m. At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL: ✓ DISAPPROVAL: \_\_\_\_\_

COMMENTS: \_\_\_\_\_

SIGNATURE: Valery Lucke, Manager  
PARK RESIDENTIAL RENTALS LLC

DATE: 8-3-2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

WINDERMERE MARKET LLC  
901 ROSSER RD  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)

APPROVAL:   X   DISAPPROVAL                     

COMMENTS: \_\_\_\_\_

\_\_\_\_\_

SIGNATURE:   Cornelius    
WINDERMERE MARKET LLC

DATE:   7/29/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received  
Wade Trim

July 29, 2020

501 MAIN L L C  
901 ROSSER RD  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_  
501 MAIN L L C

DATE: 8/2/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager **Received**  
ROBERT SMITH

Clerk **Wade Trim**  
DOROTHY BURKHALTER

July 29, 2020

111 5TH AVE LLC  
901 ROSSER RD  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE:   
111 5TH AVE LLC

DATE: 8/2/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received  
Wade Trim

July 29, 2020

CRAVEN BARRY T  
PO BOX 574  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL: \_\_\_\_\_ DISAPPROVAL X \_\_\_\_\_

COMMENTS: Not clear where the parking will be. If they plan to use the 5<sup>th</sup> + Forest Parking, that will interfere with church parking on Sunday. Clear that up and I'm OK with it.

SIGNATURE: Barry T Craven  
CRAVEN BARRY T

DATE: \_\_\_\_\_



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received

Wade Trim

July 29, 2020

DIEDERICH ANDREA  
635 BUTLER ST  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL: X

COMMENTS: No New Commercial In Residential  
area!

SIGNATURE: [Signature]  
DIEDERICH ANDREA

DATE: 8/3/20

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

PEARL CYNTHIA E  
525 BUTLER ST  
WINDERMERE, FL 34786

**RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building**

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

**RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)**

APPROVAL:  DISAPPROVAL:

COMMENTS: WE APPROVE AND SUPPORT  
THIS PROJECT.

SIGNATURE: CE Pearl  
PEARL CYNTHIA E

DATE: 8/01/2020

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

435 BUTLER TRUST  
435 BUTLER ST  
WINDERMERE, FL 34786

## RE: Public Notice of Major Development – 111 W 5<sup>th</sup> Avenue – Proposed New Commercial Building

111 W 5<sup>th</sup> Ave LLC, owner of 111 W 5<sup>th</sup> Avenue, has submitted a major development plan for the development of a 2,519 square foot single-story commercial building. On the subject property. Please see the enclosed proposed site plan and additional information for the proposed new commercial building.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020, at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020, at 6:00 p.m., and October 13, 2020, at 6:00 p.m.** At this time, the Town will either hold the meeting in person in the Town Hall, located at 520 Main Street, Windermere or it will be held virtually through ZOOM. However, please refer to the Town's website or contact the Town's Administration Office to confirm the meeting method. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
bcornelius@wadetrim.com  
Encl.

---

### RECOMMEND – Major Development (111 W 5<sup>th</sup> Ave.)

APPROVAL: \_\_\_\_\_ DISAPPROVAL X \_\_\_\_\_

COMMENTS: I do not want a brewery # taproom less than 300 feet from my home and my 3 grandchildren home.

---

SIGNATURE: Michael July Jr  
435 BUTLER TRUST

DATE: 8/4/20

To: Mayor and Town Council and Development Review Board

From: JEANNE F. GRAHAM

Date: AUGUST 10, 2020

Address: 235 PALM STREET  
WINDERMERE FL, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue  
It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Eric Graham

Date: Aug. 10, 2020

Address: 235 Palm St., Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue  
It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Monday, July 27, 2020 12:09 PM  
**To:** Robert Smith  
**Cc:** Warner, Amanda; Mastison, Sarah  
**Subject:** Public Response Proposed Tap Room/Micro-Brewery

Robert,

**Two Responses from same person.**

FYI – I received a phone call today from Ms. Jones who lives at 412 Forest Street. She called to express her extreme objection to the opening of a micro-brewery and tap room in the Town. I advised her to submit her letter of objection and it will be included as part of the record for the DRB and Town Council hearings.

Take care,  
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President  
One Tampa City Center  
201 North Franklin Street, Suite 1350, Tampa, FL 33602  
813-882-4373 office  
813-415-4952 cell



**To:** Jim O'Brien <[jobrien@town.windermere.fl.us](mailto:jobrien@town.windermere.fl.us)>; Robert McKinley <[RMcKinley@town.windermere.fl.us](mailto:RMcKinley@town.windermere.fl.us)>; Bill Martini <[bmartini@town.windermere.fl.us](mailto:bmartini@town.windermere.fl.us)>; Liz Andert <[landert@town.windermere.fl.us](mailto:landert@town.windermere.fl.us)>; Chris Sapp <[csapp@town.windermere.fl.us](mailto:csapp@town.windermere.fl.us)>; Andy Williams <[awilliams@town.windermere.fl.us](mailto:awilliams@town.windermere.fl.us)>; Frank Chase <[fchase@town.windermere.fl.us](mailto:fchase@town.windermere.fl.us)>; Peter Fleck <[pfleck@town.windermere.fl.us](mailto:pfleck@town.windermere.fl.us)>; Jennifer Roper <[jroper@town.windermere.fl.us](mailto:jroper@town.windermere.fl.us)>; Molly Rose <[mrose@town.windermere.fl.us](mailto:mrose@town.windermere.fl.us)>; Norma Sutton <[nsutton@town.windermere.fl.us](mailto:nsutton@town.windermere.fl.us)>; Stephen Withers <[swithers@town.windermere.fl.us](mailto:swithers@town.windermere.fl.us)>; Diane Edwards <[dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)>

**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Angie Winn

Date: August 4, 2020

Address: 908 Rosser Road, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Angie Winn

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards, Bill Bardoe 225 E 9TH AVE

Sent from my iPhone



## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Tuesday, August 11, 2020 9:02 AM  
**To:** Mastison, Sarah  
**Subject:** FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Another one.....

Brad

-----  
**From:** [bconnors@cfl.rr.com](mailto:bconnors@cfl.rr.com) <[bconnors@cfl.rr.com](mailto:bconnors@cfl.rr.com)>  
**Sent:** Tuesday, August 4, 2020 4:03 PM  
**To:** Jim O'Brien <[jobrien@town.windermere.fl.us](mailto:jobrien@town.windermere.fl.us)>; Robert McKinley <[RMckinley@town.windermere.fl.us](mailto:RMckinley@town.windermere.fl.us)>; Bill Martini <[bmartini@town.windermere.fl.us](mailto:bmartini@town.windermere.fl.us)>; Liz Andert <[landert@town.windermere.fl.us](mailto:landert@town.windermere.fl.us)>; Chris Sapp <[csapp@town.windermere.fl.us](mailto:csapp@town.windermere.fl.us)>; Andy Williams <[awilliams@town.windermere.fl.us](mailto:awilliams@town.windermere.fl.us)>; Frank Chase <[fchase@town.windermere.fl.us](mailto:fchase@town.windermere.fl.us)>; Peter Fleck <[pfleck@town.windermere.fl.us](mailto:pfleck@town.windermere.fl.us)>; Jennifer Roper <[jroper@town.windermere.fl.us](mailto:jroper@town.windermere.fl.us)>; Molly Rose <[mrose@town.windermere.fl.us](mailto:mrose@town.windermere.fl.us)>; Norma Sutton <[nsutton@town.windermere.fl.us](mailto:nsutton@town.windermere.fl.us)>; Stephen Withers <[swithers@town.windermere.fl.us](mailto:swithers@town.windermere.fl.us)>  
**Cc:** Diane Edwards <[dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)>; 'nconnors34786@gmail.com' <[nconnors34786@gmail.com](mailto:nconnors34786@gmail.com)>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Brynna Connors

Date: August 4, 2020

Address: 217 Oakdale Street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address. I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Brynna Connors

**To:** Jim O'Brien <[jobrien@town.windermere.fl.us](mailto:jobrien@town.windermere.fl.us)>; Robert McKinley <[RMcKinley@town.windermere.fl.us](mailto:RMcKinley@town.windermere.fl.us)>; Bill Martini <[bmartini@town.windermere.fl.us](mailto:bmartini@town.windermere.fl.us)>; Liz Andert <[landert@town.windermere.fl.us](mailto:landert@town.windermere.fl.us)>; Chris Sapp <[csapp@town.windermere.fl.us](mailto:csapp@town.windermere.fl.us)>; Andy Williams <[awilliams@town.windermere.fl.us](mailto:awilliams@town.windermere.fl.us)>; Frank Chase <[fchase@town.windermere.fl.us](mailto:fchase@town.windermere.fl.us)>; Peter Fleck <[pfleck@town.windermere.fl.us](mailto:pfleck@town.windermere.fl.us)>; Jennifer Roper <[jroper@town.windermere.fl.us](mailto:jroper@town.windermere.fl.us)>; Molly Rose <[mrose@town.windermere.fl.us](mailto:mrose@town.windermere.fl.us)>; Norma Sutton <[nsutton@town.windermere.fl.us](mailto:nsutton@town.windermere.fl.us)>; Stephen Withers <[swithers@town.windermere.fl.us](mailto:swithers@town.windermere.fl.us)>

**Cc:** Diane Edwards <[dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)>

**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Douglas Kegler

12 Pine St, Windermere, FL 34786

August 7, 2020

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

I would like to voice my approval for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

Regards,

Douglas Kegler

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Wednesday, July 29, 2020 4:26 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Get [Outlook for iOS](#)

---

**From:** Heather Oles <heather\_oles@yahoo.com>  
**Sent:** Wednesday, July 29, 2020 1:24:49 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development. Please note that I am full time resident of the Town of Windermere, of legal voting age (plus some!) and my address is 11230 Lake Butler Blvd. Contact information provided below.

Regards,

Heather Oles  
11230 Lake Butler Blvd

---

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Wednesday, July 29, 2020 4:26 PM  
**To:** Cornelius, Brad; Warner, Amanda  
**Subject:** Fwd: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

Want to make sure you're getting these!

Get [Outlook for iOS](#)

---

**From:** David Tulk <davetulk@hotmail.com>  
**Sent:** Wednesday, July 29, 2020 1:37:57 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: David Tulk

---

Date: 7/29/2020

Address: 3340 Wax Berry Ct, Windermere FL, 34786

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

David Tulk

**Mastison, Sarah**

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Wednesday, July 29, 2020 4:27 PM  
**To:** Cornelius; Brad; Warner, Amanda  
**Subject:** Fwd: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

Get [Outlook for iOS](#)

---

**From:** Rob Matheison <rob@matheison.com>  
**Sent:** Wednesday, July 29, 2020 12:52:41 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMckinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

To: Mayor and Town Council and Development Review Board

From: Rob Matheison

Date: July 29, 2020

Address: 610 Ridgewood Drive, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Rob Matheison

[rob@matheison.com](mailto:rob@matheison.com)

From: Lindsey Tomaszewski

Date: August 7, 2020

Address: 40 Main st Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lindsey Tomaszewski  
40 Main Street Windermere, Fl 34786  
321-624-3070



Address: 40 Main st Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Best,

**Matt Tomaszewski**

C. [407.719.5956](tel:407.719.5956)

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,  
Anne DeBoer

---

Date: 7/30/20

Address: 306 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

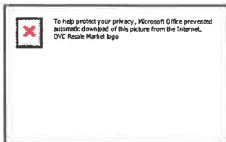
Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

**Derek DeBoer** | [derek@dvcresalemarket.com](mailto:derek@dvcresalemarket.com)

**DIRECT:** (407) 900-0226  
**PHONE:** (844) 382-7767  
**FAX:** (407) 210-0112  
**DVCRESALEMARKET.COM**



**Sell at our special 8.5% commission!**  
**Offer expires July 31st!**  
**Never upfront fees.**

[Visit Our Website](#)

From: Ryan Mendro

Date: August 3, 2020

Address: 10864 Bayshore Dr, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Ryan Mendro

Address: [10864 Bayshore Dr, Windermere, FL 34786](#)

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at [111 W 5th Avenue](#)

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at [111 W 5th Avenue](#) will occur in front of the Development Revue Board [on August 18, 2020](#) & later by the Windermere Town Council [on September 8, 2020](#).

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,  
[Lucía Roca Mendro](#)

---

Sent from my iPhone

From: Steve Ruffner

Date: August 5, 2020

Address: 2108 Kane Park Way

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,  
Steve Ruffner

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Tuesday, August 4, 2020 7:05 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Sara Ruffner <sarajruffner@gmail.com>

**Sent:** Tuesday, August 4, 2020 4:34 PM

**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>

**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Sara Ruffner

Date: August 4, 2020

Address: 2108 Kane Park Way, Windermere 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Sara Ruffner



## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Thursday, August 6, 2020 3:22 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: I am in full support

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Teresa Aken <tkaken@cfl.rr.com>  
**Sent:** Thursday, August 6, 2020 3:06 PM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>; 'Teresa Aken' <tkaken@cfl.rr.com>  
**Subject:** I am in full support

To: Mayor and Town Council and Development Review Board

From: Teresa Aken, Town Resident @ 70 Forest Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It understand a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020. The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. I do feel this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District. I agree so much of our Town's charm is our unique downtown district and town square where residents come together as a community. I fully support small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Thank you,  
Teresa Aken  
70 Forest St  
Windermere, FL 34786  
407-376-4141  
tkaken@cfl.rr.com

**Date:** July 30, 2020

**Address:** 215 Forest St., Windermere, FL 34786

**Re:** Public Hearing on Proposed New Commercial Building and Proposed Taproom and Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 and also by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom and micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both of these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the town's character and will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal and commercial building development.

Regards,

Michael Guthrie

215 Forest St.

Windermere, FL 34786

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Tuesday, August 4, 2020 7:05 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Build the Brewery Support

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Wayne Sheffield <WSheffield@Isleworth.com>

**Sent:** Tuesday, August 4, 2020 4:33 PM

**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>

**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>; andy@windermerebrewing.com <andy@windermerebrewing.com>

**Subject:** Build the Brewery Support



---

To: Mayor and Town Council and Development Review Board

From: Wayne & Carey Sheffield

Date: 8/4/2020

Address: 101, Lee Street, Windermere, FL34786

---

**Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue**

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

**I would like to voice my approval for both these items.** While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

---

Wayne Sheffield  
*President, General Manager*

**ISLEWORTH GOLF & COUNTRY CLUB**  
**ISLEWORTH REALTY**  
6100 Payne Stewart Drive  
Windermere, FL 34786  
Main: 407.909.2000  
Direct: 407.909.2006  
Cell: 407.274.2256  
Fax: 407.876.0682

[www.isleworth.com](http://www.isleworth.com)



This email message is for the sole use of the intended recipient(s) and may contain confidential information. Any unauthorized review, use, dissemination, disclosure, distribution or copying is strictly prohibited. If you are not the intended recipient, please contact the sender by reply email and destroy all copies of the original message. If you are the intended recipient, please be advised that the content of this message is subject to access, review and disclosure by the sender's Email System Administrator.

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Monday, August 3, 2020 9:28 AM  
**To:** Cornelius, Brad; Warner, Amanda  
**Subject:** FW: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

**From:** Richard Montgomery <richmontgom@gmail.com>  
**Sent:** Monday, August 03, 2020 9:26 AM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to strongly state my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Richard Montgomery  
11067 Schooner Way  
Windermere, FL 34786

407-637-1929

From:

Hubert van Alphen

Date:

8/06/20

Address:

11200 cedar grove ct, windermere, fl , 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.



Regards,

Hubert

From: Tim Kelly

Date: 8/5/2020

Address: 2829 Marquesas Ct., Windermere FL 34786

---

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Tim Kelly

Date: August 5, 2020

Address: 515 W 2nd Ave, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lily Siviglia

From: Krista Kirk

Date: August 3rd, 2020

Address: 11311 Willow Gardens Dr

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Krista Kirk

Sent from my iPhone

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Friday, July 31, 2020 10:34 AM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** chamblissn@aol.com <chamblissn@aol.com>  
**Sent:** Friday, July 31, 2020 10:32 AM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Neal Chambliss

Date: July 31, 2020

Address: 117 Palm Street

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Neal Chambliss

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Friday, August 7, 2020 9:50 AM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** FW: Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

**From:** Joshua Lieberman <joshua.lieberman@yahoo.com>  
**Sent:** Friday, August 07, 2020 9:47 AM  
**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>  
**Cc:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Subject:** Support Letter for Public Hearing on Windermere Brewing Conditional Use & Major Site Development

To: Mayor and Town Council and Development Review Board

From: Joshua & Maria Lieberman



Date: 08/07/2020

Address: 41 Pine St Windermere Fl, 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Joshua Lieberman  
C -407-616-1589  
[Joshua.lieberman@yahoo.com](mailto:Joshua.lieberman@yahoo.com)

To: Mayor and Town Council and Development Review Board

From: Lauren Gurr

Date: 07/30/2020

Address: 44 oakdale street, Windermere, FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lauren Gurr

To: Mayor and Town Council and Development Review Board

From: Stephen @ Wendy Fasen

Date: 7/30/2020

Address: 10808 Bayshore Dr. / Windermere

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

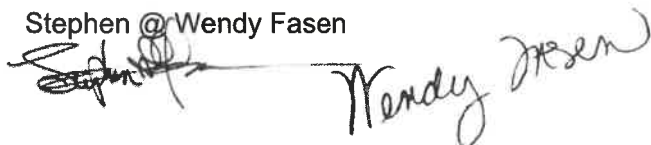
I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Stephen @ Wendy Fasen

Handwritten signatures of Stephen and Wendy Fasen. The signature for Stephen is on the left, and the signature for Wendy is on the right, written in a cursive style.

