

Development Review Board

Norma Sutton

William Yeager

Stephen Withers

Frank Chase

Jennifer Roper

Molly Rose

Peter Fleck

Council Liaison: Bill Martini

Agenda

Agenda

August 20, 2019

6:30 PM

WINDERMERE TOWN HALL

520 MAIN STREET.

WINDERMERE, FL 34786

PLEASE TURN OFF ALL CELL PHONES AND PAGERS

PLEASE NOTE: IN ACCORDANCE WITH F.S. 286.26: Person with disabilities needing assistance to participate in any such proceeding should contact the Office of the Town Clerk at least 48 hours beforehand at (407) 876-2563

Pursuant to Resolution No. 2005-12 adopted on December 13, 2005, the following Civility Code shall govern all proceedings before the Town of Windermere Town Council:

1. All electronic devices, including cell phones and pagers, shall be either turned off or otherwise silenced.
2. Prolonged conversations shall be conducted outside Council meeting hall.
3. Whistling, heckling, gesturing, loud conversations, or other disruptive behavior is prohibited.
4. Only those individuals who have signed the speaker list and/or who have been recognized by the Mayor (or Chair) may address comments to the Council.
5. Comments at public hearings shall be limited to the subject being considered by the Council.
6. Comments at Open Forums shall be directed to Town issues.
7. All public comments shall avoid personal attacks and abusive language
8. No person attending a Town Council meeting is to harass, annoy, or otherwise disturb any other person in the room.

Any member of the public whose behavior is disruptive and violates the Town of Windermere Civility Code is subject to removal from the Town Council meeting by an officer and such other actions as may be appropriate. **PLEASE NOTE:** IN ACCORDANCE WITH F.S. 286.0105: Any person who desires to appeal any decision at this meeting will need a record of this proceeding. For this, such person may need to ensure that a verbatim record of such proceeding is made which includes the testimony and evidence upon which the appeal is to be based.

AGENDA

- THE MEETING IS CALLED TO ORDER BY THE CHAIRMAN
 - 1. OPEN FORUM/PUBLIC COMMENT (3 Minute Limit):
 - 2. NEW BUSINESS
 - a. MINUTES
 - i. DRB Meeting Minutes July 16, 2019 (Attachment-Staff Recommends Approval)
 - b. GENERAL ITEMS FOR CONSIDERATION
 - i. Case# Z19-13: 3324 S Lake Butler Boulevard – Dottie O’Brien –Variance to allow the replacement and expansion of an existing dock that encroaches over the southeast projected property line by 4 feet. (Attachments-Board Option)
 - 3. ADJOURN:
-

TOWN OF WINDERMERE

**Development Review Board
Meeting Minutes**

July 16, 2019

Present were Chair Frank Chase, Board Members; Norma Sutton, Stephen Withers, Molly Rose, Jennifer Roper, and Peter Fleck. Town Manager Robert Smith, Town Planner Brad Cornelius, and Town Clerk Dorothy Burkhalter were also present. Council Liaison Bill Martini was also present.

Per the Land Development Code, Sec 11.04.01(1)(l), Timothy Balding has been removed from the Board as a member.

Chair Chase called the meeting to order at 6:30pm. He then led everyone in the Pledge of Allegiance.

1. OPEN FORUM/PUBLIC COMMENTS:

Public that signed in deferred to speak until their agenda item is presented.

2. OLD BUSINESS: NONE

3. NEW BUSINESS:

a. MINUTES:

i. DRB meeting minutes June 18, 2019

Member Rose made a motion to approve the DRB minutes of June 18, 2019 as presented. Member Withers seconded the motion. All were in favor.

Member Withers reported that the Town Council did approve the past variance and sign request at their meeting.

b. GENERAL ITEMS FOR CONSIDERATION:

i. First Amendment to Sunset Bay Development Agreement

Chair Chase turned the floor over to Mr. Brad Cornelius, Town Planner with Wade Trim. Mr. Cornelius introduced himself. He then stated that he is presenting the first proposed amendment to the original Developers Agreement from 1988. Mr. Cornelius explained the proposed changes in the agreement as; road maintenance, street lighting, sidewalk maintenance, street signage maintenance, and the perimeter wall. He stated that 68 public notices were mailed to property owners within Sunset Bay and surrounding properties within 500 feet of Sunset Bay. Mr. Cornelius stated that four responses in favor, and one in opposition had been received. Manager Smith stated that prior years, annexations did not have annexation agreements. He then gave a description of the two areas; Down Point Lane and Sunset Bay. Manager Smith then commented on the proposed changes. Discussion followed. Member Withers commented that the only change that needs to come before the Development Review Board is the wall. He further commented that

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the remaining items are financial and contractual matters, which are approved by the Town Council. Manager Smith commented on the minor financial impact, which would not have an effect on the residents in the Town. Chair Chase questioned the stormwater responsibility. Manager Smith stated that there were no changes in that area. Discussion followed regarding drainage and right of way acquisition. Chair Chase opened the floor to the public. There were no public speakers. Member Rose made a motion to recommend that the Town Council adopt the first amendment to the proposed Developers Agreement. Member Roper second the motion. All were in favor. Manager Smith stated that there will be two public hearings, August 13th and September 10th, by the Town Council, 6:00pm, located at 520 Main Street.

- ii. **Removal of 111 W 5th Avenue and 119 W 5th Avenue from the Town Center Design District and rezoning 111 W 5th Avenue to Commercial**
 - a. **Ordinance 2019-02 Amending Town's Land Development Code and Town Center District Guidelines Master Plan to remove 111 W 5th Avenue and 119 W 5th Avenue from the Town Center District Guidelines Master Plan**
 - b. **Ordinance 2019-03 Ordinance to adopt a small-scale future land use amendment to the Town's 2035 Future Land Use Map to remove 111 W 5th Avenue and 119 W 5th Avenue from the Town Center Overlay District.**
 - c. **Ordinance 2019-04 Ordinance to rezone 111 W 5th Avenue from Residential with Town Center District Guidelines Overlay to Commercial.**

Chair Chase introduced this item. He then turned the floor over to Mr. Cornelius. Mr. Cornelius explained that three Ordinances are being proposed. He then stated that this is coming before the board due to the Owner of the property having interest in changing it to commercial. Mr. Cornelius explained that there is a process that must be followed to change the zoning. He then commented on the Town Center District Guidelines Master Plan that was adopted in 2004, residential/commercial locations, and current uses. Mr. Cornelius explained that the first item needed would be to have a recommendation to approve or deny the removal of the two properties from the Town Center District Guidelines Master Plan. He further explained that if the recommendation fails, items "b" and "c" will not be needed. Mr. Cornelius commented on the process that would take place should item "a" be recommended for approval. He further commented on the zoning/uses with the surrounding properties and the past amendment to commercial use in 2018. Member Roper questioned the approved commercial change in 2018. Chair Chase explained that it was not a specific item but a collective approval in the Future Land Use. Mr. Cornelius stated that the house located at 111 W 5th Avenue is currently zoned residential and is located between commercial and public use properties. He then explained that the rezoning of the property could be done with restrictions. Manager Smith also stated that restrictions could be very restrictive. Chair Chase questioned if 111 is currently designed for a parking lot. Mr. Cornelius stated yes. Member Roper questioned the current zoning. Mr.

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Cornelius stated residential but also located in the Town Center Design Guidelines. Discussion followed regarding the current parking lot at 119 W 5th Avenue, future land uses, zoning designations, and parking. Member Withers commented on concerns with the septic tank at 111 W 5th Avenue. Manager Smith stated that the owners will address the septic should there be an issue. Mr. Cornelius stated that notices were sent out. Ten were received in favor, in which three were from family members of the owners of 111 W 5th Avenue, and six in opposition of request "a". Mr. Cornelius then stated that for the small-scale amendment, nine in favor were received with three received from the family members of the owner, and six in opposition. Member Roper questioned how many notices were sent out. Mr. Cornelius stated, "roughly sixty". Member Roper questioned if the 500' foot radius was used for the mailings? Mr. Cornelius stated yes. Member Withers questioned who owns the Windermere Market shopping center. Manager Smith stated the Williams family. Member Withers questioned if they own the house as well. Manager Smith stated yes. Member Withers commented on parking concerns at the shopping center. Discussion followed regarding parking. Chair Chase opened the floor to the applicant. Mrs. Colleen Williams of 903 Rosser Road and owner/family representative introduced herself. She stated that the property (111 W 5th Avenue) was acquired in 2000. Mrs. Williams stated that the family intends on keeping the tradition of Windermere but expanding the current location. She then stated that a family member currently lives in the home. Member Rose questioned what the family intentions are with the property. Mrs. Williams stated that the plan is uncertain at this time as there have been different interests. Member Fleck questioned if a feasibility study had been done to determine space with the setbacks and septic, etc.? Mrs. Williams stated not at this time. Chair Chase then opened the floor to the public. First to speak was Mr. Cecil Robinson of 202 E 5th Avenue. Mr. Robinson stated that his concern is with setting a precedence with approving this change. He then stated that he would ask the Board to not approve this change. Mr. Joseph Ata of 5 Pine Street introduced himself. He then stated that he is in strong support for the commercial zoning. Mr. Ata stated that with the recent acquisition, park developments, approval of new facilities, the Town is moving in a new direction to benefit its residents. Mr. Ata stated that he encourages the Board to approve the request. Mr. Andrew McGhee of 226 Butler Street introduced himself. He commented on younger generations moving back to Windermere and how the downtown needed to have businesses to keep them here. Mr. McGhee stated he would like the Board to recommend approval to the Town Council. Mrs. Genevieve Potthast of 425 Butler Street introduced herself. She then pointed out the "No Build Beyond This Point" line on the map. Mrs. Potthast commented on the past goals of the Master Plan. She then cautioned the Board on any changes to the plan and setting precedence. Mrs. Potthast commented that only parking is to abut the residential lots across the street. She then commented on the early commercial garbage pick-ups that bother residents, and issues on 5th Avenue during Farmers Market and Food Truck events. Mrs. Potthast stated that the Board needed to be very cautious in the decision, as the east side of 5th Avenue has a new Developer and a precedence could be set as well as a future lawsuit. Manager Smith advised Mrs. Potthast that there is an Ordinance in process restricting the garbage pick-up time. Mrs. Potthast thanked Manager Smith. Mr. John Spears of 406 Forest Street introduced himself. He commented on the existing parking lot and issues he has with it. Mr. Spears stated that he is not in favor of the change. He then stated that the Design Guidelines needed to be adhered too. Mr. Mohamed Fahmy of 435 Butler Street introduced himself. He then stated he is not in favor of this change. There were no further public comments. Member Roper commented on the residents who have spoken and that they will be the most impacted. Some discussion followed regarding the "Town not needing to follow its own rules" and the issues at the existing parking lot. Member Rose stated she has been very active in the Town due to the traffic, commercial