**LYNN AND JIM SALMON**  
**8 PINE STREET**  
**BEAUTIFUL WINDERMERE, FL 34786**

7 August 2020

TO: The Honorable Jim O'Brien, Mayor of Windermere  
Members of the Windermere Town Council

Subject: Support of Windermere Town Brewery

As a twenty plus year residents of Windermere, we have been pleased with the addition of social and business opportunities allowed to our town members in the "Heart of Downtown". The current restaurant, coffee shop and ice cream parlor are all welcome improvements to give our citizens a place to go without having to leave our town (for most in walking distance) and fight the massive traffic we incur at times.

In this same view, we see the addition of a brewery in the downtown area as a welcome establishment and fully support its participation in our town. It would give town residents a place to go and socialize without having to leave our area. We feel the Windermere community would widely support this business and look forward to seeing our local friends there once opened.

Lynn and Jim Salmon



A handwritten signature in blue ink, appearing to read "Lynn Salmon", written over a horizontal line.

To: Mayor and Town Council and Development Review Board

From: George E. Foote, Jr.

Date: 8/6/2020

Address: 407 E. 7<sup>th</sup> Ave.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

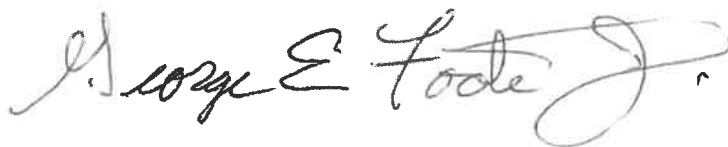
The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Agnes Foote

Date: 08/06/2020

Address: 407 E. Seventh Ave  
Windermere, FL 32786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W. 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



To: Mayor and Town Council and Development Review Board

From: Karen Fay

Date: 8/6/2020

Address: 28 Pine St.

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

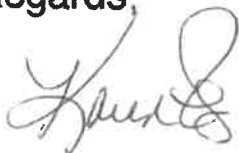
The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,



## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Friday, July 31, 2020 4:00 PM  
**To:** Robert Smith  
**Cc:** Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter  
**Subject:** Call from Mr. Spears - Public Response Proposed Tap Room/Micro-Brewery

Robert,

FYI – I received a call this afternoon from Mr. Spears at 406 Forest Street. Mr. Spears had a general question regarding the conditional use process, expressed concerns about the proposed parking not sufficient for the use, control of crowds at the proposed operation, commercial fire standards for buildings not meeting sufficient spacing from another commercial building, and possibility of moving the rear patio from the west side to the east side of the building closest to Windermere Market.

Mr. Spears was understanding of my explanation of the conditional use process.

Take care,  
Brad

[COVID-19 Planning and Response at Wade Trim](#)



Brad Cornelius, AICP, CPRP, CFM, CPM, Vice President  
One Tampa City Center  
201 North Franklin Street, Suite 1350, Tampa, FL 33602  
813-882-4373 office  
813-415-4952 cell



**From:** Robert Smith <[rsmith@town.windermere.fl.us](mailto:rsmith@town.windermere.fl.us)>  
**Sent:** Monday, July 27, 2020 12:38 PM  
**To:** Cornelius, Brad <[bcornelius@wadetrim.com](mailto:bcornelius@wadetrim.com)>  
**Subject:** Re: Public Response Proposed Tap Room/Micro-Brewery

Ok thanks

Sent from my iPhone

On Jul 27, 2020, at 12:09 PM, Cornelius, Brad <[bcornelius@wadetrim.com](mailto:bcornelius@wadetrim.com)> wrote:



To: Mayor and Town Council and Development Review Board

From: Dean Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FL 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Dean Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FI 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

To: Mayor and Town Council and Development Review Board

From: Lesha Miller

Date: 8/2/2020

Address: 625 Butler Street, Windermere FI 34786

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Review Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.

I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

Lesha Miller

## Mastison, Sarah

---

**From:** Cornelius, Brad  
**Sent:** Tuesday, August 4, 2020 10:30 AM  
**To:** Robert Smith  
**Cc:** Andrew McGhee; Loren Williams; Warner, Amanda; Mastison, Sarah; Dorothy Burkhalter  
**Subject:** Call from Lesha Miller - Public Response Proposed Tap Room/Micro-Brewery

Robert,

This morning I received a call from [Lesha Miller](#) regarding the proposed micro-brewery/tap room. Lesha expressed support for the proposal. Her only comment was potential impact on Forest Street and if there is a way to prohibit people from parking on Forest Street or using Forest Street to access the business.

Take care,  
Brad

[COVID-19 Planning and Response at Wade Trim](#)



**Brad Cornelius**, AICP, CPRP, CFM, CPM, Vice President  
One Tampa City Center  
201 North Franklin Street, Suite 1350, Tampa, FL 33602  
813-882-4373 office  
813-415-4952 cell



## Mastison, Sarah

---

**From:** Robert Smith <rsmith@town.windermere.fl.us>  
**Sent:** Monday, August 3, 2020 9:48 AM  
**To:** Cornelius, Brad  
**Subject:** Fw: Brewery

Regards,

Robert Smith  
Town Manager  
Town of Windermere  
614 Main St.  
Windermere, FL 34786  
rsmith@town.windermere.fl.us  
Cell: (407) 797-5004  
Main: (407) 876-2563 x5324  
Fax: (407) 876-0103

Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Elle Rickerson <amandascoolmom@cfl.rr.com>  
**Sent:** Monday, August 3, 2020 7:29 AM  
**To:** Robert Smith <rsmith@town.windermere.fl.us>  
**Cc:** Jim O'Brien <jobrien@town.windermere.fl.us>  
**Subject:** Brewery

884 Main St.

Why are we allowing a Brewery in our Town? We just don't understand. These people wanting to open the Brewery say it is to attract people in the neighborhood that can walk to the Brewery and have a "pint". It will attract unwanted people to our area. I think we have seen an increase in people coming to Town for the wrong reasons. We want to keep our Town a small family Town. You can see the 1000 to 2000 people that the Food Trucks bring to Town. A nice restaurant similar to a "Dexters" Restaurant like we had in the Grove would be wonderful. We use to go there and enjoy eating outside with our dog. Lunch Time and Dinner Time was a meeting place for people in the area to come and enjoy friendship. I know we have Dixie Cream which is a great welcome to our community. We all enjoy that. If a restaurant could incorporate with them I believe it would be an awesome addition. We just cannot see opening a Brewery. It is not a family atmosphere. We have seen lives ruined by the start of early

drinking in a friendly atmosphere. Everyone is different when drinking alcohol. One thing is clear everyone shows the effect of alcohol. We don't like it. I expressed our views to the ones wanting to open this Brewery. They want to have a conversation to change our mind. There is no changing our mind. We have felt the same through high school, college and raising our 3 children. If you want to drink in your home, fine. Our opinion is SOLID. Thank you for allowing our input. Best, Elle

## Mastison, Sarah

---

**From:** Robert Smith <rsmith@town.windermere.fl.us>  
**Sent:** Monday, August 3, 2020 9:48 AM  
**To:** Cornelius, Brad  
**Subject:** Fw: Brewery

Regards,

Robert Smith  
Town Manager  
Town of Windermere  
614 Main St.  
Windermere, FL 34786  
rsmith@town.windermere.fl.us  
Cell: (407) 797-5004  
Main: (407) 876-2563 x5324  
Fax: (407) 876-0103

Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Elle Rickerson <amandascoolmom@cfl.rr.com>  
**Sent:** Monday, August 3, 2020 8:27 AM  
**To:** Robert Smith <rsmith@town.windermere.fl.us>  
**Cc:** Jim O'Brien <jobrien@town.windermere.fl.us>  
**Subject:** Brewery

884 Main St.

I would like to add one more thought to my previous email. I am not a "prude" where I think any alcohol should not be served. If we had a nice restaurant as I described in my previous email that serves wine or beer with our meal that is different. It is just the fact that a Brewery is a destination for alcohol only. Thank you again for allowing my opinion. My Best, Elle

## Mastison, Sarah

---

**From:** Diane Edwards <dedwards@town.windermere.fl.us>  
**Sent:** Tuesday, August 4, 2020 7:03 PM  
**To:** Cornelius, Brad  
**Cc:** Warner, Amanda  
**Subject:** Fw: Build The Brewery

### Diane Edwards

*Administrative Assistant*

Town of Windermere

614 Main Street

Windermere, FL 34786

Email: [dedwards@town.windermere.fl.us](mailto:dedwards@town.windermere.fl.us)

Phone: 407-876-2563 Ext 5321

Fax: 407-876-0103



Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the Town system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

---

**From:** Simon Simaan <simon@simonsimaan.com>

**Sent:** Tuesday, August 4, 2020 4:50 PM

**To:** Jim O'Brien <jobrien@town.windermere.fl.us>; Robert McKinley <RMcKinley@town.windermere.fl.us>; Bill Martini <bmartini@town.windermere.fl.us>; Liz Andert <landert@town.windermere.fl.us>; Chris Sapp <csapp@town.windermere.fl.us>; Andy Williams <awilliams@town.windermere.fl.us>; Frank Chase <fchase@town.windermere.fl.us>; Peter Fleck <pfleck@town.windermere.fl.us>; Jennifer Roper <jroper@town.windermere.fl.us>; Molly Rose <mrose@town.windermere.fl.us>; Norma Sutton <nsutton@town.windermere.fl.us>; Stephen Withers <swithers@town.windermere.fl.us>; Diane Edwards <dedwards@town.windermere.fl.us>

**Subject:** Build The Brewery

To: Mayor and Town Council and Development Review Board

From: Simon and Simona Simaan

Date: 8/4/2020

Address: 812 East Blvd and 820 East Blvd

Re: Public Hearing on Proposed New Commercial Building and Proposed Taproom & Micro-brewery at 111 W 5th Avenue

It has come to my attention that a public hearing for the a proposed new commercial building & conditional use for a taproom & micro-brewery at 111 W 5th Avenue will occur in front of the Development Revue Board on August 18, 2020 & later by the Windermere Town Council on September 8, 2020.

The matters being discussed for approval by the Town Council are a conditional use permit for Windermere Brewing Company to operate a taproom & micro-brewery in the proposed new commercial building at the above listed address.



I would like to voice my approval for both these items. While I understand that some concessions may need to be made by all parties involved, I also feel that this proposed development and use is compatible with the Town's character & will serve to bring more community enjoyment to our Downtown Business District.

Part of the charm of living in Windermere is its unique downtown district, our town square is where residents come together as a community. I believe we must foster and grow our small businesses to create an even better quality of life for the residents of Windermere.

Once again, I am in full support of both the conditional use proposal & commercial building development.

Regards,

--

Simon Simaan | Realtor® | Broker

The Simon Simaan Group | Real Estate

Cell: 407-558-1396

Email: [simon@simonsimaan.com](mailto:simon@simonsimaan.com)

Website: [www.simonsimaan.com](http://www.simonsimaan.com)

Name	Address	Response	Responses Per Person	Within 500 Ft
ROSS SCOTT M	201 W 5TH AVE	Y	1	Y
JONES FRANCES K LIFE ESTATE (JONES FRANCES)	412 FOREST ST	N	2	Y
BLACK AMANDA L	414 FOREST ST	Y	1	Y
DAVID J HAAS LIVING TRUST	211 W 6TH AVE	Y	1	Y
PARK RESIDENTIAL RENTALS LLC	505 MAIN ST	Y	1	Y
WINDERMERE MARKET LLC	428 MAIN ST	Y	1	Y
501 MAIN L L C	501 MAIN ST	Y	1	Y
CRAVEN BARRY T	516 FOREST ST	N	1	Y
DIEDERICH ANDREA	505 BUTLER ST	N	1	Y
PEARL CYNTHIA E	525 BUTLER ST	Y	1	Y
435 BUTLER TRUST	435 BUTLER ST	N	1	Y
GRAHAM JEANNE F	235 PALM ST	Y	1	N
GRAHAM ERIC A	235 PALM ST	Y	1	N
WINN ANGELA D (ANGIE)	908 ROSSER RD	Y	1	N
BARDOE WILLIAM G (BILL)	225 E 9TH AVE	Y	1	N
BRYNNA E CONNORS REVOCABLE TRUST (BRYNNA CONNORS)	217 OAKDALE ST	Y	1	N
DOUGLAS ANTHONY KEGLER TRUST (DOUGLAS KEGLER)	12 PINE ST	Y	1	N
OLES HEATHER H	11230 LAKE BUTLER BLVD	Y	1	N
TULK DAVID WILLIAM	3340 WAX BERRY CT	Y	1	N
MATHEISON ROBERT A	610 RIDGEWOOD DR	Y	1	N
TOMASZEWSKI LINDSEY A	40 MAIN ST	Y	1	N
TOMASZEWSKI MATT M	40 MAIN ST	Y	1	N
DEBOER ANNE	306 BUTLER ST	Y	1	N
DEBOER DEREK	306 BUTLER ST	Y	1	N
MENDRO RYAN L	10864 BAYSHORE DR	Y	1	N
LUCIA ROCA MENDRO	10864 BAYSHORE DR	Y	1	N
STEVE RUFFNER	2108 KANE PARK WAY	Y	1	N
SARA RUFFNER	2108 KANE PARK WAY	Y	1	N
AKEN TERESA L	70 FOREST ST	Y	1	N
GUTHRIE MICHAEL	215 FOREST ST	Y	1	N
SHEFFIELD WAYNE STUART	101 LEE ST	Y	1	N
SHEFFIELD CAREY ANNE	101 LEE ST	Y	1	N
MONTGOMERY RICHARD L	11067 SCHOONER WAY	Y	1	N

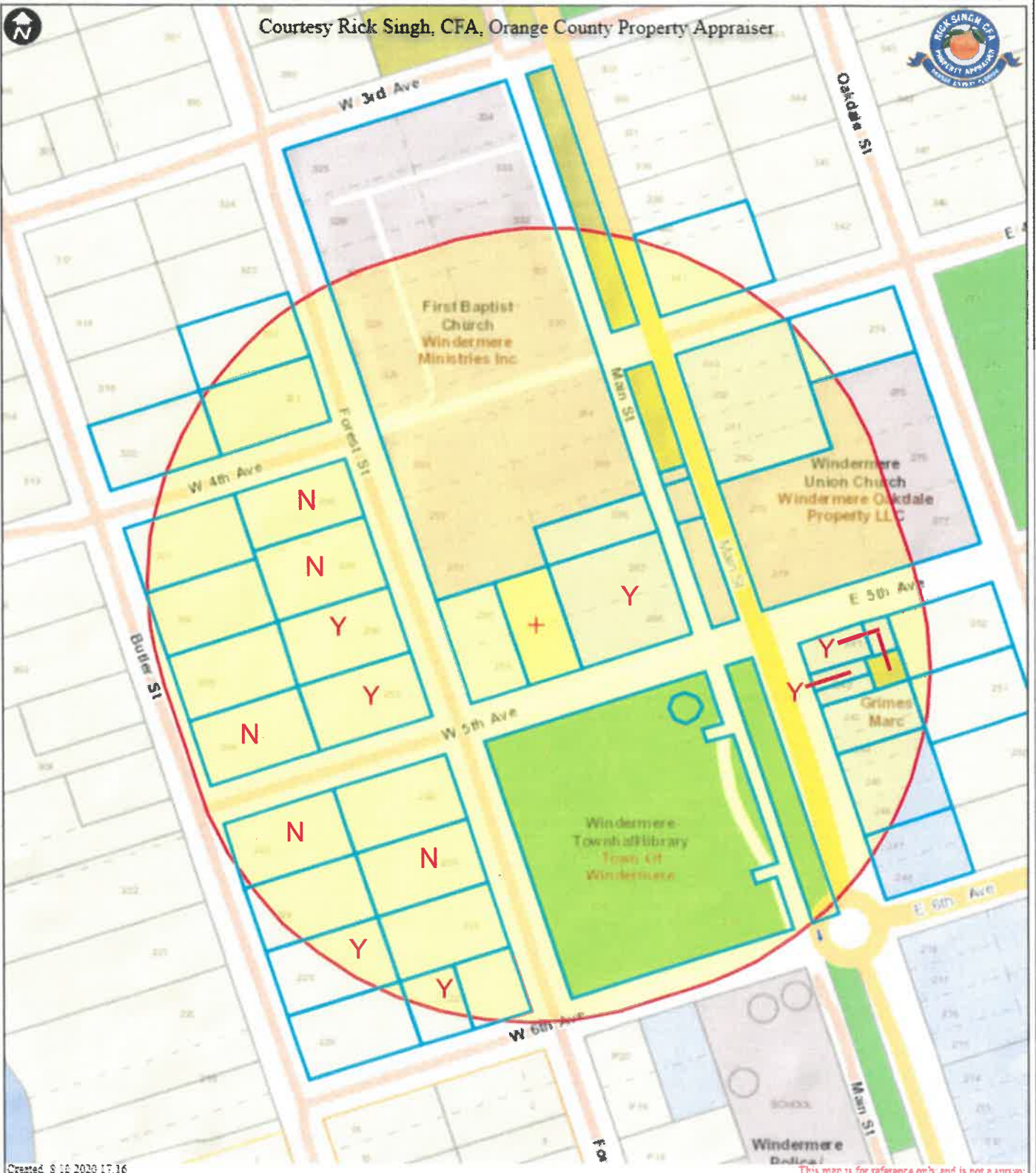
VAN ALPHEN HUBERT	11200 CEDAR GROVE CT	Y	1	N
KELLY TIM	2829 MARQUESAS CT	Y	1	N
LILY SIVIGLIA	515 W 2ND AVE	Y	1	N
KIRK KRISTA JEAN	11311 WILLOW GARDENS DR	Y	1	N
CHAMBLISS ROBERT NEAL	117 PALM ST	Y	1	N
LIEBERMAN JOSHUA JOEL	41 PINE ST	Y	1	N
LIEBERMAN MARIA CECELIA	41 PINE ST	Y	1	N
GURR LAUREN NICOLE	44 OAKDALE ST	Y	1	N
STEPHEN FASEN	10808 BAYSHORE DR	Y	1	N
WENDY FASEN	10808 BAYSHORE DR	Y	1	N
SALMON JAMES G (JIM)	8 PINE ST	Y	1	N
SALMON LYNN T	8 PINE ST	Y	1	N
FOOTE GEORGE E JR	407 E 7TH AVE	Y	1	N
FOOTE AGNES	407 E 7TH AVE	Y	1	N
FAY KAREN F	28 PINE ST	Y	1	N
SPEARS JOHN A	406 FOREST ST	N	1	Y
MILLER LESHA C	625 BUTLER ST	Y	3	N
MILLER DEAN A	625 BUTLER ST	Y	1	N
RICKERSON LANCE L LIFE ESTATE (ELLE RICKERSON)	884 MAIN ST	N	2	N
SIMAAN SIMON T	812 & 820 EAST BLVD	Y	1	N
SIMAAN SIMONA	812 & 820 EAST BLVD	Y	1	N

Responses Within 500 Ft	12
Total Support	7
Total Opposed	5
Total Person Responses	54
Total Person Support	48
Total Person Opposed	6
Total Households	42
Total Household Support	36
Total Households Opposed	6

OCPA Web Map

Florida Turnpike	Major Roads	Proposed Roe	Block Line	Commercial/Institutional	Hydro	Golf Course
Interstate 4	Public Roads	Brick Road	Lot Line	Governmental/Institutional/Misc	Waste Land	Lakes and Rivers
Toll Road	Gated Roads	Rail Road	Residential	Commercial/Industrial/Vacant Land	County Boundary	Building
Road Under Construction	Proposed Sunfall	Agriculture	Agricultural Curbtage	Park	Hospital	

Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created 9/10/2020 17:16

This map is for reference only and is not a survey



CRENSHAW ELEMENTARY

Lake Bessie

Lake Butler

Y (11311 Willow Gardens Dr.)  
KNOX KIRK

Y (11200 Cedar Grove Ct.)  
KNOX KIRK

Maguire Rd

Whittemore Rd

Y (3200 Kings Park Way)  
SHARON & SUE BUTLER

Lake Crescent

Y (2821 Marlborough)  
TIM KELLY

Lake Down

Y (10808 Dunsmuir Dr.)  
STEPHEN & WENDY FAYSON

Y (11000 Sycamore Way)  
KATHY & BOB MANNING

Y (10200 Rosemead Dr.)  
BOB & ANNE MANNING

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (10700 Sycamore Dr.)  
TERRY & KAREN

Y (1025 Butler St.)  
DEAN & ANNE BABCOCK

Y (881 Main St.)  
ELIZABETH WILSON

Lake Butler

Lake Bessie

Lake Butler

Lake Down

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor

JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

## Development Review Board August 18, 2020

## Town Council September 8, 2020

**Case No.:** Z20-10

**Applicant/Representative:** Will and Anna Headley

**Property Owners:** Will and Anna Headley

**Requested Action:** Variance to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing property's home and detached garage floor area ratio is 50.1%, and the existing property impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's maximum floor area is 38% and maximum impervious surface area is 45%.

**Property Address:** 826 Oakdale Street Windermere, FL 34786

**Legal Description:** PLAT OF WINDERMERE G/36 LOT 109

**Future Land Use/Zoning:** Residential/Residential

**Existing Use:** Residential (Single Family)

### Surrounding Future Land Use/Zoning

**North:** Residential/Residential  
**East:** Residential/Residential  
**South:** Residential/Residential  
**West:** Residential/Residential

### **CASE SUMMARY:**

The applicant requests to allow for an increase of a nonconforming floor area ratio (FAR) and impervious surface ratio (ISR). The Town's maximum FAR is 38% and maximum ISR is 45%. The structure is non-conforming due to the existing FAR (50.1%) and ISR (47.9%) exceeding the Town's maximum limit.

The applicant is proposing to add a 56 square foot bathroom addition in the rear yard. The total lot area is 12,804 square feet. The existing floor area is 6,489 square feet and the proposed floor area is 6,545 square feet. The existing FAR is 50.1% and the FAR with the addition is 51.1%. The existing impervious surface area is 6,134 square feet and the proposed impervious surface area 6,201.75 square feet. The existing ISR is 47.9% and the proposed ISR is 48.4%.

Division 10.02.00 of the LDC empowers the Development Review Board to review and make recommendations for approval, approval with conditions or denial to the Town Council on variance requests.

Division 10.02.00 of the LDC requires the Town Council to consider the recommendation of the Development Review Board and to take final action to either approve or deny the variance request.

### **CASE ANALYSIS:**

Section 10.02.02 of the LDC provides the specific standards by which the Development Review Board and Town Council are to review to consider the approval or denial of a variance application. In addition, this Section requires a positive finding, based on substantial competent evidence, for each of the standards. These standards are summarized as follows:

1. The need for the variance arises out of the physical surroundings, shape, topographical condition or other physical or environmental conditions that are unique to the subject property. Variances should be granted for conditions peculiar to the property and not the result of actions of the property owner;
2. There are practical or economic difficulties in carrying out the strict letter of the regulation;
3. The variance request is not based exclusively upon a desire to reduce the cost of developing the site;
4. The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire or other hazard to the public;
5. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site;

6. The effect of the proposed variance is in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code; and
7. The variance will not encourage further requests for changes where such a land use would not be deemed appropriate.

It is also important to note that this Section also provides specific standards that are not to be considered in the review of a variance application. These standards are:

1. That the implementation of these regulations would impose an economic hardship on the cost of the building or redevelopment project;
2. That these regulations impose a hardship by decreasing the maximum density of a property in terms of the number of units, square footage of buildings, etc.; and
3. That other adjacent lands, structures or buildings not in conformance with these regulations provide a rationale for a lessening of their application in this specific case.

Section 10.02.02(c) of the LDC allows the imposition of conditions and restrictions as may be necessary to allow a positive finding to be made on any of the variance standards to minimize the negative effect of the variance. The conditions and restrictions should further the interest of the LDC.

The applicant submitted a site plan and other materials in support of the variance request. The following is a summary of the information provided by the applicants in support of their variance request:

1. The nonconformities cited existed at the time they bought the house. To their knowledge the construction of the house had already been fully permitted by the Town, including the nonconformities.
2. The existing conditions are unique to the residence and not the result of their prior actions.
3. Adhering to the strict letter of the Town code will inhibit the full and practical enjoyment of the outdoor pool area, especially in light of their young children.
4. The requested variance is not based on a desire to reduce the cost of development.
5. The variance will not increase congestion on surrounding public streets or create any public hazards.



6. The variance will not diminish property values or alter the character of the area surrounding the site.
7. The proposed improvement will not be visible from any of the adjoining properties.
8. The adjoining neighbors are supportive of this request and letters indicating “no objection” are submitted with this application.
9. They believe the variance is in harmony with the general intent of the Town codes and would not create any public hardship.

**PUBLIC NOTICE:**

Public notices were mailed to property owners within 500 feet of the subject property (54 notices sent). As of August 11, 2020, 26 responses were returned, 25 in support and one (1) in opposition. Of the 26 responses two (2) were received from the same address, one from the owner and one from the tenant.

Will and Anna Headley  
826 Oakdale Street  
Windermere, Florida 34786

June 8, 2020

Dorothy Burkhalter, Town Clerk  
Town of Windermere  
614 Main Street  
Windermere, Florida 34786

RE: Variance Request for 826 Oakdale Street

Dear Ms. Burkhalter:

My husband and I live at 826 Oakdale Street. We purchased our residence in August of 2017 from the second owners of the house who lived there for 3 years. The couple who constructed the house in 2004 lived there for 10 years.

I am the daughter of Jim and Carol Ann Willard and grew up in the Town just a few blocks away at 228 W. 7<sup>th</sup> Avenue. My husband and I purchased our house on Oakdale Street to raise our two children, currently aged 5 and 3. As our children grow up we have become aware of the need to add a small bathroom addition in the rear of the house that would be accessible from both the interior of the house and the gated pool area in the rear.

After retaining a contractor to design the proposed bathroom addition, we were made aware that the 67.75 square foot addition (bathroom plus landing and stepdown) would increase an existing nonconforming FAR ratio (FAR) by 1% and the impervious surface ratio (ISR) by .5%. Because of these minimal increases to the existing nonconformity, the Town Planner denied our building permit request thus creating the need for this variance.

In support of our variance request, please consider the following:

1. The nonconformities cited existed at the time we bought our house. To our knowledge the construction of our house had already been fully permitted by the Town, including the nonconformities.
2. The existing conditions are unique to our residence and not the result of our prior actions.

3. Adhering to the strict letter of the Town code will inhibit the full and practical enjoyment of the outdoor pool area, especially in light of our young children.
4. The requested variance is not based on a desire to reduce the cost of development.
5. The variance will not increase congestion on surrounding public streets or create any public hazards.
6. The variance will not diminish property values or alter the character of the area surrounding the site.
7. The proposed improvement will not be visible from any of the adjoining properties.
8. The adjoining neighbors are supportive of this request and letters indicating "no objection" are submitted with this application.
9. We believe the variance is in harmony with the general intent of the Town codes and would not create any public hardship.

Thank you for your consideration of this request. Please let me know if you require any additional information.

Very truly yours,

Anna Headley

cc: Frank Chase, Chairman Windermere Development Review Board  
Scott Arent, Calvert Construction Company

# RESIDENTIAL ADDITION & RENOVATIONS

FOR WILLIAM & ANNA HEADLEY  
 826 OAKDALE ST - WINDERMERE, FL 34786-8737  
 PARCEL ID #17-23-28-9336-01-090

## SCOPE OF WORK:

RESIDENTIAL RENOVATIONS TO EXISTING RESIDENCE, AS DESCRIBED HEREIN:

1. INSTALL NEW BATHROOM ADDITION, AS DESCRIBED HEREIN.
2. ENCLOSE EXISTING SECOND LEVEL SCREEN PORCH AND CONVERT INTO A CONDITIONED ROOM, AS DESCRIBED HEREIN.

## SHEET INDEX:

- G-0 COVER SHEET & OVERALL SITE PLAN
- A-1.0 EXISTING & PROPOSED FLOOR PLANS
- A-2.0 EXTERIOR ELEVATIONS
- A-3.0 SECTIONS & PLUMBING PLAN & RISER DIAGRAM
- A-3.1 CONSTRUCTION DETAILS
- A-4.0 FLORIDA PRODUCT APPROVALS & SPECIFICATIONS
- A-4.1 DOOR & WINDOW INSTALLATION INSTRUCTIONS
- A-4.2 ROOF & SIDING INSTALLATION INSTRUCTIONS

## GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. ALL DIMENSIONS SHALL BE CLEAR UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL UNDERGROUND UTILITIES IN VICINITY OF WORK AREAS, IF ANY, SHALL BE LOCATED & PROTECTED PRIOR TO CONSTRUCTION.
7. THE EXISTING DRAINAGE DIRECTION, LOCATION, AND DEPTH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
8. ALL UNDERGROUND UTILITIES IN VICINITY OF WORK AREAS, IF ANY, SHALL BE LOCATED & PROTECTED PRIOR TO CONSTRUCTION.
9. ALL UNDERGROUND UTILITIES IN VICINITY OF WORK AREAS, IF ANY, SHALL BE LOCATED & PROTECTED PRIOR TO CONSTRUCTION.
10. ALL UNDERGROUND UTILITIES IN VICINITY OF WORK AREAS, IF ANY, SHALL BE LOCATED & PROTECTED PRIOR TO CONSTRUCTION.
11. ALL UNDERGROUND UTILITIES IN VICINITY OF WORK AREAS, IF ANY, SHALL BE LOCATED & PROTECTED PRIOR TO CONSTRUCTION.
12. ALL UNDERGROUND UTILITIES IN VICINITY OF WORK AREAS, IF ANY, SHALL BE LOCATED & PROTECTED PRIOR TO CONSTRUCTION.

## PROPERTY INFORMATION:

(PER ORANGE COUNTY PROPERTY APPRAISERS)

**826 Oakdale St** - 17-23-28-9336-01-090  
 Parcel: 826 Oakdale St  
 Headley William  
 Headley Anna  
 826 Oakdale St  
 Windermere, FL 34786-8737  
 Parcel ID: 17-23-28-9336-01-090  
 Parcel Type: Single-Fam. Class R  
 Valuation: Valuation

## View 2019 Property Record Card

Property Feature: [View](#) [Map](#) [Satellite](#) [Street View](#) [3D](#) [History](#) [Info](#) [Location](#) [Share](#) [Print](#) [Fullscreen](#)

2030 values will be available in August of 2024.

Property Identification: 17-23-28-9336-01-090

Tax Parcel: 17-23-28-9336-01-090

Parcel: 826 Oakdale St

Area: 1.237 acres (54,111 sq. ft.)

Lot: 1.237 acres (54,111 sq. ft.)

Parcel: 826 Oakdale St

Area: 1.237 acres (54,111 sq. ft.)

Lot: 1.237 acres (54,111 sq. ft.)

Parcel: 826 Oakdale St

Area: 1.237 acres (54,111 sq. ft.)

Lot: 1.237 acres (54,111 sq. ft.)

Map Information

Address: 826 Oakdale St

City: Windermere, FL

County: Orange

State: FL

Zip: 34786

Parcel: 826 Oakdale St

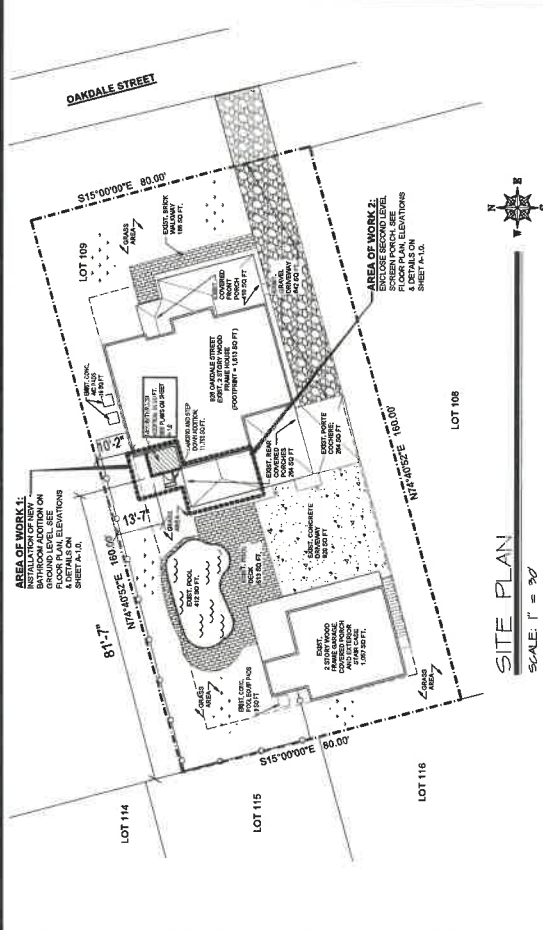
Area: 1.237 acres (54,111 sq. ft.)