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development, lack of parking, and setting a precedence. She then stated that she could not support changes to the approved Master Plan. Member Rose further stated her concerns with protecting the quietness of the Town, not encouraging more traffic through Town, and not encouraging commercial development in Town. Member Withers commented on his concerns of a commercial septic tank sitting on a residential property. He then questioned if the map could remain but the underlying zoning changes to commercial for a commercial standard. Mr. Cornelius explained that it could be removed from the Master Plan, the Comp Plan be amended and then restrict the zoning. Member Withers questioned the process for a commercial grade septic tank for that property. Mr. Cornelius stated that the system is existing for the existing usage which was approved by Orange County. Member Fleck questioned if there is a special use condition that could be utilized. Mr. Cornelius stated that due to the code, restrictions could be applied. Some discussion followed regarding the yellow house behind the Town Admin offices, and surrounding zoning and uses. Mr. Cornelius explained the process that would need to take place if the Board wishes to recommend approval. Chair Chase requested a motion. Member Rose made a motion to deny proposed Ordinance 2019-02. Member Fleck seconded the motion. All were in favor. Member Withers made a motion to deny proposed Ordinance 2019-03. Member Rose seconded the motion. All were in favor. Member Rose made a motion to deny proposed Ordinance 2019-04. Member Roper seconded the motion. Voting was as follows: Withers – yes, Chase – no, Rose – yes, Roper – yes, and Fleck – yes. Motion carried 4-1. Chair Chase stated he voted no as he feels the building should have a commercial zoning. Manager Smith stated that this item will be heard by the Town Council for a first reading on August 13th, with a second reading public hearing on September 10th. Some discussion followed regarding commercial use out of the house.

iii. New Member Recommendation

- a. Mark Keller – 226 Main Street
- b. William Yeager - 415 W 1st Avenue

Member Withers made a motion to recommend William Yeager for approval to the Development Review Board. Member Fleck seconded the motion. All were in favor.

4. ADJOURN:

Member Rose made a motion to adjourn the meeting. Member Withers seconded the motion. All were in favor.

The meeting adjourned at 8:28pm

Dorothy Burkhalter, Town Clerk

Frank Chase, Chair

Town of Windermere

614 Main Street Windermere, FL 34786
Office: (407) 876-2563 Fax: (407) 876-0103

Mayor

JIM O'BRIEN



Town Manager
ROBERT SMITH

Clerk
DOROTHY BURKHALTER

Development Review Board August 20, 2019

Town Council September 10, 2019

Case No.: Z19-13

Applicant: Dorothea O'Brien

Property Owner: Dorothea O'Brien

Requested Action: Variance to allow the replacement and expansion of an existing dock that encroaches over the southeast projected property line by 4 feet.

Property Address: 3324 S Lake Butler Boulevard

Legal Description: REPLAT OF METCALF PARK Q/18 & H/59 THAT PT SHOWN ON PLAT H/59 & 60 AS LOT 176 (LESS BEG NWLY COR RUN SWLY AT RIGHT ANGLE TO NLY LINE TO LAKE SWLY ALONG LAKE TO NWLY LINE NELY ALONG LINE TO POB)

Future Land Use/Zoning: Residential/Residential

Existing Use: Residential (Single Family)

Surrounding Future Land Use/Zoning

North: Residential/Residential
South: Lake Butler
East: Residential/Residential
West: Residential/Residential

CASE SUMMARY:

Dorothea O'Brien, owner of 3324 S Lake Butler Blvd, submitted a request for approval of a variance, pursuant to Division 10.02.00 of the Town of Windermere Land Development Code. The purpose of the variance request is to allow the replacement and expansion of an existing dock that encroaches over the southeast projected property line by 4 feet.

The applicant states that the original dock was built approximately 25 years ago. The original dock was a two-story dock that encroached over the southeast property line extended by 4 feet.

The applicant already obtained an Orange County EPD Dock permit for the dock replacement and expansion. The Orange County EPD permit is for a one-story boat dock in the original boat dock footprint and the expansion of the boat dock footprint, with an administrative waiver for the boat dock setback. The requested variance from the Town is consistent with the approved Orange County EPD permit. A copy of the Orange County EPD permit is attached for reference.

For clarification, the plans submitted as part of the variance application show the replacement dock in reference to the riparian line. The riparian line is a boundary used by the Florida Department of Environmental Protection for dock permitting. The riparian line is the property line extended perpendicular to the shoreline. The riparian line is not used by the County nor the Town. Both the County and Town dock ordinances use the property line extended into the lake to determine dock setbacks. The property line extended is reflected in the dock plans approved by Orange County EPD. The previous dock and replacement dock both encroached 4 feet over the property line extended.

Please note that the applicant completed construction of the replacement dock without first obtaining the required permit from the Town of Windermere. The dock replacement proposed with the variance is already constructed. If the Town denies the variance, then the applicant must revise the dock to eliminate the 4 foot encroachment and any other portions of the dock that are proposed for addition that do not meet the Town's required 16 foot setback.

Division 10.02.00 of the LDC empowers the Development Review Board to review and make recommendations for approval, approval with conditions or denial to the Town Council on these variance requests.

Division 10.02.00 of the LDC requires the Town Council to consider the recommendation of the Development Review Board and to take final action to either approve or deny the variance request.

CASE ANALYSIS:

Section 10.02.02 of the LDC provides the specific standards by which the Development Review Board and Town Council are to review to consider the approval or denial of a variance application. In addition, this Section requires a positive finding, based on substantial competent evidence, for each of the standards. These standards are summarized as follows:

1. The need for the variance arises out of the physical surroundings, shape, topographical condition or other physical or environmental conditions that are unique to the subject property. Variances should be granted for conditions peculiar to the property and not the result of actions of the property owner;
2. There are practical or economic difficulties in carrying out the strict letter of the regulation;
3. The variance request is not based exclusively upon a desire to reduce the cost of developing the site;
4. The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire or other hazard to the public;
5. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site;
6. The effect of the proposed variance is in harmony with the general intent of this Land Development Code and the specific intent of the relevant subject areas of this Land Development Code; and
7. The variance will not encourage further requests for changes where such a land use would not be deemed appropriate.

It is also important to note that this Section also provides specific standards that are not to be considered in the review of a variance application. These standards are:

1. That the implementation of these regulations would impose an economic hardship on the cost of the building or redevelopment project;
2. That these regulations impose a hardship by decreasing the maximum density of a property in terms of the number of units, square footage of buildings, etc.; and
3. That other adjacent lands, structures or buildings not in conformance with these regulations provide a rationale for a lessening of their application in this specific case.

Section 10.02.02(c) of the LDC allows the imposition of conditions and restrictions as may be necessary to allow a positive finding to be made on any of the variance standards to minimize the negative effect of the variance. The conditions and restrictions should further the interest of the LDC.

The applicant submitted a site plan and other materials in support of the variance request. The following is a summary of the information provided by the applicant in support of their variance request:

1. Reduce impact to lake vegetation;
2. Boat slip is located at the deepest part;
3. Irregular shoreline and conflicting State, County, Town requirements; and
4. Moved jet ski platform to other side of dock to remove further encroachment to neighbor.

PUBLIC NOTICE:

Public notices were mailed to property owners within 500 feet of the subject property (24 notices sent). As of August 14, 2019, no responses were returned. An update to the response will be provided at the DRB meeting.



Environmental Protection Division

DOCK CONSTRUCTION PERMIT

Permit No.: BD-18-12-126

Date Issued: March 25, 2019

Date Expires: March 25, 2020

A Permit Authorizing:

The construction of a dock not to exceed the measurements identified on the Environmental Protection Division (EPD) stamp on the plans dated as received by EPD on December 7, 2018 and February 27, 2019.

This permit includes an approved administrative waiver to Section 15-343(b) (side setback distance). The dock crosses over the southeastern projected property line by four feet; however, a letter of no objection was received from the affected property owner.

This permit is issued pursuant to Orange County Code, Chapter 15, Article IX, Construction of Dock Ordinance of Orange County and is subject to the permit conditions provided on the following pages:

Activity Location:

3324 S Lake Butler Boulevard, Windermere, FL 34786

Parcel ID No.: 07-23-28-5616-01-760

Lake Name: Butler

Orange County Commission District: 1

Permittee / Authorized Entity:

Dorothea O'Brien

c/o Peter Fleck

Q-Ice Builders

E-mail: pkfleck@aol.com

Orange County Environmental Protection Division
3165 McCrory Place, Suite 200
Orlando, Florida 32803
407-836-1400 / Fax: 407-836-1499
www.OCEPD.org

As the permit holder, you are responsible to ensure that all the conditions are met. If you are using a contractor to perform the activities authorized within the permit you are both responsible for meeting the conditions of your permit. If you fail to meet any of the conditions, you and/or your contractor may be subject to formal enforcement which may include administrative penalties.

Approval of this permit is subject to the following conditions:

Specific Conditions:

1. This permit shall become final and effective upon expiration of the 15 calendar day appeal period following the date of issuance, unless an appeal has been filed within this timeframe. Any appeal shall stay the effective date of this permit until any and all appeals are resolved.
2. The operational phase of this permit is effective upon the completion of construction and continues in perpetuity.
3. Construction activities shall be completed in accordance with the 'Construction Plan' submitted by Q-Ice Builders, received by the Environmental Protection Division (EPD) on December 7, 2018 and February 27, 2019. **Construction shall not exceed the measurements identified on the stamp on the plans.** The permitted work must be completed within one year from the date of issuance of the permit. Requests for permit extension must be submitted to the EPD prior to the expiration date.
4. The projected property lines, as identified on the stamped permit drawings, should be field staked by a professional land surveyor prior to the start of construction in order to be sure that the dock is constructed in the permitted location. Utilizing an adjacent boat dock or fence line is not sufficient for accurate placement of the dock, and may result in the placement of the dock in the wrong location. It is extremely important to build the dock in the approved location. Upon completion of construction, if an unauthorized encroachment into the required minimum setback occurs, you may be required to relocate the dock.
5. Minimum height of the deck must be one foot above the Normal High Water Elevation (NWHE) of 99.5 feet above mean sea level (NGVD 1929) for Lake Butler. Maximum height of the roof shall be no higher than 12 feet above the floor elevation
6. The existing dock and enclosed structure shall be removed prior to completion of the new dock (see attached Exhibit 1).
7. The dock must be constructed within the access corridor according to Chapter 15, Article VII. No access corridor is allowed through any conservation area.
8. The structure and its use shall not significantly impede navigability in the waterbody.
9. There shall be no dredging or filling associated with construction of the structure(s) authorized herein, other than that required for installation of structural pilings.
10. The existing ambient water quality within Outstanding Florida Waters shall not be lowered as a result of the proposed activity, except as authorized by the FDEP under Rule 62-4.242(2) Florida Administrative Code (F.A.C.).

11. If any fallen trees are located within the proposed dock location they may be cut in place and left within the wetland/conservation area. If it must be removed only hand removal is permitted; no heavy equipment or machinery is permitted. Debris must be removed without displacing soils.
12. Unless expressly authorized by this permit and approved site plans, no floating platform structure (including, but not limited to, jetski platforms) has been approved with the issuance of this permit. If, at any time, any addition to the terminal platform (including, but not limited to, a floating platform) is proposed, the permittee or future owners of the property may be required to apply for, and obtain, a new Dock Construction Permit.
13. All excess lumber, scrap wood, trash, garbage, and similar materials shall be removed from the project area immediately.
14. The permit holder and/or designated agent must submit a notice of completion to EPD within 30 days of completion of the construction or repair of the permitted structure so that a compliance check may be performed by EPD staff. The permit holder and/or designated agent must provide as-built drawings on a final survey, signed and sealed by an appropriate professional licensed by the State of Florida, with the notice of completion. The signed and sealed as-built survey shall consist of an aerial view and a side view of dock structure as well as any other information required to demonstrate compliance with the permitted structure. The following items must be included on the survey:
 - a. North arrow;
 - b. Name of water body;
 - c. Reference point;
 - d. Setback distance from all portions of the boat dock;
 - e. NHWE;
 - f. Floor elevation (measured from the NHWE);
 - g. Roof elevation (measured from the top of the floor to the top of the roof);
 - h. Length of dock below the NHWE;
 - i. Access walkway width;
 - j. Conservation easements, wetlands, buffers, berm and swale/drainage easements;
 - k. Floor elevation of the dock through easements, wetlands or buffers;
 - l. Complete dimensions of the terminal platform.
15. A copy of this permit, along with EPD stamped and approved drawings should be taken to the Town of Windermere at 614 Main Street for approval in order to obtain a building permit. For further information, please contact the Town of Windermere at 407-876-2563.
16. At least 48-hours prior to commencement of activity authorized by this permit, the permittee shall submit to EPD, a Construction Notice indicating the actual start date and expected completion date.
17. The permittee shall notify EPD, in writing, within 30 days of any sale, conveyance, or other transfer of ownership or control of the real property subject to this permit. The permittee shall remain liable for all permit conditions and corrective actions that may be required as a result of any permit violations which occur prior to the transfer of the permit by Orange County to a subsequent owner. If applicable, no permit shall be transferred unless and until adequate financial assurance has been provided and approved by Orange County.

General Conditions:

18. Subject to the terms and conditions herein, the permittee is hereby authorized to perform or cause to be performed, the impacts shown on the application and approved drawings, plans, and other documents attached hereto or on file with EPD. The permittee binds itself and its successors to comply with the provisions and conditions of this permit. If EPD determines at any time that activities are not in accordance with the conditions of the permit, work shall cease and the permit may be revoked immediately by the Environmental Protection Officer. Notice of the revocation shall be provided to the permit holder promptly thereafter.
19. Prior to construction, the permittee shall clearly designate the limits of construction on-site. The permittee shall advise the contractor that any work outside the limits of construction, including clearing, may be a violation of this permit.
20. The permittee shall require the contractor to maintain a copy of this permit, complete with all approved drawings, plans, conditions, attachments, exhibits, and modifications in good condition at the construction site. The permittee shall require the contractor to review the permit prior to commencement of the activity authorized by this permit. The complete permit shall be available upon request by Orange County staff.
21. Issuance of this permit does not warrant in any way that the permittee has riparian or property rights to construct any structure permitted herein and any such construction is done at the sole risk of the permittee. In the event that any part of the structure(s) permitted herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent property owner's riparian or other property rights, permittee agrees to either obtain written consent or to remove the offending structure or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this permit and shall be grounds for its immediate revocation.
22. This permit does not release the permittee from complying with all other federal, state, and local laws, ordinances, rules and regulations. Specifically, this permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities upon property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 15, Article IX of the Orange County Code. If these permit conditions conflict with those of any other regulatory agency the permittee shall comply with the most stringent conditions. The permittee shall immediately notify EPD of any conflict between the conditions of this permit and any other permit or approval.
23. The permittee is hereby advised that Section 253.77, Florida Statutes (FS), states that a person may not commence any excavation, construction, or other activity involving the use of sovereignty or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

24. Should any other regulatory agency require changes to the permitted activities, the permittee shall provide written notification to EPD of the change prior to implementation so that a determination can be made whether a permit modification is required.
25. EPD shall have final construction plan approval to ensure that no modification has been made during the construction plan process.
26. The permittee shall immediately notify EPD in writing of any previously submitted information that is later discovered to be inaccurate.
27. EPD staff, with proper identification, shall have permission to enter the site at any reasonable time ensure conformity with the plans and specifications approved by the permit.
28. The permittee shall hold and save the County harmless from any and all damages, claims or liabilities, which may arise by reason of the activities authorized by the permit.
29. All costs, including attorney's fees, incurred by the County in enforcing the terms and conditions of this permit shall be required to be paid by the permittee.
30. The permittee agrees that any dispute arising from matters relating to this permit shall be governed by the laws of Florida, and initiated only in Orange County.
31. Turbidity and sediments shall be controlled to prevent violations of water quality pursuant to Rule 62-302.500, 62-302.530(70) and 62-4.242 F.A.C. Best Management Practices, as specified in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual, shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands and/or surface waters may occur due to the permitted activity. If site-specific conditions require additional measures, then the permittee shall implement them as necessary to prevent adverse impacts to wetlands and/or surface waters.
32. Pursuant to Section 125.022, FS, issuance of this permit by the County does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
33. Pursuant to Section 125.022 FS, the applicant shall obtain all other applicable state or federal permits before commencement of the activity authorized herein.

If you should have any questions concerning this review, please contact Taina Torres at 407-836-1438 or Taina.Torres@ocfl.net.