Lot: 1.237 acres (54,111 sq. ft.)

Parcel: 826 Oakdale St

Area: 1.237 acres (54,111 sq. ft.)

Lot: 1.237 acres (54,111 sq. ft.)



### FLOOR AREA RATIO CALCULATIONS

Item	Area (sq. ft.)
TOTAL SITE	12,801 sq. ft.
EXISTING HOUSE CONDITIONED AREA (2 STORY)	3,226 sq. ft.
EXISTING GARAGE (2 STORY) + COVERED PORCH + STAMPS	1,419 sq. ft.
EXISTING DRIVEWAY (CONCRETE PORTION) (PERMISSIBLE - NOT INCLUDED)	843 sq. ft.
EXISTING GARAGE FOOTPRINT (INCLUDING COVERED PORCH + STAMPS)	1,108 sq. ft.
EXISTING POOL + POOL DECK (BRICK PAVES)	1,023 sq. ft.
EXISTING A/C + POOL EQUIP. CONC SLABS (3) + 9 sq. ft.	27 sq. ft.
TOTAL EXISTING INTERIORS AREA	6,134 sq. ft.
PROPOSED BATHROOM ADDITION + LANDING + STEP DOWN	67.75 sq. ft.
TOTAL PROPOSED INTERIORS AREA	6,201.75 sq. ft.
PROPOSED F.A.R.	48.4 %

### SITE AREA CALCULATIONS

Item	Area (sq. ft.)
TOTAL SITE	12,801 sq. ft.
EXISTING HOUSE FOOTPRINT (INCLUDING PORCHES & PORCH COVERS)	2,818 sq. ft.
EXISTING FRONT BRICK PAVEMENT DRIVEWAY	185 sq. ft.
EXISTING DRIVEWAY (CONCRETE PORTION)	920 sq. ft.
EXISTING GARAGE FOOTPRINT (INCLUDING COVERED PORCH + STAMPS)	1,108 sq. ft.
EXISTING POOL + POOL DECK (BRICK PAVES)	1,023 sq. ft.
EXISTING A/C + POOL EQUIP. CONC SLABS (3) + 9 sq. ft.	27 sq. ft.
TOTAL EXISTING INTERIORS AREA	6,134 sq. ft.
PROPOSED BATHROOM ADDITION + LANDING + STEP DOWN	67.75 sq. ft.
TOTAL PROPOSED INTERIORS AREA	6,201.75 sq. ft.
PROPOSED I.S.R.	48.4 %

### STORMWATER RETENTION

NEW BATHROOM ADDITION WILL HAVE A ROOF AREA OF 22.5 SQ. FT. AND WILL ADD MINIMAL ADDITIONAL STORM WATER RETENTION. ADDITIONALLY, PER THE TOWN OF WINDERMERE ORDINANCE SECTION 101.05, CHANGES WERE MADE TO THE SQUARE FEET OF IMPERVIOUS AREA ARE INCREASED ARE EXCEPT FROM THE ADDITIONAL REQUIREMENTS AND STORM WATER RETENTION.

### ZONING SETBACKS

Setback Type	Requirement
FRONT SETBACK	25'
REAR SETBACK	35'
SIDE SETBACKS	10'
MAX. BUILDING HEIGHT	35'

### APPLICABLE CODES & CODE REFERENCES:

- FLORIDA BUILDING CODE - RESIDENTIAL SIXTH EDITION (2017)
- NEC 2014 NATIONAL ELECTRICAL CODE - SIXTH EDITION (2017)
- FLORIDA MECHANICAL CODE (2017)
- FLORIDA FIRE PREVENTION CODE (2017)
- CITY OF WINDERMERE, FLORIDA - CHAPTER 6 & THE LAND DEVELOPMENT CODE (CURRENT)
- NFPA 101 LIFE SAFETY CODE (2017)

### ANNOTATION SYMBOLS

ENLARGE PLAN OR DETAIL  
 DRAWING REFERENCE NUMBER  
 BUILDING SECTION DRAWING NUMBER/REFERENCE  
 ELEVATION NUMBER/REFERENCE



REVISION	DESCRIPTION	DATE

### ZONING DATA

PHYSICAL LOCATION:  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737

OWNER:  
 WILLIAM & ANNA HEADLEY  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737

PROPERTY USE:  
 0100 SINGLE FAMILY USE

PARCEL IDENTIFICATION NUMBER:  
 #17-23-28-9336-01-090

**N. D. Eyoul, Ph.D., PE**  
 Consulting Engineer  
 Central Florida Office  
 115 5875 S.W. 11th Street, Suite 100  
 Windermere, FL 34786-8737  
 Phone: (407) 743-3732  
 Email: john@eyoulandpartners.com

**CAVLETT CONSTRUCTION & DEVELOPMENT, INC.**  
 10700 W. US HWY 19, SUITE 100  
 WINDERMERE, FL 34786-8737  
 Phone: (407) 743-3732  
 Email: john@eyoulandpartners.com

### PROJECT

RESIDENTIAL ADDITION & RENOVATIONS  
 @  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737

### SHEET DESCRIPTION

COVER SHEET & OVERALL SITE PLAN

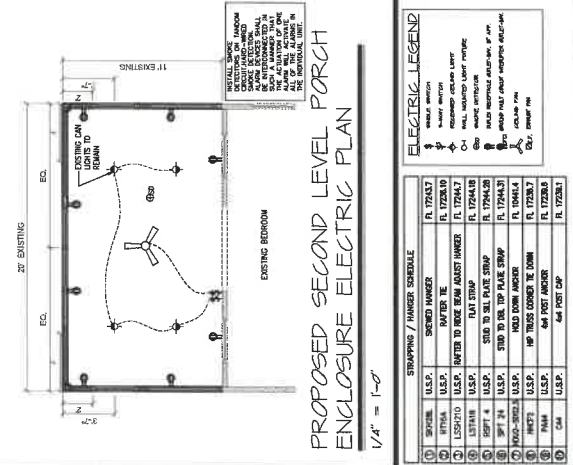
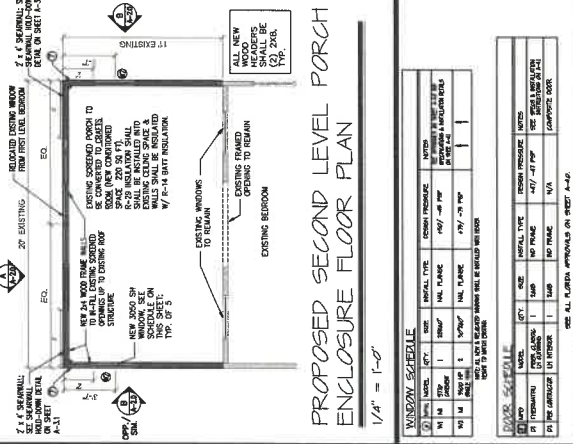
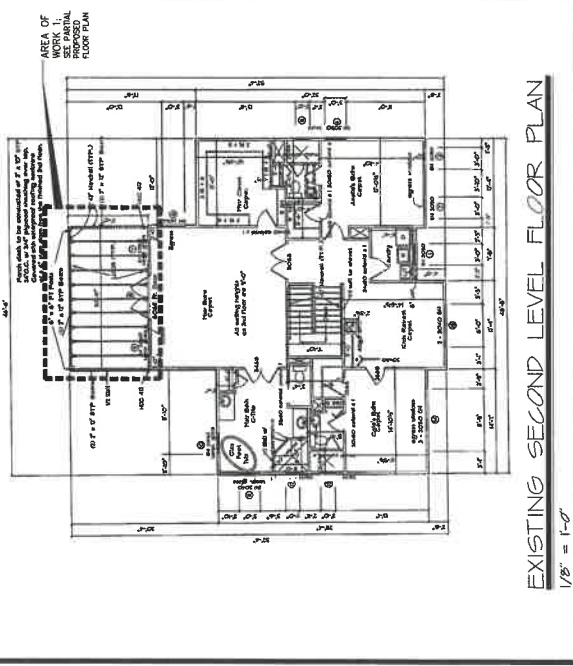
### SHEET NUMBER

G-1.0

THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

SCALE:  
 AS NOTED  
 PLAN  
 DRAWN BY:  
 JPE  
 DATE:  
 04/30/2020

N. DENNIS BEYOND  
 FLORIDA LICENSE #6668



KEY MAP  
NOT TO SCALE

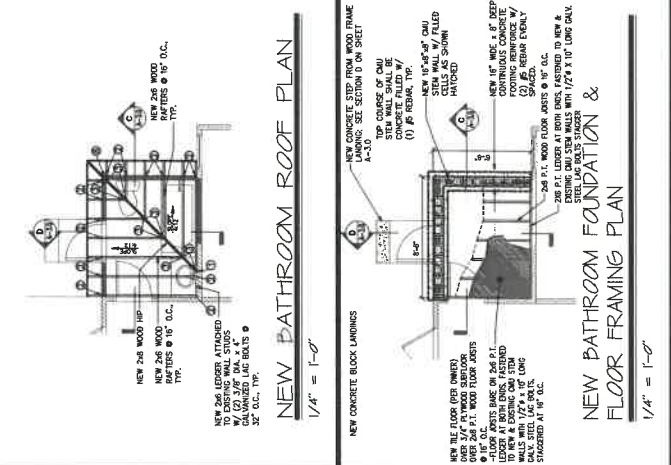
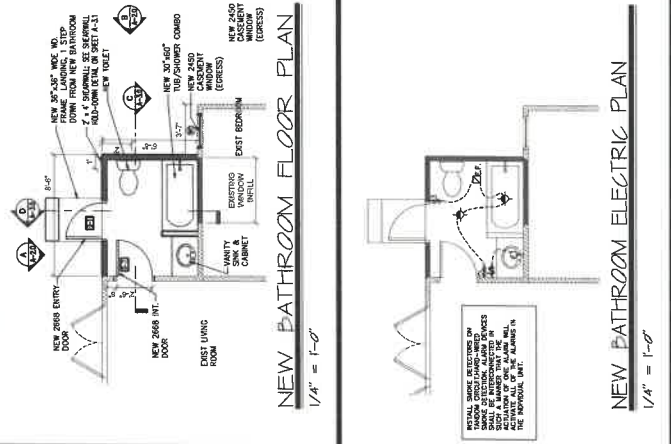
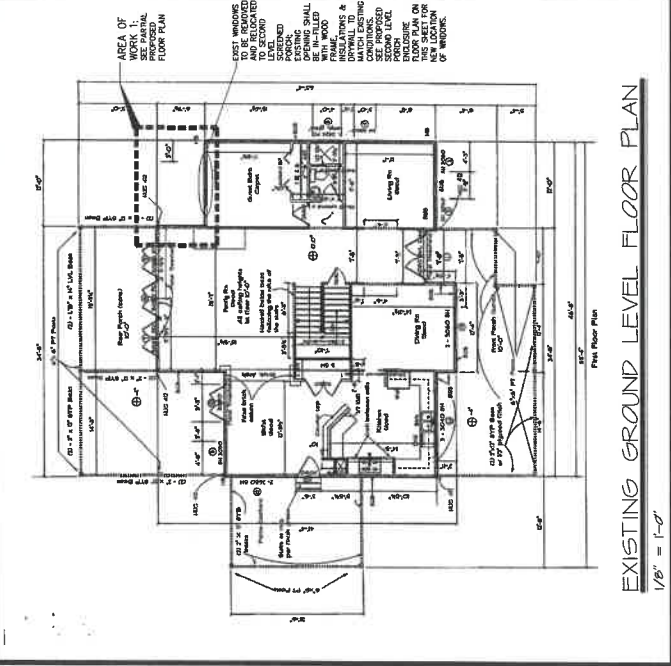
REVISION	DESCRIPTION	DATE

**ZONING DATA**  
PHYSICAL LOCATION:  
828 OAKDALE ST  
WINDERMERE, FL 34786-8737

**OWNER:**  
WILLIAM & ANNA HEADLEY  
828 OAKDALE ST  
WINDERMERE, FL 34786-8737

**PROPERTY USE:**  
0100 SINGLE FAMILY USE

**PARCEL IDENTIFICATION NUMBER:**  
#17-23-28-9398-01-090



**N. D. ENYOU, PH.D., PE**  
Consulting Engineer  
1115 EAST...  
Phone: (407) 748-1782

**GALVRY CONSTRUCTION & DEVELOPMENT, INC.**  
5007...  
Phone: (407) 313-8847

**PROJECT:**  
RESIDENTIAL ADDITION & RENOVATIONS  
@  
828 OAKDALE ST  
WINDERMERE, FL 34786-8737

**SHEET DESCRIPTION:**  
EXISTING & PROPOSED FLOOR PLANS

**SHEET NUMBER:**  
A-1.0

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY E. DENNIS BEYOND, P.E., AS NOTED ON THE DATE AND TIME STAMP SHOWN ON THE INITIAL DRAWING. ANY CHANGES TO THIS DRAWING MUST BE MADE IN THE ORIGINAL DRAWING AND NOT IN THIS ELECTRONIC COPY.

E. DENNIS BEYOND  
FLORIDA LICENSE #1888







REVISION	DESCRIPTION	DATE

**ZONING DATA**  
 PHYSICAL LOCATION:  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737

OWNER:  
 WILLIAM & ANNA HEADLEY  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737

PROPERTY USE:  
 0100 SINGLE FAMILY USE

PARCEL IDENTIFICATION NUMBER:  
 #17-23-28-9395-01-090

**N. D. Eiyou, PhD, PE**  
 Consulting Engineer  
 118 EAST GRANT STREET, SUITE 100  
 WINDERMERE, FL 34786-8737  
 Phone: (407) 784-7782  
 Email: jn@ndeyou.com

**GALETTI CONSTRUCTION**  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737  
 SCOTT.LARSEN@GALETTICONSTRUCTION.COM

**RESIDENTIAL ADDITION & RENOVATIONS**  
 @  
 826 OAKDALE ST  
 WINDERMERE, FL 34786-8737

**CONSTRUCTION DETAILS**

**SHEET NUMBER**  
 A-3.1

THIS DRAWING HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY K. DAVIS ENROLL IN P.E. #6898 ON THE STATE AND THE STAMP SHOWN ON THE FRONT SHEETING IS NOT CONSIDERED VALID UNLESS THE SIGNATURE AND SEAL AND THE SHADOW INFORMATION CODE ARE NOT REPRODUCED ON ANY ELECTRONIC COPIES.