Project Manager:



Taina Torres, Environmental Specialist II

Authorized for the Orange County Environmental Protection Division by:



David D. Jones, P.E., CEP, Environmental Protection Officer

TFT/MT/TMH/VERJ/DJ/gfdj:

Enclosure(s): Construction Notice

Attachments(s): Approved Site Plans
Exhibit 1 (Enclosed Area to Be Removed)

c: Dorothea Obrien – 3324 S Lake Butler Boulevard , Windermere, FL 34786
Town of Windermere – Rsmith@town.windermere.fl.us
Brad Cornelius, Wade Trim – bcornelius@wadetrim.com
Mark Ady – South Florida Water Management District – mady@sfwmd.com



Construction Notice

Approximate Starting Date: _____

Approximate Completion Date: _____

Permit Number/Name: **BD-18-12-126, Obrien - 3324 S Lake Butler Boulevard**

Remarks:

Agent/Consultant/Permittee: _____

Date: _____

Complete and Return to:

By Email: Taina.Torres@ocfl.net

By Fax: 407-836-1499, Attn: Taina

By Mail: Orange County Environmental Protection Division

3165 McCrory Place, Suite 200

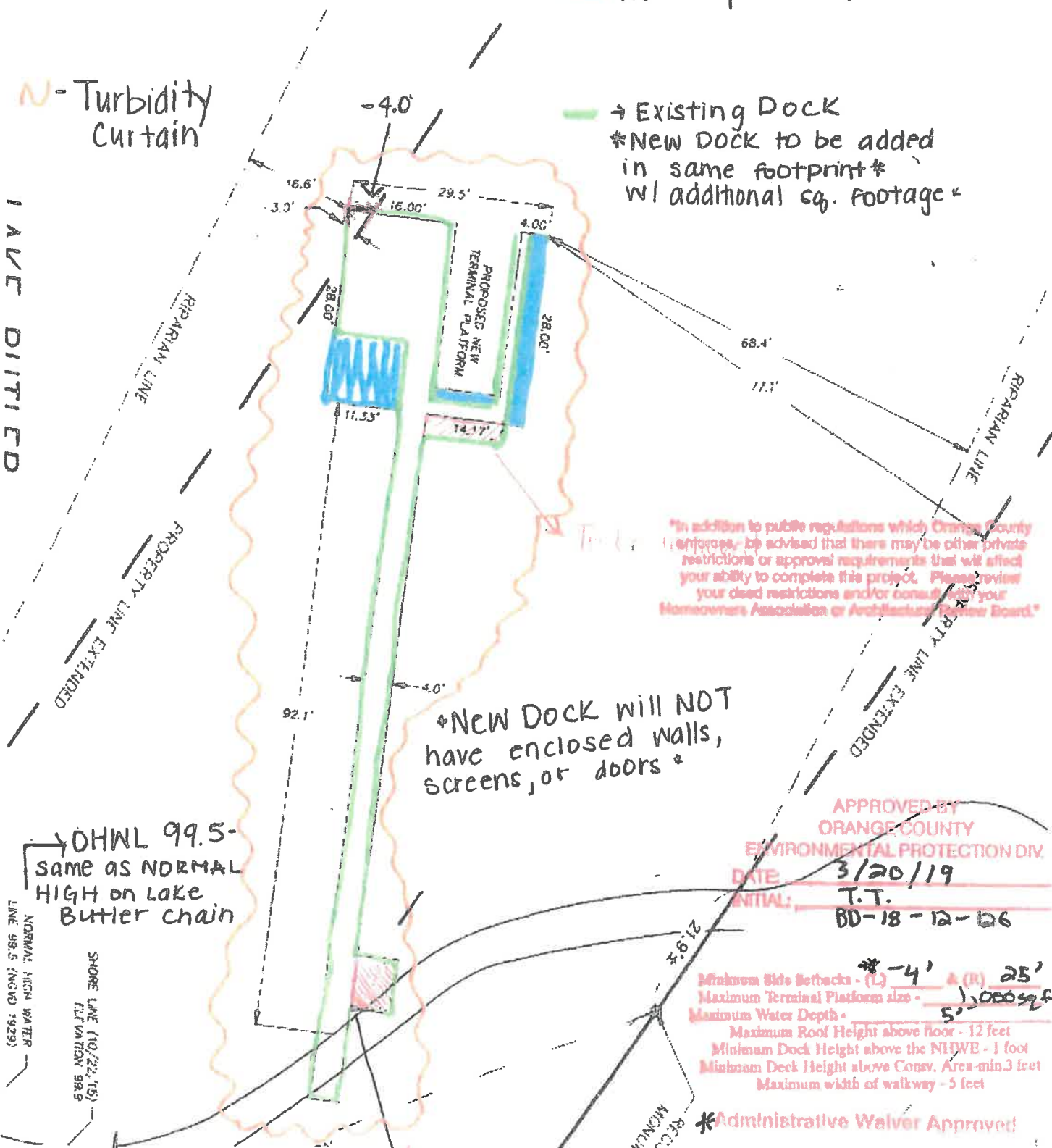
Orlando, FL 32803

— New impact

→ Existing Dock
New Dock to be added in same footprint w/ additional sq. footage

N - Turbidity Curtain

LAKE DIRTIED



In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board.

New Dock will NOT have enclosed walls, screens, or doors

→ OHWL 99.5 - same as NORMAL HIGH on LAKE Butler chain

NORMAL HIGH WATER LINE 99.5 (NGVD 1929)
SHORE LINE (10/22/15) ELEVATION 99.9

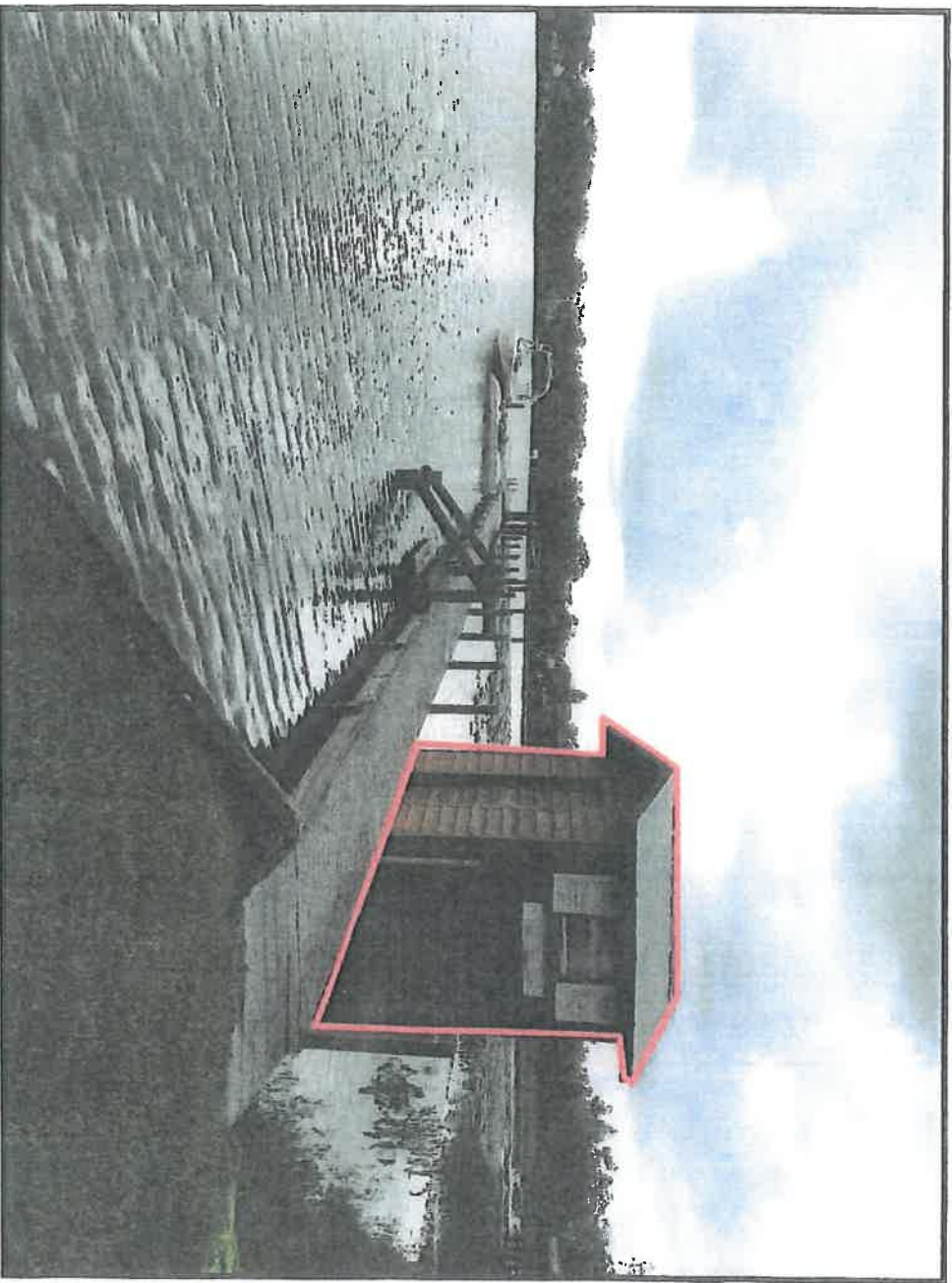
APPROVED BY ORANGE COUNTY ENVIRONMENTAL PROTECTION DIV.
DATE: 3/20/19
INITIAL: T.T.
BD-18-12-06

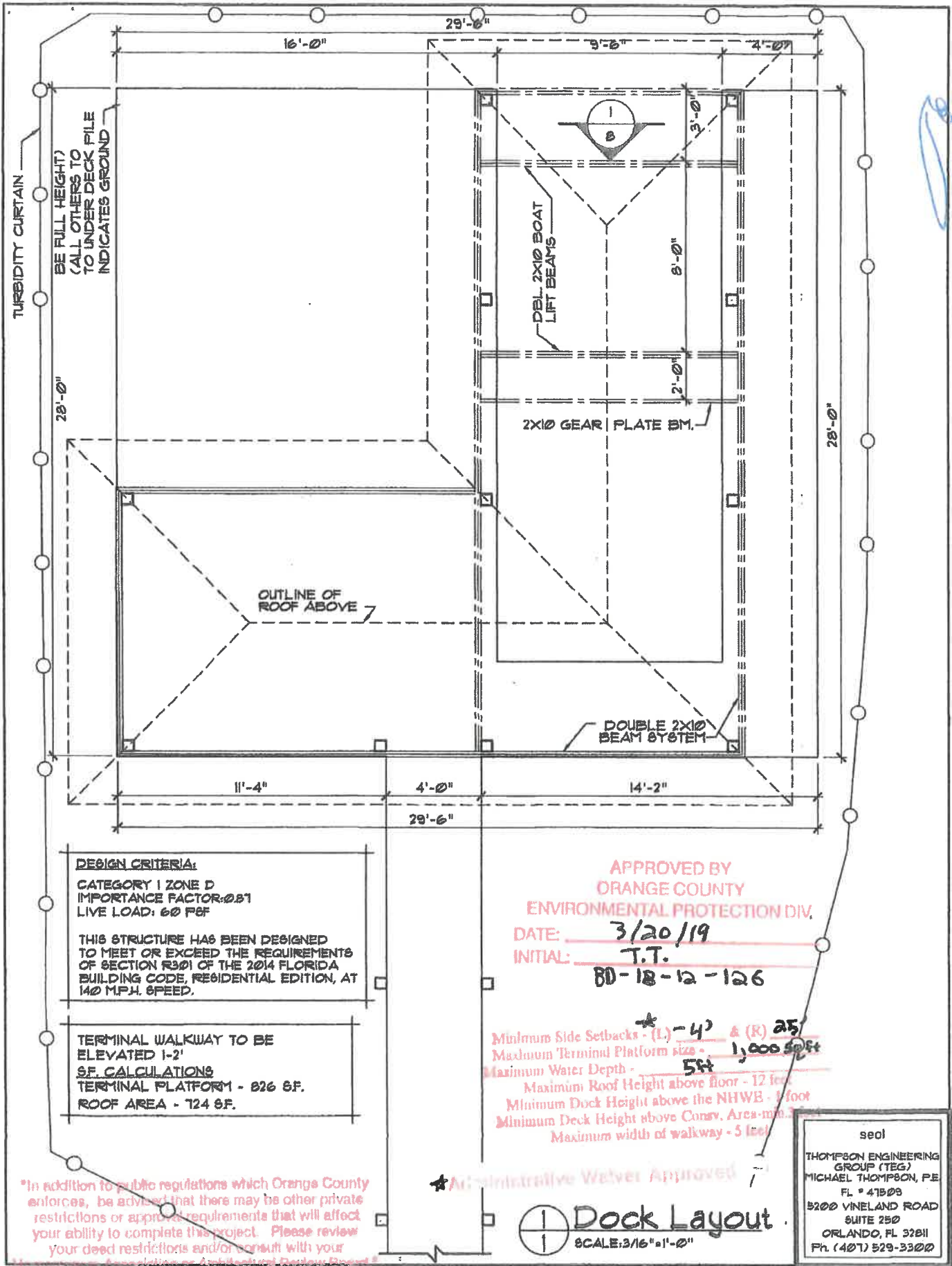
*-4' & (R) 25'
Minimum Side Setbacks - (L) 25'
Maximum Terminal Platform size - 1,000 sq. ft.
Maximum Water Depth - 5'
Maximum Roof Height above floor - 12 feet
Minimum Dock Height above the NHWL - 1 foot
Minimum Deck Height above Conserv. Area - min 3 feet
Maximum width of walkway - 5 feet

*Administrative Waiver Approved

received
2/27/19 T.T.

Exhibit 1
(Enclosed Area to Be Removed)





Handwritten blue initials/signature

DESIGN CRITERIA:
 CATEGORY I ZONE D
 IMPORTANCE FACTOR: 0.87
 LIVE LOAD: 60 PSF

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF SECTION R301 OF THE 2014 FLORIDA BUILDING CODE, RESIDENTIAL EDITION, AT 140 MPH. SPEED.

TERMINAL WALKWAY TO BE ELEVATED 1-2'
 SF. CALCULATIONS
 TERMINAL PLATFORM - 826 SF.
 ROOF AREA - 724 SF.

APPROVED BY
 ORANGE COUNTY
 ENVIRONMENTAL PROTECTION DIV.
 DATE: 3/20/19
 INITIAL: T.T.
80-18-12-126

Minimum Side Setbacks - (L) 4' & (R) 25'
 Maximum Terminal Platform size - 1,000 sq ft
 Maximum Water Depth - 5ft
 Maximum Roof Height above floor - 12 feet
 Minimum Dock Height above the NHWB - 3 foot
 Minimum Deck Height above Conv. Area - min. 2 feet
 Maximum width of walkway - 5 feet

★ Administrative Waiver Approved

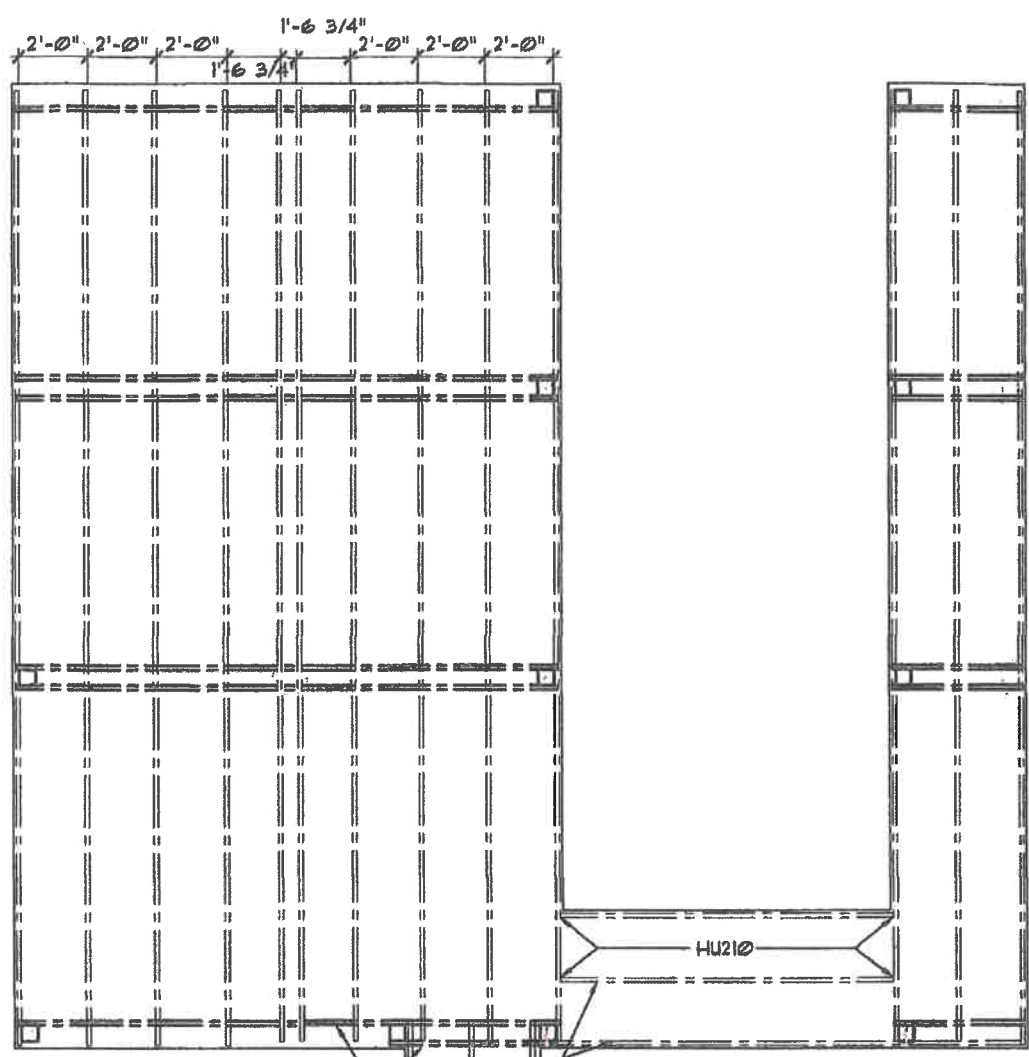
Dock Layout
 SCALE: 3/16" = 1'-0"

seal
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 47503
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 529-3300

*In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association Architectural Review Board.

DATE: 03/20/2019 09:42:02Z

1/8/19



2x8 BEAMS UNDER
(4 PERPENDICULAR)
2x8 FLOOR JOISTS

2x8 FLOOR JOISTS

APPROVED BY
ORANGE COUNTY
ENVIRONMENTAL PROTECTION DIV.

DATE: 3/20/19
INITIAL: T.T.
BD-18-12-126

Minimum Side Setbacks - (L) 4' & (R) 25'
Maximum Terminal Platform size: 5' x 1,000 sq ft
Maximum Water Depth: 5'
Maximum Roof Height above floor - 12 feet
Minimum Dock Height above the MHW: 1 foot
Minimum Deck Height above Consv. Area min 3 feet
Maximum width of walkway - 5 feet

* Administrative Waiver Approved

In addition to public regulations which Orange County
enforces, be advised that there may be other agency
restrictions or approval requirements that will affect
your ability to complete this project. Please review
your deed restrictions and/or consult with your
Homeowners Association or Architectural Review Board.*

1 Floor Joist Plan
3 SCALE: 3/16" = 1'-0"

seal
THOMPSON ENGINEERING
GROUP (TEG)
MICHAEL THOMPSON, P.E.
FL # 47509
5200 VINELAND ROAD
SUITE 250
ORLANDO, FL 32811
Ph. (407) 529-3300

JOEPD 060920-30-21022

APPROVED BY
 ORANGE COUNTY
 ENVIRONMENTAL PROTECTION DIV.
 DATE: 3/20/19
 T.T.
 80-18-12-126
 Minimum Side Setbacks (ft) - 4' - 4' & (R) 25'
 Maximum Technical Platform size - 5' x 1000 sq ft
 Maximum Roof Height above floor - 12 feet
 Minimum Back Height above the NIMR - 1 foot
 Minimum Back Height above Conserv. Area - 3 feet
 Maximum width of walkway - 5 feet
 Administrative Valuer Approval