K. DAVIS  
 FLORIDA LICENSE #6898

**NAILING SCHEDULE**  
 AS PER AMERICAN WOOD CONCRETE WOOD FRAME CONSTRUCTION MANUAL FOR 1 & 2 FAMILY DWELLINGS

JOINT DESCRIPTION	WOOD FRAMING	NUMBER OF NAILS	MIN. SPACING
1. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
2. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
3. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
4. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
5. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
6. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
7. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
8. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
9. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
10. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
11. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
12. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
13. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
14. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
15. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
16. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
17. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
18. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
19. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
20. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
21. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
22. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
23. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
24. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
25. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
26. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
27. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
28. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
29. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
30. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
31. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
32. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
33. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
34. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
35. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
36. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
37. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
38. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
39. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
40. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
41. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
42. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
43. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
44. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
45. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
46. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
47. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
48. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
49. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
50. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
51. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
52. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
53. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
54. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
55. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
56. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
57. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
58. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
59. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
60. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
61. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
62. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
63. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
64. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
65. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
66. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
67. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
68. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
69. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
70. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
71. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
72. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
73. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
74. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
75. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
76. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
77. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
78. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
79. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
80. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
81. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
82. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
83. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
84. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
85. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
86. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
87. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
88. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
89. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
90. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
91. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
92. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
93. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
94. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
95. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
96. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
97. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
98. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
99. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX
100. JOINT TO TOP PLATE (NAIL-ON)	2x4 NAILS	3	16" MAX

**WIND LOADING & DESIGN PRESSURE CRITERIA**  
 APPLICABLE WIND SPEEDS (MPH) AND DESIGN PRESSURES (PSF)

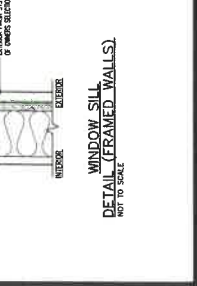
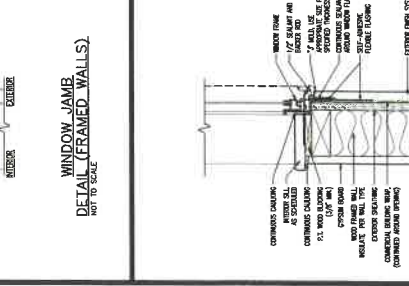
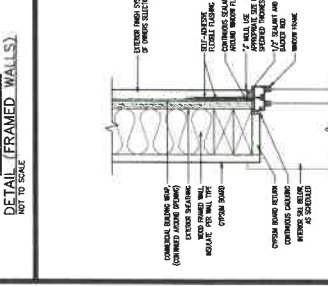
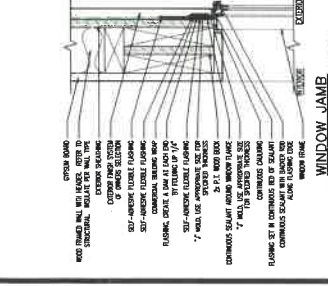
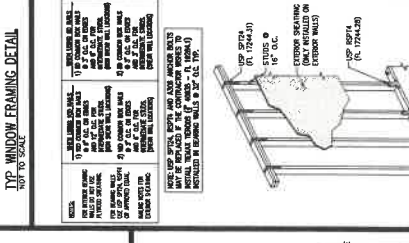
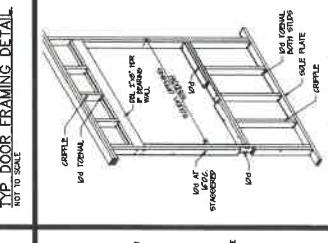
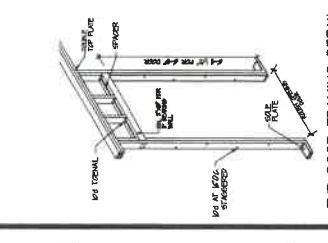
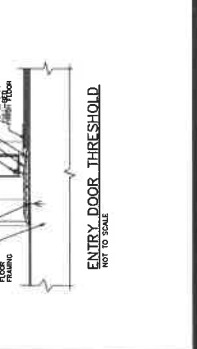
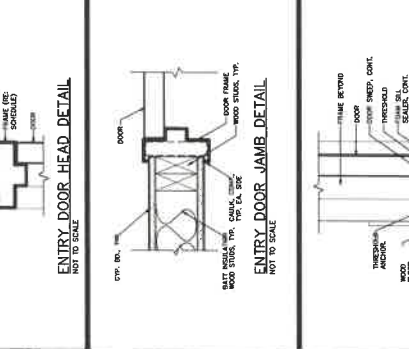
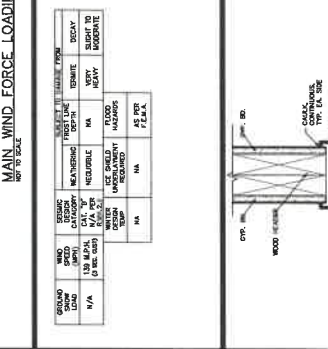
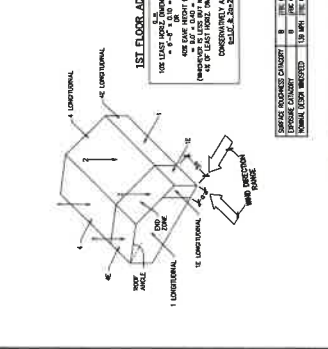
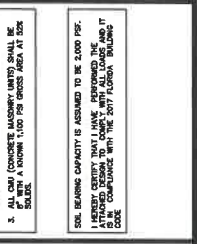
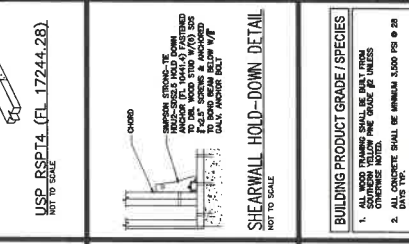
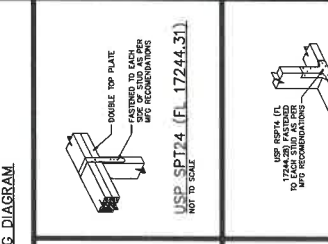
WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN PRESSURE (PSF)	DESIGN SUCTION (PSF)
15	15	1.5	-1.5
20	20	2.0	-2.0
25	25	2.5	-2.5
30	30	3.0	-3.0
35	35	3.5	-3.5
40	40	4.0	-4.0
45	45	4.5	-4.5
50	50	5.0	-5.0
55	55	5.5	-5.5
60	60	6.0	-6.0
65	65	6.5	-6.5
70	70	7.0	-7.0
75	75	7.5	-7.5
80	80	8.0	-8.0
85	85	8.5	-8.5
90	90	9.0	-9.0
95	95	9.5	-9.5
100	100	10.0	-10.0

**TABLE 1609.6.2 (2) NET PRESSURE COEFFICIENTS**

WIND DIRECTION	DESCRIPTION	C <sub>e</sub> FACTOR
Windward wall	Exterior	-0.8
	Interior	0.8
Leeward wall	Exterior	-0.5
	Interior	0.5
Roof	Exterior	-0.7
	Interior	0.7
Slope = 2:12 (16°)	Exterior	-0.8
	Interior	0.8
Slope = 4:12 (18°)	Exterior	-0.8
	Interior	0.8
Slope = 6:12 (21°)	Exterior	-0.8
	Interior	0.8
Slope = 8:12 (24°)	Exterior	-0.8
	Interior	0.8
Slope = 10:12 (26°)	Exterior	-0.8
	Interior	0.8
Slope = 12:12 (45°)	Exterior	-0.8
	Interior	0.8

**CODE REFERENCES**

ORANGE COUNTY, FLORIDA	2017
FLORIDA BUILDING CODE	2017
FLORIDA MECHANICAL CODE	2017
FLORIDA PLUMBING CODE	2017
FLORIDA ELECTRICAL CODE	2017
FLORIDA FIRE SAFETY CODE	2017







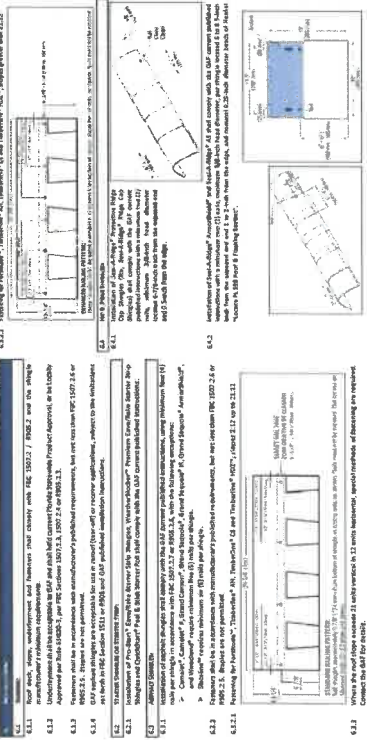


# GAF ASPHALT SHINGLE SPECIFICATIONS & INSTALLATION DETAILS

PL# 10241

**NOTES:**

1. Read and understand all instructions that accompany this product. Do not use this product on roofs with existing asphalt shingles or on roofs with existing metal roofing.
2. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
3. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
4. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
5. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
6. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
7. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
8. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
9. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
10. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.



# JAMES HARDIE SIDING INSTALLATION INSTRUCTIONS

PL# 02471

## ARTISAN'S LAP & BEADED LAP SIDING

**JOINT PLACEMENT**

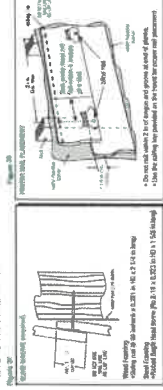
Vertical joints should be staggered. Horizontal joints should be staggered. The joints should be placed in a way that the joints do not align.

**STARTER STRIP**

A starter strip must be installed over the roof deck. The starter strip must be a minimum of 30 mil thick and must meet the requirements of the International Building Code (IBC).

**PASTER REQUIREMENTS**

The paster must be applied in a way that the paster is at least 1/8 inch thick. The paster must be applied in a way that the paster is at least 1/8 inch thick.



**GENERAL FASTENING REQUIREMENTS**

The fasteners must be installed in a way that the fasteners are at least 1/8 inch thick. The fasteners must be installed in a way that the fasteners are at least 1/8 inch thick.

**PNEUMATIC FASTENING**

Pneumatic fastening is not recommended. The fasteners must be installed in a way that the fasteners are at least 1/8 inch thick.

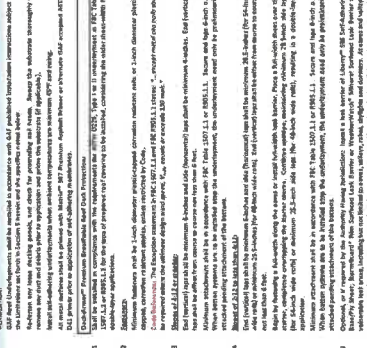


# GAF ROOF UNDERLAYMENT INSTALLATION DETAILS

PL# 10241

**NOTES:**

1. Read and understand all instructions that accompany this product. Do not use this product on roofs with existing asphalt shingles or on roofs with existing metal roofing.
2. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
3. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
4. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
5. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
6. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
7. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
8. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
9. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
10. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.



# ROOF HIP VENT DETAILS

PL# 02471

**NOTES:**

1. Read and understand all instructions that accompany this product. Do not use this product on roofs with existing asphalt shingles or on roofs with existing metal roofing.
2. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
3. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
4. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
5. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
6. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
7. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
8. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
9. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
10. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.



REVISION	DESCRIPTION	DATE

**ZONING DATA**

**PHYSICAL LOCATION:**  
828 OAKDALE ST  
WINDERMERE, FL 34786-8737

**OWNER:**  
WILLIAM & ANNA HEADLEY  
828 OAKDALE ST  
WINDERMERE, FL 34786-8737

**PROPERTY USE:**  
0100 SINGLE FAMILY USE

**PARCEL IDENTIFICATION NUMBER:**  
#17-23-26-9336-01-090

**N. D. Eryou, PhD, PE**  
Consulting Engineer  
115 EAST GOLF COURSE DRIVE, SUITE 100  
WINDERMERE, FL 34786-8737  
Phone: (407) 768-3782  
Email: neryou@engineering.com

**GALVANT CONSTRUCTION**  
4001 WILSON ROAD, SUITE 100  
CORAL GABLES, FL 33134  
SPOTTARIENTCONSTRUCTION.COM

**PROJECT**  
**RESIDENTIAL ADDITION & RENOVATIONS**  
828 OAKDALE ST  
WINDERMERE, FL 34786-8737

**SHEET DESCRIPTION**  
**ROOF & SIDING**  
**INSTALLATION INSTRUCTIONS**

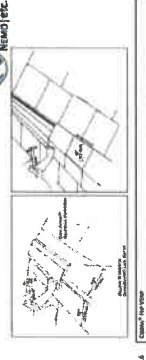
**SHEET NUMBER**  
**A-4-2**

THE FIRM HAS BEEN ECONOMICALLY SOUND AND SAVED BY N. DENNIS CORRAL, P.E. ABOVE ON THE DATE AND TIME SHOWN ON THE MAP. SHOULD THE FIRM BE FOUND TO BE IN VIOLATION OF ANY APPLICABLE CODES, IT MUST BE REPORTED TO ANY APPLICABLE AGENCIES.

DATE: 04/20/2020  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES  
SCALE: AS SHOWN  
PROJECT NO: 17-23-26-9336-01-090

**NOTES:**

1. Read and understand all instructions that accompany this product. Do not use this product on roofs with existing asphalt shingles or on roofs with existing metal roofing.
2. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
3. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
4. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
5. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
6. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
7. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
8. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
9. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.
10. This product is not to be used on roofs with existing asphalt shingles or on roofs with existing metal roofing.

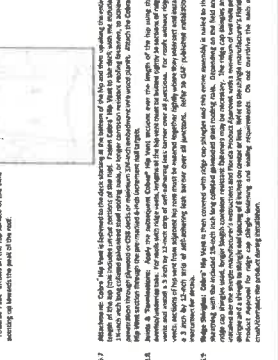


**6.1.5** Fastener Requirements: The fasteners must be installed in a way that the fasteners are at least 1/8 inch thick. The fasteners must be installed in a way that the fasteners are at least 1/8 inch thick.

**6.1.6** Flashing: The flashing must be installed over the roof deck. The flashing must be a minimum of 30 mil thick and must meet the requirements of the International Building Code (IBC).

**6.1.7** Gutter Installation: The gutters must be installed over the roof deck. The gutters must be a minimum of 30 mil thick and must meet the requirements of the International Building Code (IBC).

**6.1.8** Vent Placement: The vent must be installed over the roof deck. The vent must be a minimum of 30 mil thick and must meet the requirements of the International Building Code (IBC).





[low@wadetrim.com](mailto:low@wadetrim.com)

Encl.


Received

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: The request seems more than  
reasonable to us.

Wade Trim

SIGNATURE:  DATE: 8-4-2020

MARTIN JOSEPH

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: Good luck w/ Everything

Received

Wade Trim

Wade Trim

SIGNATURE:  DATE: 8/3/20

ALLEN MARK L

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

KESSLER RICHARD C  
916 EAST BLVD  
WINDERMERE, FL 34786

Received  
Wade Trim

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

---

**RECOMMEND – Z20-10 (826 Oakdale Street)**

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

\_\_\_\_\_

SIGNATURE:  DATE: 8/2/20

KESSLER RICHARD C

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

FREEMAN CHRISTOPHER DAVID  
729 MAIN ST  
WINDERMERE, FL 34786

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%. Wade Trim

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE:  DATE: 7-27-2020

FREEMAN CHRISTOPHER DAVID

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received  
Wade Trim

July 21, 2020

BELTRAME LORENZO  
804 OAKDALE ST  
WINDERMERE, FL 34786

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

**RECOMMEND - Z20-10 (826 Oakdale Street)**

APPROVAL: X DISAPPROVAL

COMMENTS: I believe they will be adding to the value of their property, and therefore, the town -

SIGNATURE: [Signature] DATE: 8/3/2020

BELTRAME LORENZO



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

SUNSHINE VACATION RENTALS INC  
1245 OAKDALE ST  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town.wadetrtrim.com](http://town.wadetrtrim.com)  
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: \_\_\_\_\_ DISAPPROVAL:

COMMENTS: My property at 916 Oakdale  
continues to flood because of poor drainage.

I would approve if the city makes sure storm drain at 9th &  
Oakdale is properly utilized  
to prevent flooding.

SIGNATURE: [Signature] DATE: 8/3/20

SUNSHINE VACATION RENTALS INC

Thomas Fry

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received

Wade Trim

July 21, 2020

LAURA L AND DAVID L HINSHAW JOINT REVOCABLE TRUST  
313 SCARLETT LN  
WOODSTOCK, GA 30188

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

---

**RECOMMEND – Z20-10 (826 Oakdale Street)**

APPROVAL:   X   DISAPPROVAL \_\_\_\_\_

COMMENTS: *Will & Anna Headley are great neighbors who grow up in this area. We approve of them adding a sm. bath to their home*

SIGNATURE:   *Laura L Hinshaw*   DATE:   7-21-2020  

LAURA L AND DAVID L HINSHAW JOINT REVOCABLE TRUST

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

NURAL LLLP  
8967 SAVANNAH PARK  
ORLANDO, FL 32819

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE: Zeena Headley DATE: 7/28/20

NURAL LLLP

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor  
JIM O'BRIEN

Wade Trim  
Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

HAHN KIM S  
905 MAIN ST  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:   X   DISAPPROVAL           

COMMENTS:   Good luck with your project!  

SIGNATURE:   [Signature]   DATE:   7/27/2020    
HAHN KIM S

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

FIOLA ARMAND J  
720 MAIN ST  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: YES DISAPPROVAL \_\_\_\_\_

COMMENTS: WILL NOT BE VISIBLE FROM STREET OR SURROUNDING PROPERTIES !!!