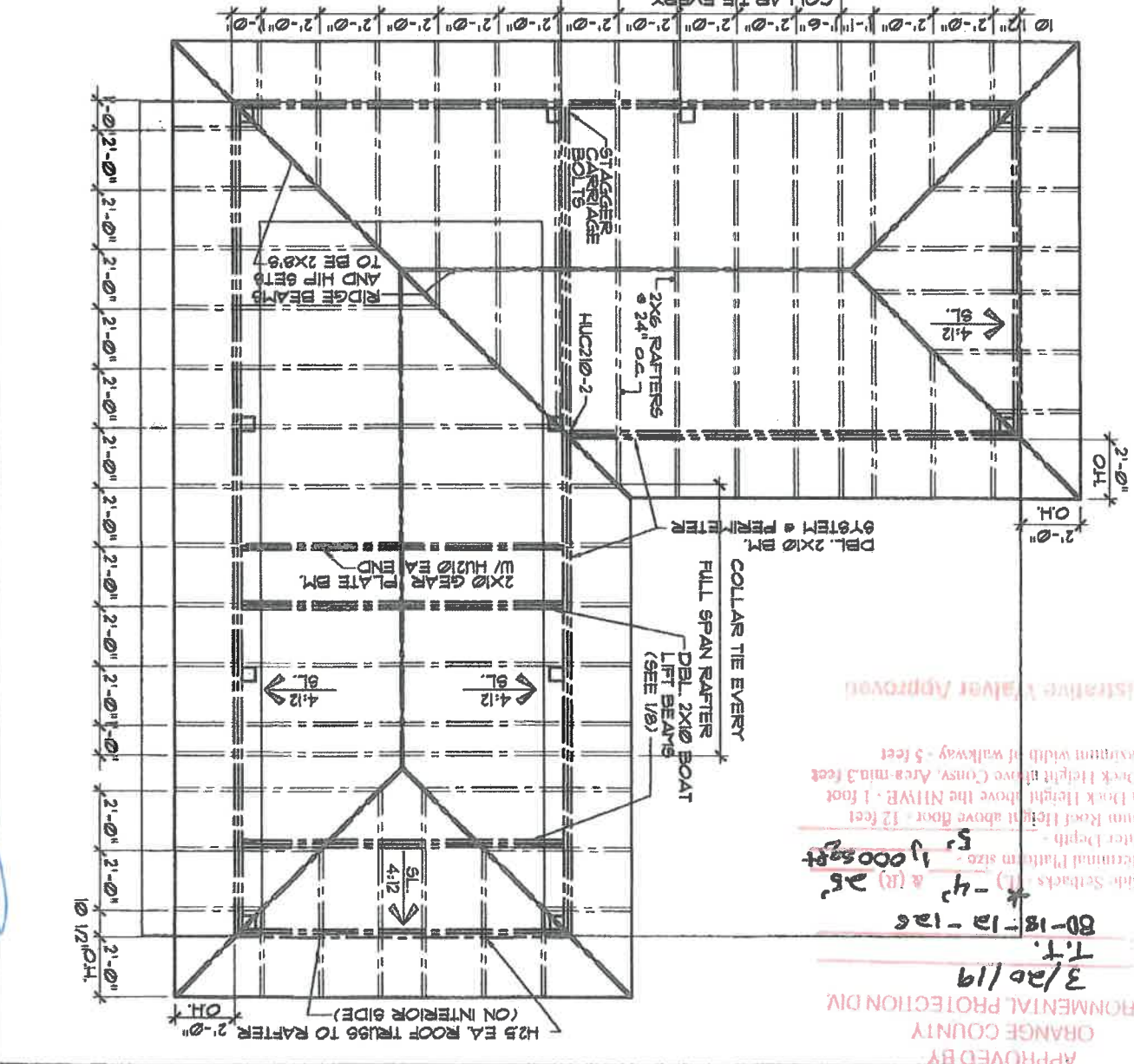
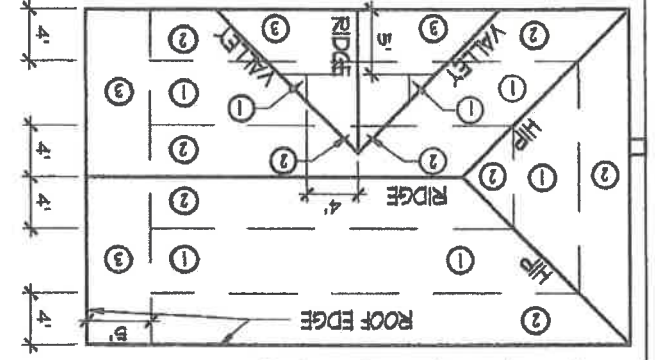
In addition to public regulations which Orange County
 agencies, be advised that there may be other private
 restrictions or approval requirements that will affect
 your ability to complete this project. Please review
 your deed restrictions and/or consult with your
 Homeowners Association or Architectural Review Board.

NOTES:
 1- NAILS TO BE MFG. OF INT. STAPLE, NAIL
 AND TOOL ASSOCIATION
 2- GUN NAILS SHALL BE PERMITTED AS AN
 ACCEPTABLE FASTENER PER ANY MANUF. & F.B.C.

SIZE	HEAD	LENGTH	DIA. TENSIL STR.
8d	ROUND, MODIFIED OR 1	1 1/2"	131 110,000
10d	"	1 3/4" OR 3"	148 110,000

NAIL REQUIREMENTS:

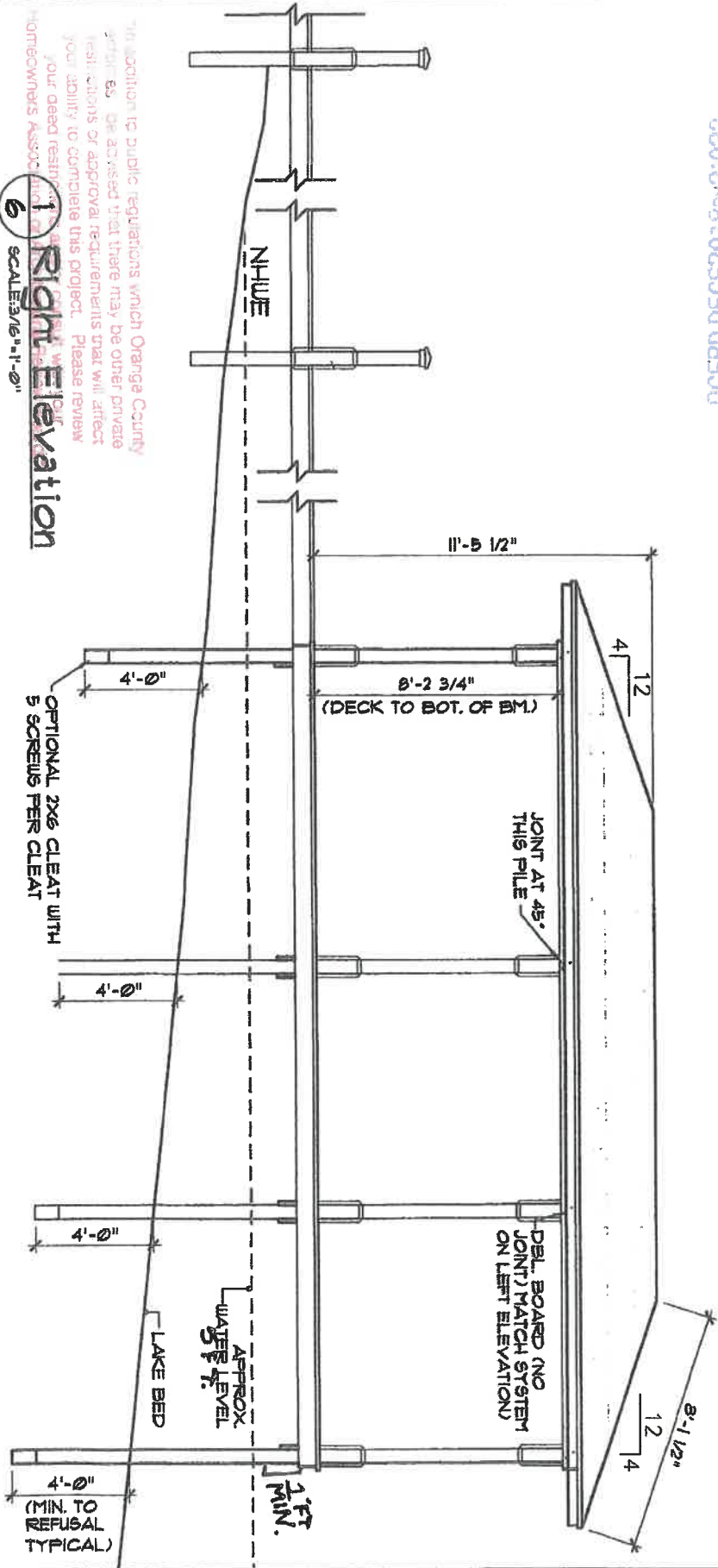
1- USE 8d NAILS @ 6" (EDGE), 12" O.C. (FIELD)
 2- USE 8d NAILS @ 4" (EDGE), 6" O.C. (FIELD)
 3- USE 8d NAILS @ 4" O.C.
ROOF NAILING PATTERN



00520 0E052018-21032

Handwritten initials/signature

780:2nd St. O290300 06300



1 Right Elevation
 SCALE: 3/16" = 1'-0"

In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your deed restrictions. Please review your deed restrictions with your attorney or the Homeowners Association.

Seal
 THOMPSON ENGINEERING
 GROUP, INC.
 MICHAEL THOMPSON, P.E.
 FL. # 41503
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 PH. (407) 529-3300

APPROVED BY
 ORANGE COUNTY
 ENVIRONMENTAL PROTECTION DIV.

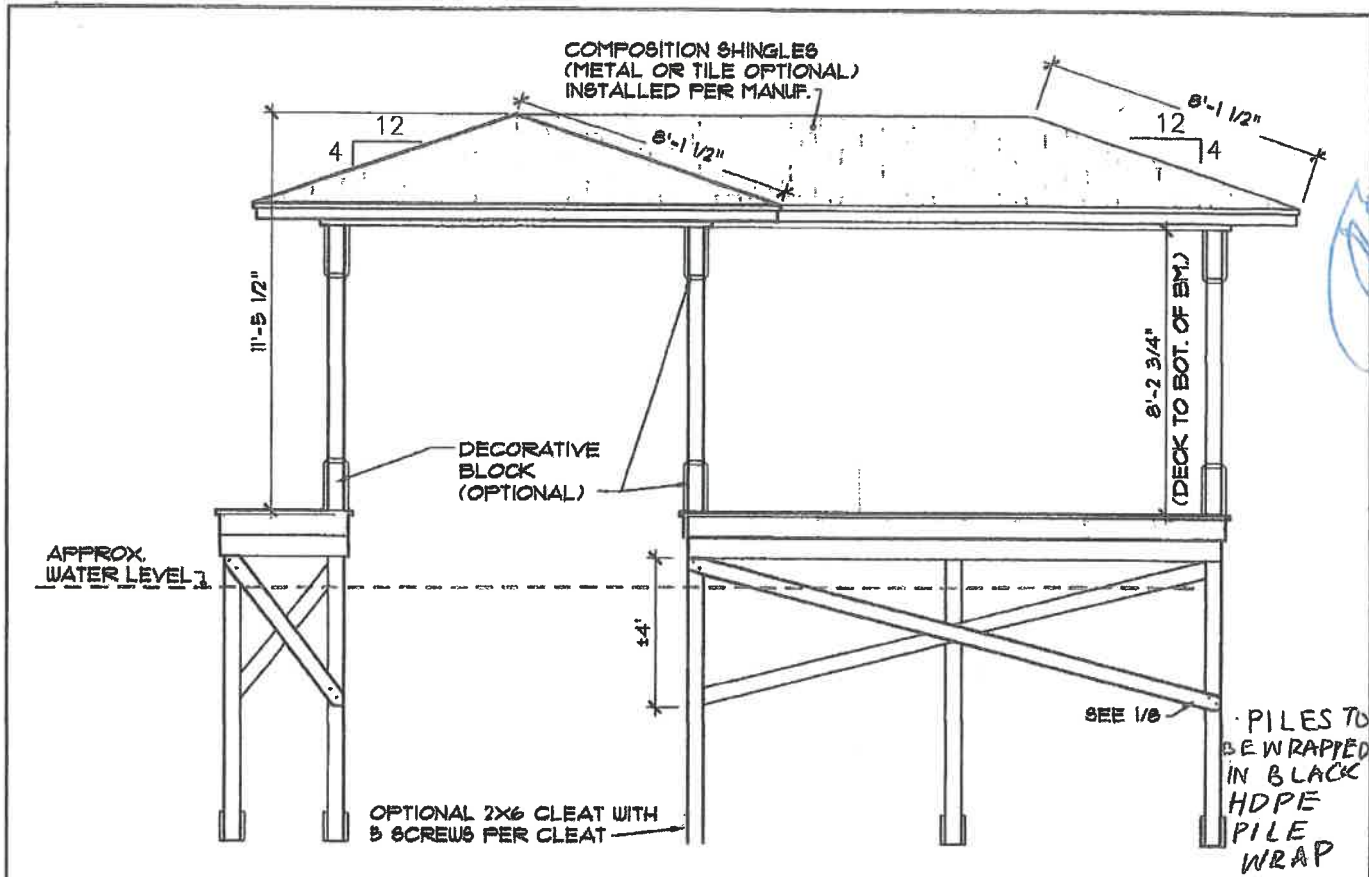
DATE: 3/30/19

T.T.
 BD-18-12-126

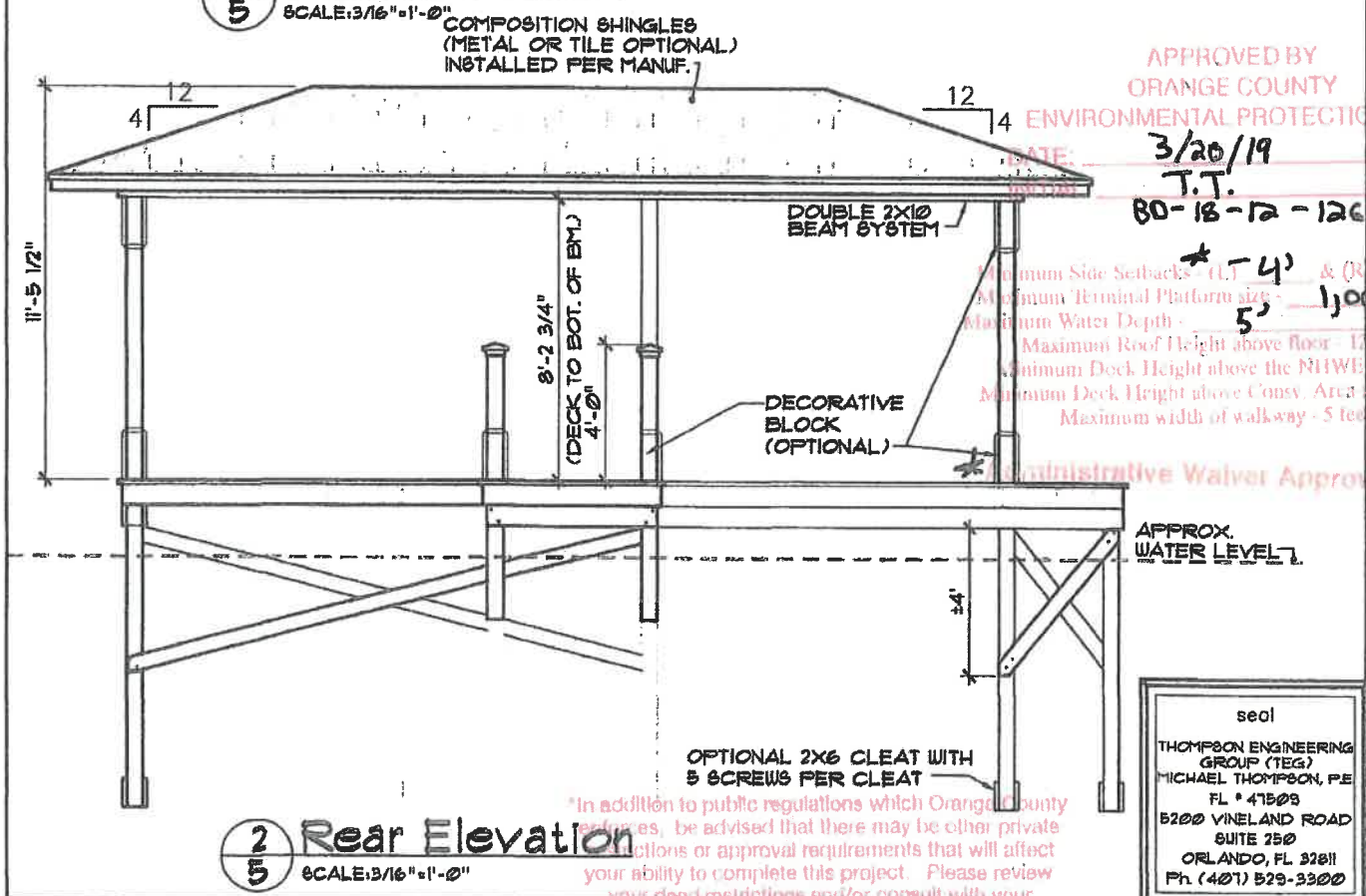
- Minimum Side Setbacks - 10' (R) 25'
- Maximum Terminate Platform - 5'
- Maximum Water Depth - 5', 1,000 sq ft
- Maximum Roof Height above floor - 10 feet
- Minimum Dock Height above the NHWB - 1 foot
- Minimum Deck Height above Const. Area - 3 feet
- Maximum width of walkway - 5 feet

APPROVED

Handwritten signature and date: 3/30/19



1 Front Elevation
5 SCALE: 3/16" = 1'-0"



2 Rear Elevation
5 SCALE: 3/16" = 1'-0"

APPROVED BY
 ORANGE COUNTY
 ENVIRONMENTAL PROTECTION DIV.

DATE: 3/20/19
 T.T.
 80-18-12-126

- Minimum Side Setbacks (L) & (R) 25'
- Minimum Terminal Platform size - 1,000 sq ft
- Maximum Water Depth - 5'
- Maximum Roof Height above floor - 15 feet
- Minimum Deck Height above the MHW - 1 foot
- Minimum Deck Height above Consy. Area min. 3 feet
- Maximum width of walkway - 5 feet

Administrative Waiver Approval

seal

THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 47503
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 529-3300

In addition to public regulations which Orange County enforces, be advised that there may be other private regulations or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your Homeowners Association or Architectural Review Board.