SIGNATURE:  DATE: 7/28/2020

FIOLA ARMAND J

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

SIMAAN SIMON TOUFIC  
812 EAST BLVD  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE:  DATE: 7/26/2020

SIMAAN SIMON TOUFIC

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

LINCOLN TIMOTHY W  
PO BOX 163  
WINDERMERE, FL 34786

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

---

**RECOMMEND – Z20-10 (826 Oakdale Street)**

APPROVAL:  \_\_\_\_\_ DISAPPROVAL \_\_\_\_\_

COMMENTS: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
SIGNATURE: Jim Lueil DATE: 7-29-20

LINCOLN TIMOTHY W

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Wade Trim

Clerk  
DOROTHY BURKHALTER

July 21, 2020

NELSON WILLARD E ESTATE  
258 MARION ST  
INDIAN HARBOUR BEACH, FL 32937

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

---

**RECOMMEND - Z20-10 (826 Oakdale Street)**

APPROVAL:   X   DISAPPROVAL \_\_\_\_\_

COMMENTS: \_\_\_\_\_

---

SIGNATURE: Emily Laleba DATE: 7/28/20

NELSON WILLARD E ESTATE



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH **Wade Trim**

Clerk  
DOROTHY BURKHALTER

July 21, 2020

KEOWN W JAMES JR  
836 MAIN ST  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE: W James Keon DATE: 7/27/20

KEOWN W JAMES JR

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

RICKERSON LANCE L LIFE ESTATE  
884 MAIN ST  
WINDERMERE, FL 34786

Received

JUL 29 2020

Wade Trim

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE: Elle Rickerson DATE: 7-25-2020

RICKERSON LANCE L LIFE ESTATE

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

JUL 20 2020

Wade Trim



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

WHITTINGTON BETTY C  
935 MAIN ST  
WINDERMERE, FL 34786

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

**RECOMMEND – Z20-10 (826 Oakdale Street)**

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE: Betty C. Whittington DATE: 7/24/20

WHITTINGTON BETTY C

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received

JUL 23 2020

Wade Trim

July 21, 2020

TURNER WILLIAM C  
736 OAKDALE ST  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

RECOMMEND – Z20-10 (826 Oakdale Street)

APPROVAL: X DISAPPROVAL \_\_\_\_\_

COMMENTS: \_\_\_\_\_

SIGNATURE: William C. Turner DATE: 7/26/2020

TURNER WILLIAM C

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

Received

JUL 29 2020

Wade Trim

July 21, 2020

FLORES HUMBERTO SR  
4524 WOODLOT CT  
ORLANDO, FL 32835

**RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10**

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

**RECOMMEND - Z20-10 (826 Oakdale Street)**

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE: Humberto Flores DATE: 7/25/2020

FLORES HUMBERTO SR

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Wade Trim

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 21, 2020

GLANCE GEORGE O III  
220 E 9TH AVE  
WINDERMERE, FL 34786

### RE: Public Notice of Variance Public Hearing for 826 Oakdale Street Z20-10

Will and Anna Headley, owners of 826 Oakdale Street, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of a nonconforming floor area ratio and impervious surface ratio. The existing floor area ratio is 50.1% and the existing impervious surface ratio is 47.9%. The applicant is requesting to add an additional 56 square feet of floor area, which will increase the total floor area to 51.1%, and an additional 67.75 square feet of impervious surface area, which will increase the total impervious surface to 48.4%. The Town's limitation of floor area is a 38% and the limitation of impervious surface area is 45%.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS:

STILL! VERY FRUSTRATED AND DISAPPOINTED  
IN THE CITY ABOUT THE FEND IN FRONT

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

GLANCE GEORGE O III

7-26-2020

OF MY  
DRIVEWAY!!!

RECOMMEND - Z20-10 (826 Oakdale Street)

Received

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

Wade Trim

SIGNATURE: B. Stuart August DATE: 7/29/20

ROGERS BRYAN STUART

RECOMMEND - Z20-10 (826 Oakdale Street)

Received

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

AUG 4 2020

Wade Trim

SIGNATURE: [Signature] DATE: 7/29/20

SCHMIDT NICHOLAS JAMES III

RECOMMEND - Z20-10 (826 Oakdale Street)

Received

APPROVAL:  DISAPPROVAL

COMMENTS: No problem with variance.

Wade Trim


SIGNATURE: [Signature] DATE: 7-27-2020

LAKE JAY W

RECOMMEND - Z20-10 (826 Oakdale Street)

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_

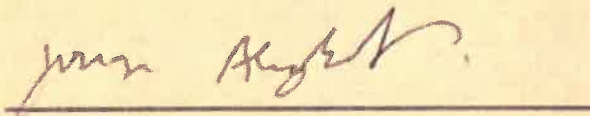
SIGNATURE:  DATE: 7/29/2020

DUNBAR LOIS



Date: 6/7/20

The undersigned neighboring owner has no objection to the proposed bathroom addition of the Headley residence at 826 Oakdale Street, notated on the attached document as "Area of Work 1".



Joe and Elizabeth Alenghat

812 Oakdale Street

Windermere, FL 34786

Date: 6/8/20

The undersigned neighboring owner has no objection to the proposed bathroom addition of the Headley residence at 826 Oakdale Street, notated on the attached document as "Area of Work 1".

Fernando P. G. -

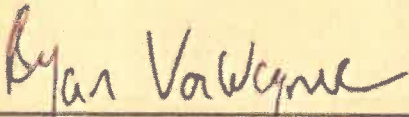
Gilvico Consulting LLC

830 Oakdale Street

Windermere, FL 34786

Date: 6/7/20

The undersigned neighboring owner has no objection to the proposed bathroom addition of the Headley residence at 826 Oakdale Street, notated on the attached document as "Area of Work 1".

  
\_\_\_\_\_  
Tenant: RYAN VANWAGNER

*On behalf of owners:*

Laura and David Hinshaw

825 Oakdale Street

Windermere, FL 34786



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

## Development Review Board August 18, 2020

## Town Council September 8, 2020

**Case No.:** Z20-11

**Applicant/Representative:** Lewis and Janet Ashenheim

**Property Owners:** Lewis and Janet Ashenheim

**Requested Action:** Variance to allow for an increase of floor area to an existing nonconforming detached garage with an existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is 10%, which for this detached structure is 138 square feet.

**Property Address:** 11214 Lake Butler Blvd. Windermere, FL 34786

**Legal Description:** METCALF PARK H/59 COMM NW COR LOT 166 W 578.89 FT FOR POB TH W 135 FT TH S 07 DEG W 600 FT M/L TO S LINE OF N1/2 OF NE1/4 OF SEC 07-23-28 TH E TO A POINT S 02 DEG E 590 FT FROM POB TH N 02 DEG W 590 FT TO POB (A/K/A TRACT F)

**Future Land Use/Zoning:** Residential/Residential

**Existing Use:** Residential (Single Family)

### **Surrounding Future Land Use/Zoning**

**North:** Residential/Residential  
**East:** Residential/Residential  
**South:** Lake Butler  
**West:** Residential/Residential

### **CASE SUMMARY:**

The applicant requests to allow for an increase of floor area to an existing nonconforming detached garage with an existing guest suite beyond the 10% floor area limitation. The detached garage is non-conforming due to it being located in the front yard and not meeting the required side setback. The Town only allows accessory structures to be in a side or rear yard. The required side setback for this property is 14.2 feet, and the existing detached garage at the southwest corner is slightly over 11.5 feet from the side property line. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is 10%, which for this detached structure would be 138 square feet.

The total lot area is 58,370 square feet. The total proposed floor area of the detached garage/structure is 2,860. The total proposed floor area ratio (FAR) onsite, including the main home, is 9,408 square feet. The total floor area ratio (FAR) is 16%. The Town's allowable FAR is 38%. The total proposed impervious surface area ratio (ISR) is 31%. The Town's allowable ISR is 45%.

Division 10.02.00 of the LDC empowers the Development Review Board to review and make recommendations for approval, approval with conditions or denial to the Town Council on variance requests.

Division 10.02.00 of the LDC requires the Town Council to consider the recommendation of the Development Review Board and to take final action to either approve or deny the variance request.

### **CASE ANALYSIS:**

Section 10.02.02 of the LDC provides the specific standards by which the Development Review Board and Town Council are to review to consider the approval or denial of a variance application. In addition, this Section requires a positive finding, based on substantial competent evidence, for each of the standards. These standards are summarized as follows:

1. The need for the variance arises out of the physical surroundings, shape, topographical condition or other physical or environmental conditions that are unique to the subject property. Variances should be granted for conditions peculiar to the property and not the result of actions of the property owner;

2. There are practical or economic difficulties in carrying out the strict letter of the regulation;
3. The variance request is not based exclusively upon a desire to reduce the cost of developing the site;
4. The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire or other hazard to the public;
5. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site;
6. The effect of the proposed variance is in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code; and
7. The variance will not encourage further requests for changes where such a land use would not be deemed appropriate.

It is also important to note that this Section also provides specific standards that are not to be considered in the review of a variance application. These standards are:

1. That the implementation of these regulations would impose an economic hardship on the cost of the building or redevelopment project;
2. That these regulations impose a hardship by decreasing the maximum density of a property in terms of the number of units, square footage of buildings, etc.; and
3. That other adjacent lands, structures or buildings not in conformance with these regulations provide a rationale for a lessening of their application in this specific case.

Section 10.02.02(c) of the LDC allows the imposition of conditions and restrictions as may be necessary to allow a positive finding to be made on any of the variance standards to minimize the negative effect of the variance. The conditions and restrictions should further the interest of the LDC.

The applicant submitted a site plan and other materials in support of the variance request. The following is a summary of the information provided by the applicant in support of their variance request:

1. This is a unique large lakefront lot: Privacy walls up front, guest house/ garage in the front, pool in the middle of the main house (located at the rear of the property) and the guest house (located at the front);

2. The size of the detached dwelling unit does not meet their family's needs and must be expanded. There are no other alternative locations on the property to build the additional space required.
3. The reason for the variance request is the existing detached structure was built in front of the main structure and created a non-conforming condition, Not by any fault of current owners.
4. This variance request was not caused by anything that owners created.
5. It will not allow any special privileges for other similar homeowners to enjoy the same rights and usages of their properties
6. This variance will not visually block any of the main house and will be an enhancement to the overall design.

**PUBLIC NOTICE:**

Public notices were mailed to property owners within 500 feet of the subject property (31 notices sent). As of August 11, 2020, 12 responses were returned, all were in support.



To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Due to our Family needs and space requirements, we require additional space to be added to our existing detached dwelling unit. The first floor of this unit is all garage/ storage. The second floor of this unit is too small and not functional and does not meet the needs of our family.

This is a unique large lakefront lot: Privacy walls up front, guest house/ garage in the front, pool in the middle of the main house (located at the rear of the property) and the guest house(located at the front)

The size of the detached dwelling unit does not meet our family's needs and must be expanded. There are no other alternative locations on our property to build the additional space required.

The reason for the variance request is the existing detached structure was built in front of the main structure and created a non-conforming condition, Not by any fault of ours.

This variance request was not caused by anything that we as owners created. It will not allow any special privileges for other similar homeowners to enjoy the same rights and usages of their properties.

This variance will not visually block any of the main house and will be an enhancement to the overall design.

We therefore request a variance to allow for a 1,474 sq. ft. addition to the front of the detached dwelling unit in the location as described on our site plan.

Thank you for your consideration.

Lewis and Janet Ashenheim

**HOUSE DETAILS:**

Gross area of total:	7,934
Gross area of main home:	6,548
Gross area of existing detached structure:	1,386
Proposed addition to detached structure	<u>1,474</u>
Proposed total size of detached structure (43.7%)	2,860
Allowable size for detached structure 45%	2,946
Lot Area:	58,370
Allowable FAR: (38%)	22,180
Proposed FAR: (16%)	9,408
Allowable Impervious ISR (45%)	26,266
Proposed total Impervious: (31%)	18,100

**ALLOWABLE EXPANSION FOR A NON-CONFORMING STRUCTURE:**

10% OF THE MAIN GROSS AREA: 654 SQ. FT

VARIANCE REQUEST TO ALLOW FOR A 1,474 sq. (22.5%) ADDITION TO THE FRONT OF THE EXISTING DETACHED DWELLING.

**DETACHED ACCESSORY BUILDING/DWELLING UNIT REQUIREMENTS:**

1. The accessory building must be located in the side or rear yard.  
**REQUESTING A VARIANCE TO BE ABLE TO EXPAND THE DETACHED STRUCTURE TO THE FRONT. THIS IS THE ONLY LOCATION POSSIBLE FOR THIS ADDITION. THE NEW ADDITION MEETS THE 14.2' SIDE SETBACK AND THE 25' FRONT SETBACK.**

2. The impervious area and gross floor area for the site includes the area of the accessory building.  
**ALL IMPERVIOUS AND FAR REQUIREMENT ARE MET.**

3. The accessory dwelling unit must be no closer than ten feet to the principal building or any other accessory building.  
**THE EXPANSION IS MORE THAN 10' AWAY FROM ANY ADJACENT STRUCTURE**

4. The accessory dwelling unit may not exceed 45 percent of the gross square feet of the principal building.  
**THE TOTAL COMBINED SIZE OF THE NEW DETACHED STRUCTURE IS LESS THAN THE ALLOWABLE 45%**

5. The accessory dwelling unit shall be located within the building envelope for the lot or parcel.  
**THE EXISTING DWELLING UNIT CANNOT MOVE. THE NEW ADDITION MEETS ALL OF THE SIDE AND FRONT SETBACKS AS REQUIRED. ASKING FOR A VARIANCE TO GO ABOVE THE 10% ALLOWABLE EXPANSION FOR A NONCONFORMING STRUCTURE: ASKING FOR**

6. The accessory dwelling unit shall be designed to be similar in appearance to the principal building.  
**THE ADDITION WILL HAVE ALL OF THE SAME DETAILS, ROOF SHINGLES, FASCIA, STONE, SIDING, WINDOWS, TRIM AND BE VERY SIMILAR IN APPEARANCE TO THE MAIN BUILDING**

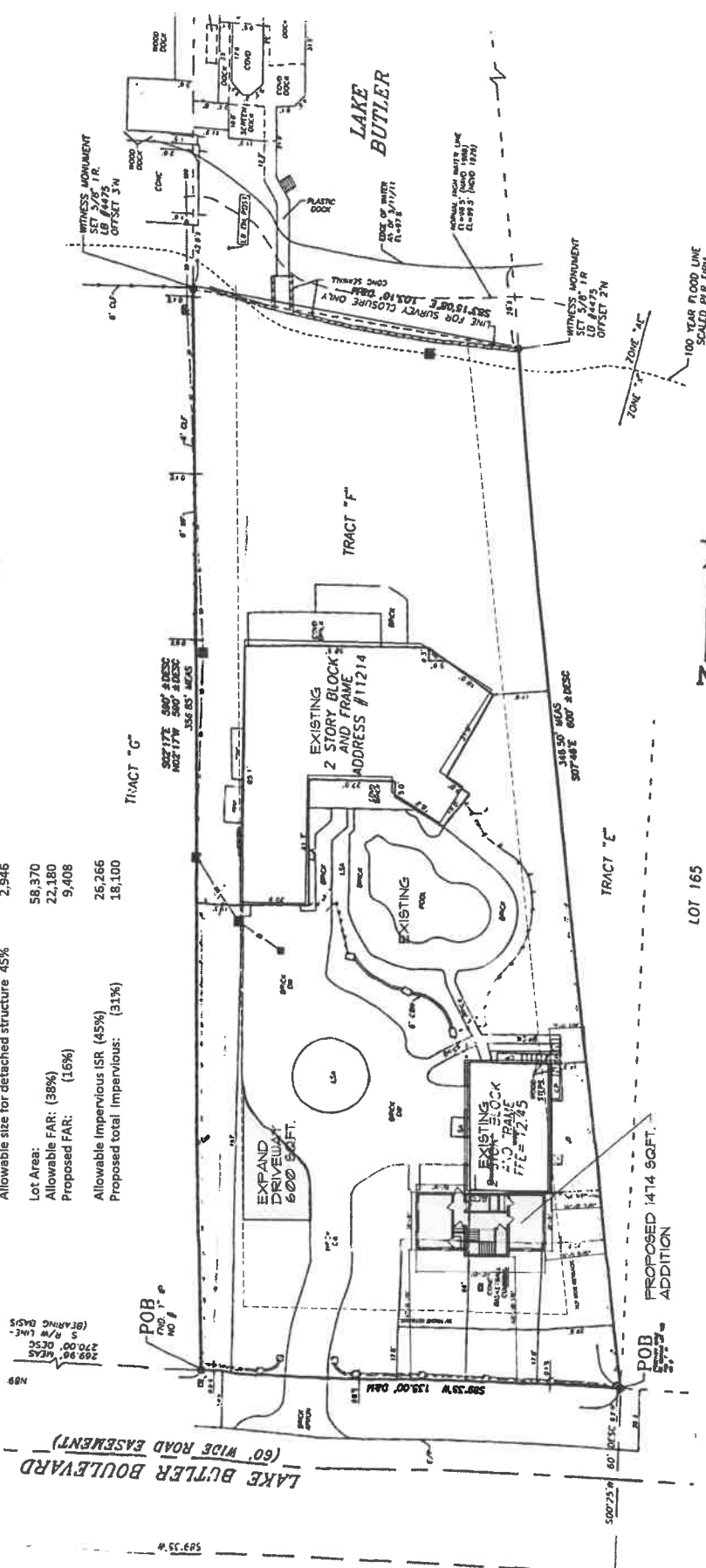
# THE ASHENHEIM RESIDENCE

## 11214 LAKE BUTLER BLVD.

**DESCRIPTION:**  
 FROM POINT OF INTERSECTION OF THE NORTH AND WEST LINES OF LOT 164, METCALF PARK, FROM PLAT THEREOF RECORDED IN PLAT BOOK 14, PAGES 59 AND 60, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, RUN SOUTH 89 DEGREES 35' WEST 578.89 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 35' WEST 135 FEET; THENCE SOUTH 7 DEGREES 46' EAST, 600 FEET; MORE OR LESS TO THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHEAST 1/4 SECTION 7, TOWNSHIP 23 SOUTH, RANGE 28 EAST, THENCE EAST TO A POINT SOUTH 2 DEGREES 17' EAST 300 FEET, MORE OR LESS FROM THE POINT OF BEGINNING, THENCE NORTH 2 DEGREES 7' WEST 500 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

ALSO KNOWN AS TRACT F, METCALF PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 59, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Gross area of total:	7,954
Gross area of main home:	6,548
Gross area of existing detached structure:	1,386
Proposed addition to detached structure:	1,474
Proposed total size of detached structure (43.7%):	2,860
Allowable size for detached structure (45%):	2,946
Lot Area:	58,370
Allowable FAR: (38%):	22,180
Proposed FAR: (16%):	9,408
Allowable Impervious ISR (45%):	26,266
Proposed total Impervious: (31%):	18,100



OWNER'S REPRESENTATIVE SHALL MAKE PERFORMANCE OF THE WORK SHOWN ON THESE PLANS, IDEAS AND DESIGNS, THESE IDEAS, DESIGNS, AND PLANS ARE NOT TO BE COPIED OR CHANGED IN ANY MANNER OR FORM WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF ARAPE DESIGN, INC.

ARAPE DESIGNS, LLC  
 3563 TERRA OAKS COURT  
 LONGWOOD, FL 32779  
 (407) 774-2488  
 www.arapedesigns.com  
 AID of Building Design  
 American Institute

DATE: 7/15/20  
 DRAWN: D.A.A.  
 SHEET: 1

JOB NUMBER: 11214  
 SITE PLAN

SEAL

THE ASHENHEIM RESIDENCE  
 11214 LAKE BUTLER BLVD.

PLEASE DESIGN, L.L.C. HEREBY TRANSFERS ITS COMMON LAW COPYRIGHTS IN THESE PLANS, IDEAS, AND DESIGNS, THESE IDEAS, DESIGNERS, AND PLANS ARE NOT TO BE COPIED OR CHANGED IN ANY MANNER OR FORM WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION FROM ARACE DESIGNS, L.L.C.

REVISIONS:

The Ashenheim  
Residence  
11214 Lake Butler Blvd.

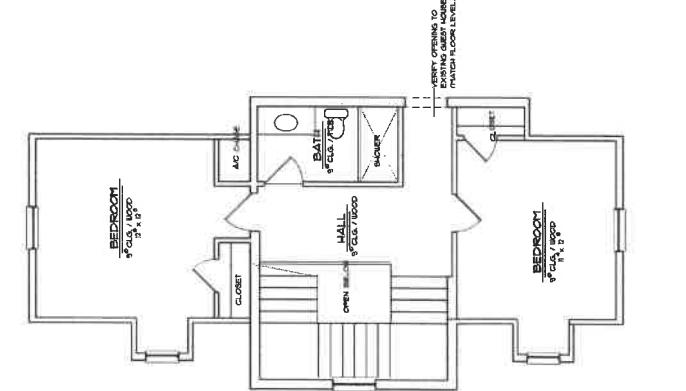
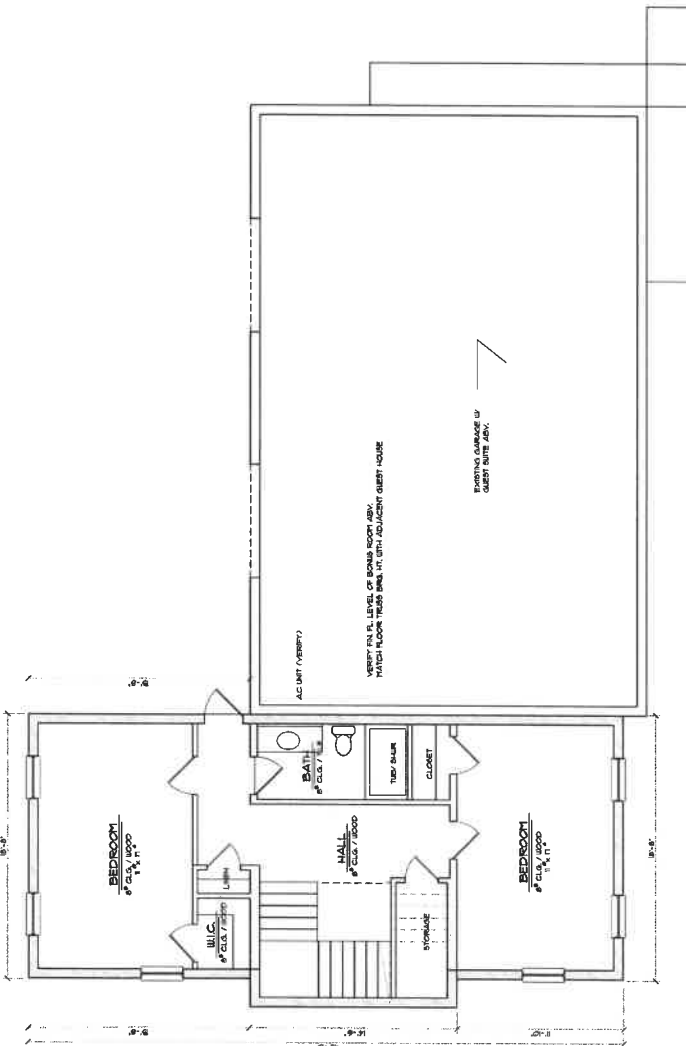
ARACE DESIGNS, L.L.C.  
3563 TERRA OAKS COURT  
LONGWOOD, FL 32779  
(407) 774-2468  
American Institute  
of Building Design  
www.aracedesigns.com

JOB NUMBER  
DATE 7/15/20  
DRAWN D.A.A.  
SHEET 2

FLOOR PLANS

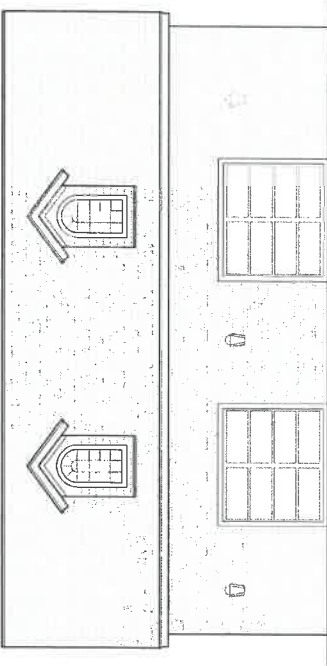
SEAL

VERIFY DIMENSIONS SHALL BE PERFORMED BY THE CONTRACTOR AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS.

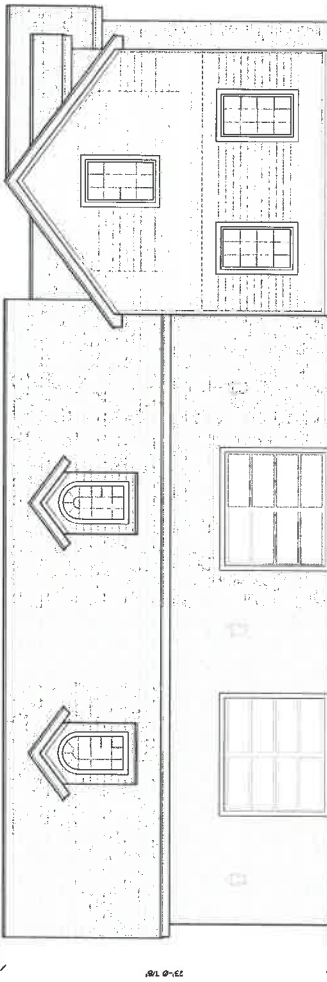


ARACE DESIGNS, LLC'S HEREBY RESERVES THE COMMON LAW COPYRIGHTS IN THESE PLANS, DIMS, AND DESIGNS. THESE IDEAS, DESIGNS, DIMS, AND PLANS ARE NOT TO BE COPIED OR CHANGED IN ANY MANNER OR FORM WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION FROM ARACE DESIGNS, LLC.

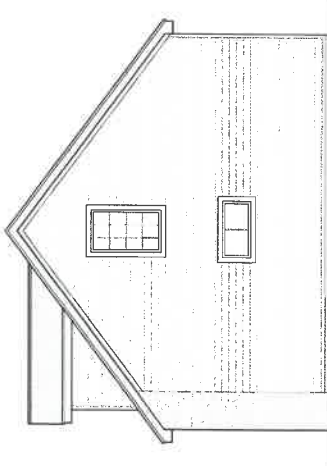
REVISIONS:



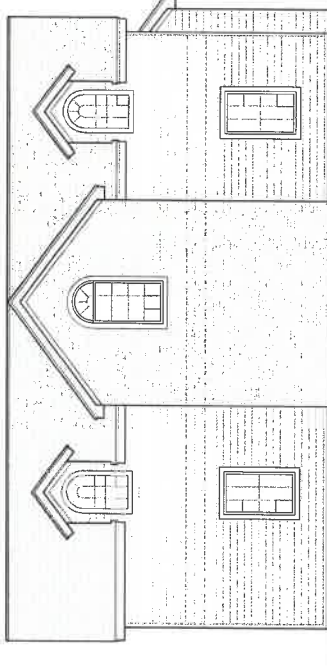
EXISTING SIDE ELEVATION 1/4" = 1'-0"



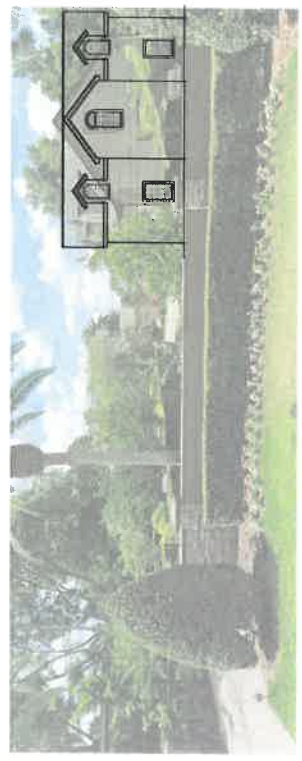
PROPOSED SIDE ELEVATION 1/4" = 1'-0"



EXISTING SIDE ELEVATION 1/4" = 1'-0"



PROPOSED SIDE ELEVATION 1/4" = 1'-0"



STREET VIEW

OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION PROVIDED BY THE ARCHITECT AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONDITIONS OR SPECIFICATIONS APPEARING ON THESE PLANS.

SEAL

EXTERIOR ELEVATIONS

SHEET 3

DRAWN D.A.A.

DATE 7/15/20

JOB NUMBER

ARACE DESIGNS, LLC  
 3563 TERRA OAKS COURT  
 LONWOOD, FL 32779  
 (407) 774-2468  
 American Institute of Building Design  
 www.aracedesigns.com

The Ashenheim  
 Residence  
 11214 Lake Butler Blvd.

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: X DISAPPROVAL \_\_\_\_\_

COMMENTS: Looks like a lovely addition to the home

Received

Wade Trim

SIGNATURE: [Signature] DATE: 8/2/2020

HEATHER H

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: X DISAPPROVAL \_\_\_\_\_

COMMENTS: \_\_\_\_\_

Receiver

Wade Trim

SIGNATURE: [Signature] DATE: 8/1/2020

BRADACH KIRK S

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL: ✓ DISAPPROVAL \_\_\_\_\_

COMMENTS: I hope it turns out well!

Received

SIGNATURE: [Signature] DATE: 8/1/20

SIMMONS DIANNE CARROLL

Wade Trim

APPROVAL: [Signature] DISAPPROVAL \_\_\_\_\_

COMMENTS: Add additional Landscape to buffer Lake Butler road view.

Received

SIGNATURE: [Signature] DATE: 8.3-2020

HAAG EMMETT TODD

Wade Trim

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

INGALLS LYNNE M  
11213 LAKE BUTLER BLVD  
WINDERMERE, FL 34786

**RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11**

Lewis and Janet Ashenheim, owners of 11214 Lake Butler Blvd., submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of floor area to an existing nonconforming detached garage with existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is a 10%, which for this detached structure would be 138 square feet.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

---

**RECOMMEND – Z20-11 (11214 Lake Butler Blvd.)**

**APPROVAL:**   X   **DISAPPROVAL** \_\_\_\_\_

**COMMENTS:** \_\_\_\_\_

**SIGNATURE:**   Lynne M Ingalls   **DATE:**   8/1/2020  

**INGALLS LYNNE M**

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103



Mayor  
JIM O'BRIEN

Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

SIMS JOSEPH D  
11155 LAKE BUTLER BLVD  
WINDERMERE, FL 34786

## RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11

Lewis and Janet Ashenheim, owners of 11214 Lake Butler Blvd., submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of floor area to an existing nonconforming detached garage with existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is a 10%, which for this detached structure would be 138 square feet.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)

APPROVAL:  DISAPPROVAL

COMMENTS: all the best!!

SIGNATURE: Joseph D. Sims DATE: 8-6-2020

SIMS JOSEPH D



# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received

Mayor  
JIM O'BRIEN



Town Manager **Wade Trim**  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

STRUBE DONALD K JR  
3521 ALL AMERICAN BLVD  
ORLANDO, FL 32810

**RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11**

Lewis and Janet Ashenheim, owners of 11214 Lake Butler Blvd., submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of floor area to an existing nonconforming detached garage with existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is a 10%, which for this detached structure would be 138 square feet.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by August 14, 2020.

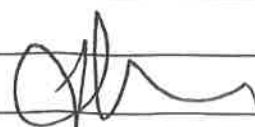
This matter will be presented to the Development Review Board on Tuesday, August 18, 2020 at 6:30 p.m. Their recommendation will be heard by the Town Council on Tuesday, September 8, 2020 at 6:00 p.m. At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[town@wadetrim.com](mailto:town@wadetrim.com)  
Encl.

**RECOMMEND - Z20-11 (11214 Lake Butler Blvd.)**

APPROVAL:  DISAPPROVAL

COMMENTS: \_\_\_\_\_

SIGNATURE:  DATE: 8/2/20

**STRUBE DONALD K JR**

# Town of Windermere

614 Main Street Windermere, FL 34786  
Office: (407) 876-2563 Fax: (407) 876-0103

Received  
AUG 11 2020  
Wade Trim

Mayor  
JIM O'BRIEN



Town Manager  
ROBERT SMITH

Clerk  
DOROTHY BURKHALTER

July 29, 2020

NUNNELLEY MICHELE A  
11137 LAKE BUTLER BLVD  
WINDERMERE, FL 34786

**RE: Public Notice of Variance Public Hearing for 11214 Lake Butler Blvd. Z20-11**

Lewis and Janet Ashenheim, owners of 11214 Lake Butler Blvd., submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow for an increase of floor area to an existing nonconforming detached garage with existing guest suite beyond the 10% floor area limitation. The existing floor area of the detached garage with existing guest suite is 1,386 square feet. The applicant is requesting to add an additional 1,474 square feet of floor area of living area, which will increase the total floor area by 106%. The Town's limitation of increasing the floor area of a nonconforming structure is a 10%, which for this detached structure would be 138 square feet.

Enclosed is additional information regarding this request.

Pursuant to the Town of Windermere Code of Ordinances, you as a surrounding property owner are entitled to comment on this matter. If you wish to comment, this form must be received by the Town of Windermere use of the enclosed stamped envelope to Wade Trim, Inc. by **August 14, 2020**.

This matter will be presented to the Development Review Board on **Tuesday, August 18, 2020 at 6:30 p.m.** Their recommendation will be heard by the Town Council on **Tuesday, September 8, 2020 at 6:00 p.m.** At this time, it is anticipated that both meetings will be held virtually on ZOOM. You can access links to the meetings on the Town's website at <https://town.windermere.fl.us/>. If you need help connecting to the meetings you can contact the Town at 407-876-2563. All meetings are open to the public and you are welcome to participate. Feel free to contact me if you have any questions.

Sincerely,  
Brad Cornelius, AICP, Town Planner  
Wade Trim, Inc.  
813.882.4373  
[tow@wadetrim.com](mailto:tow@wadetrim.com)  
Encl.

---

**RECOMMEND – Z20-11 (11214 Lake Butler Blvd.)**

APPROVAL:   X   DISAPPROVAL \_\_\_\_\_

COMMENTS: \_\_\_\_\_

SIGNATURE: Michelle A. Huey DATE: 8/6/2020

NUNNELLEY MICHELE A

To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Please see the attached letter in favor of our variance request from our neighbor.

NANCY BOLIVAR who reside at 11316 LAKE BUTLER BLVD.

Have no objections and recommend approving the variance request for the proposed front addition for Lewis and Janet Ashenheim who live at 11214 Lake Butler Blvd. The new addition is well behind the front setback and does not have any negative impact to the street or neighborhood.

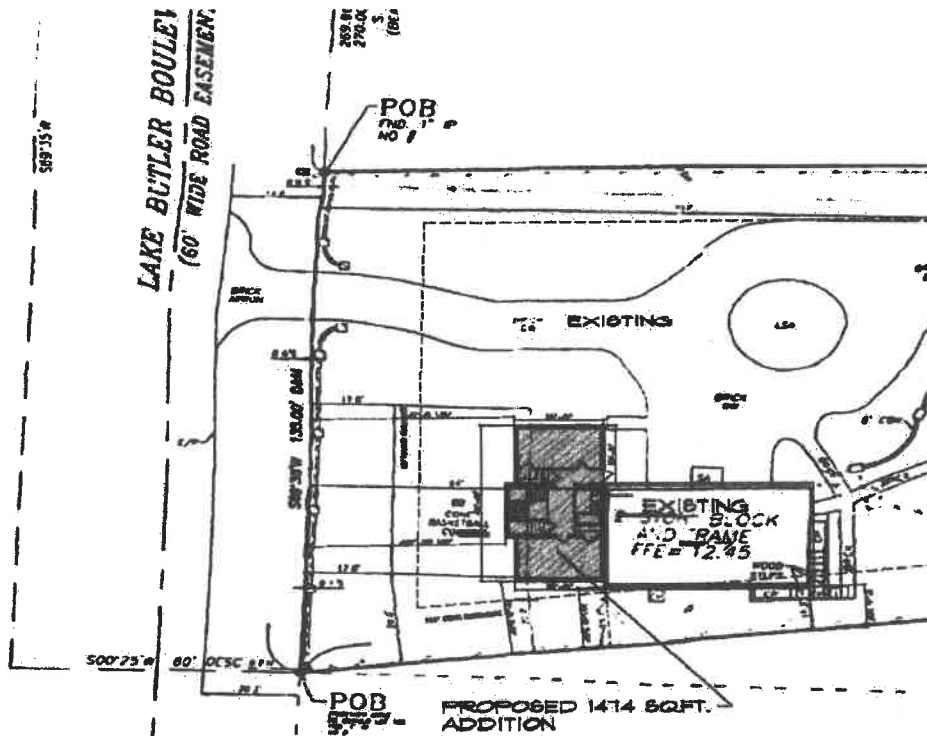
I vote in favor of this variance request.

Please contact me if you have any other questions.

Thank you

Nancy Bolivar

CC: Lewis and Janet Ashenheim



To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Please see the attached letter in favor of our variance request from our neighbor.

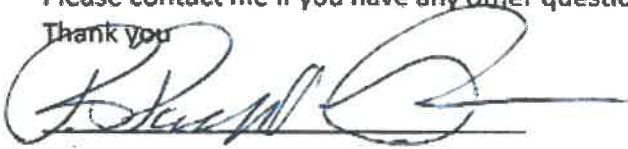
*Bob & Mike Parash* who reside at *11221 Lake Butler Blvd*

Have no objections and recommend approving the variance request for the proposed front addition for Lewis and Janet Ashenheim who live at 11214 Lake Butler Blvd. The new addition is well behind the front setback and does not have any negative impact to the street or neighborhood.

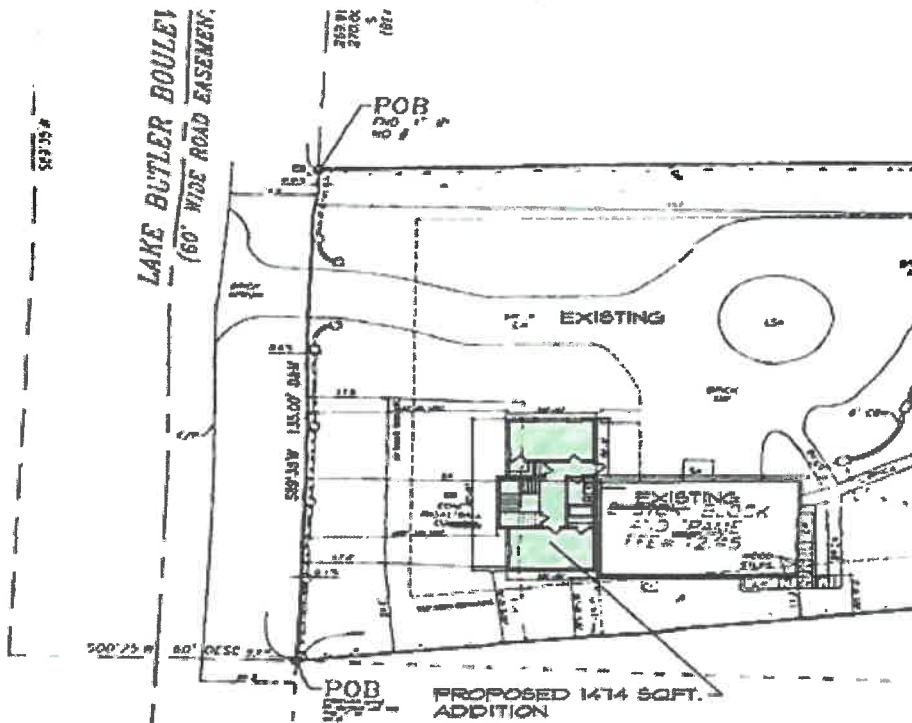
I vote in favor of this variance request.

Please contact me if you have any other questions.

Thank you



CC: Lewis and Janet Ashenheim



To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Please see the attached letter in favor of our variance request from our neighbor.

I Robert Sorenson who reside at 3348 South Lake Butler Blvd.

Have no objections and recommend approving the variance request for the proposed front addition for Lewis and Janet Ashenheim who live at 11214 Lake Butler Blvd. The new addition is well behind the front setback and does not have any negative impact to the street or neighborhood.

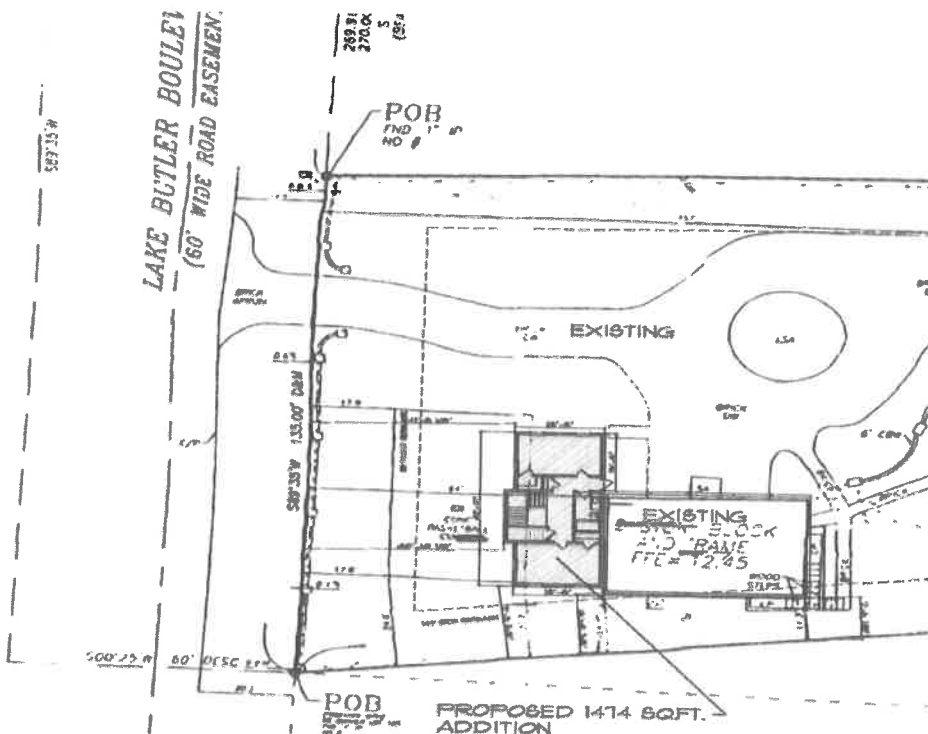
I vote in favor of this variance request.

Please contact me if you have any other questions.

Thank you



CC: Lewis and Janet Ashenheim



To : Town of Windermere – Development Review Board

Parcel Number: 06-23-28-5608-06-000

Address: 11214 Lake Butler Blvd., Windermere, FL 34786

Date: 7-19-2020

From: Lewis and Janet Ashenheim

Dear DRB,

Please see the attached letter in favor of our variance request from our neighbor.

I Robert & Erica Hirschl who reside at 11010 Lake Butler Blvd

Have no objections and recommend approving the variance request for the proposed front addition for Lewis and Janet Ashenheim who live at 11214 Lake Butler Blvd. The new addition is well behind the front setback and does not have any negative impact to the street or neighborhood.

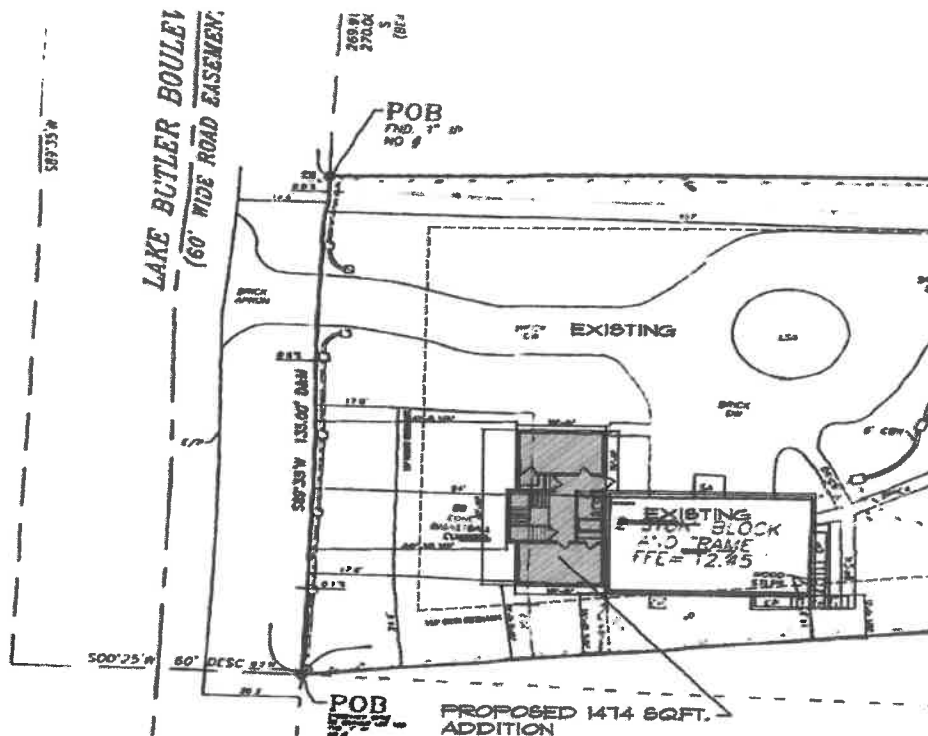
I vote in favor of this variance request.

Please contact me if you have any other questions.

Thank you



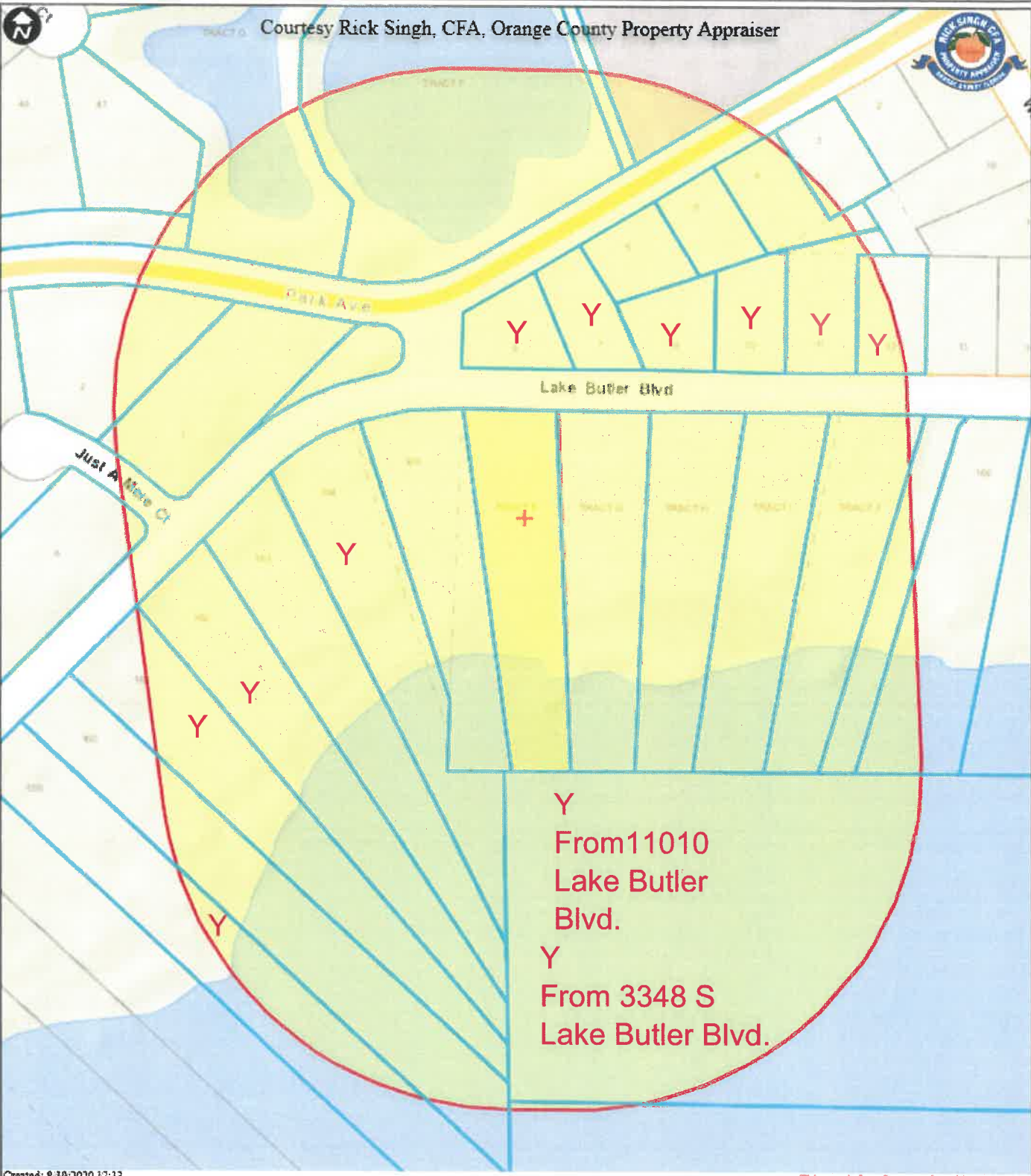
CC: Lewis and Janet Ashenheim



64

**OCPA Web Map**

Major Roads	Proposed Road	Block Line	Commercial/Institutional	Hydro	Golf Course
Florida Turnpike	Brick Road	Lot Line	Governmental/Institutional/Misc	Waste Land	Lakes and Rivers
Interstate 4	Gated Roads	Rail Road	Commercial/Industrial/Vacant Land	County Boundary	Building
Toll Road	Road Under Construction	Proposed SunRail	Agriculture	Parks	Hospital



Y  
 From 11010  
 Lake Butler  
 Blvd.  
 Y  
 From 3348 S  
 Lake Butler Blvd.