OCEPD DECS2019-027-032

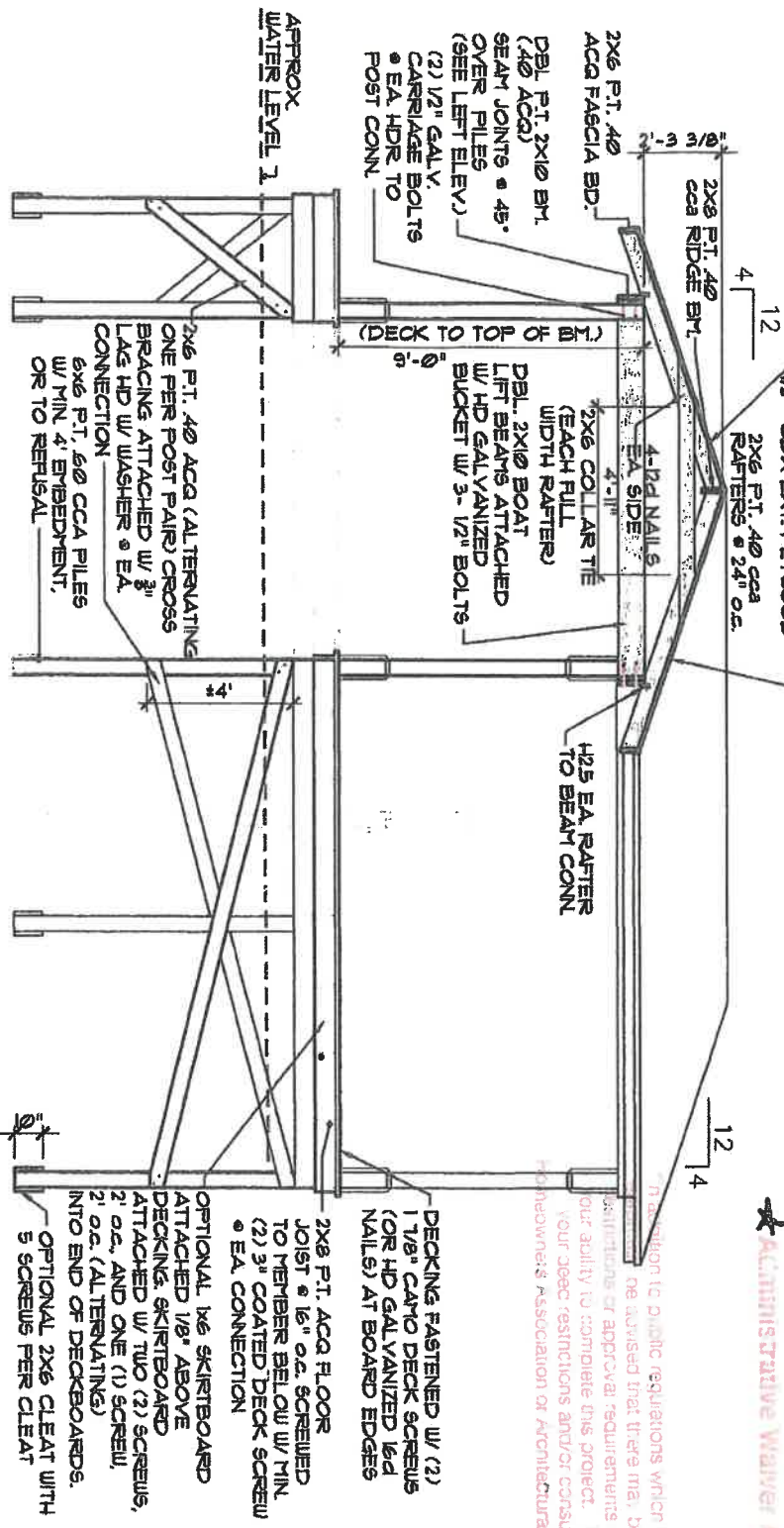
28072481025030G (02E30)

COMPOSITION SHINGLES
 METAL OR CERAMIC
 TILE (OPTIONAL)
 INSTALLED AS PER MANUF.
 OVER MIN. MIN. 1/2" FELT

APPROVED BY
 ORANGE COUNTY
 ENVIRONMENTAL PROTECTION DIV.
 DATE: 3/20/19
 INITIAL: T.T.
 80-18-12-126

* Maximum side Soffit - 11' - 4"
 Maximum Terminal Pylon height - 5'
 Maximum Roof Height above floor - 12 feet
 Minimum Deck height above the MLWE - 1 foot
 Minimum Deck Height above Class 1 Acre-Quand Test
 Maximum width of walkway - 3 feet

* Administrative Waiver Approved



DECKING FASTENED W/ (2) 1 1/8" CANTO DECK SCREWS (OR HD GALVANIZED Ld NAILS) AT BOARD EDGES

2x6 P.T. ACQ FLOOR JOIST @ 16" o.c. SCREWED TO MEMBER BELOW W/ MIN. (2) 3" COATED DECK SCREW @ EA CONNECTION

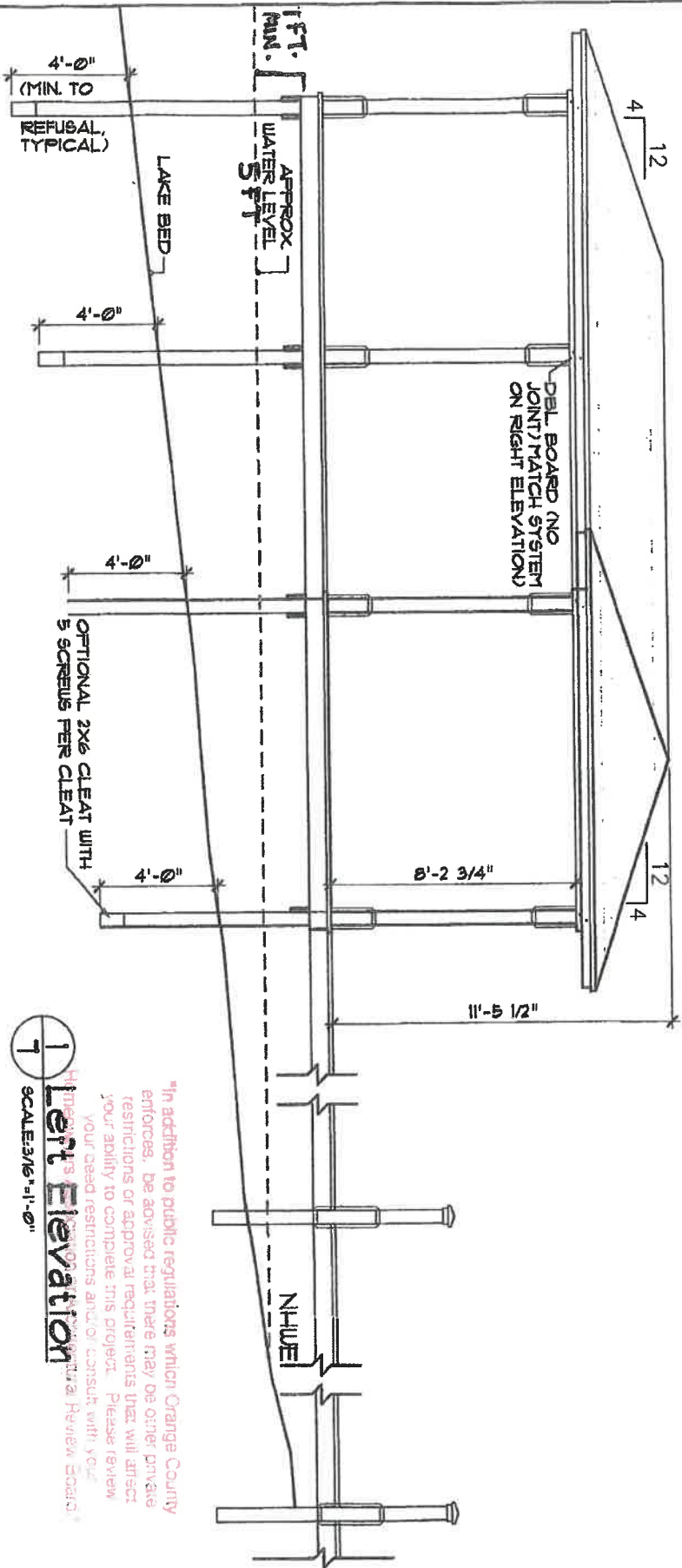
OPTIONAL 1x6 SKIRTBOARD ATTACHED 1/8" ABOVE DECKING. SKIRTBOARD ATTACHED W/ TWO (2) SCREWS, 2' o.c. AND ONE (1) SCREW, 2' o.c. (ALTERNATING) INTO END OF DECKBOARDS.

OPTIONAL 2x6 CLEAT WITH 5 SCREWS PER CLEAT

1 Building Section
 8 SCALE 3/16" = 1'-0"

THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL. # 415609
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL. 32811
 PH. (407) 528-3300

[Handwritten signature]



73072481029300 04300

SE01

THOMPSON ENGINEERING GROUP (TEG)
MICHAEL THOMPSON, P.E.
FL # 47509
5020 VINELAND ROAD
SUITE 250
ORL ANDO, FL 32811
Ph: (407) 525-3300

APPROVED BY
ORANGE COUNTY
ENVIRONMENTAL PROTECTION DIV.

DATE: 3/20/19

INITIAL: T.T. 0D-18-12-126

- Minimum Side Setback - 12' ***-4'** & (R) **25'**
- Maximum Terminal Platform size - **5,000 sq ft**
- Maximum Water Depth - **5'**
- Maximum Roof Height above floor - 12 feet
- Minimum Deck Height above the NHWE - 1 foot
- Minimum Deck Height above Conv. Area - min 3 feet
- Minimum width of walkway - 5 feet

1
SCALE: 3/16" = 1'-0"

"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approval requirements that will affect your ability to complete this project. Please review your deed restrictions and/or consult with your attorney or the Orange County Environmental Review Board."

DATE WAIVER APPROVED

[Handwritten signature]

DOCK PLANS

10/17

Nadolski's Boat Dock

Prepared For

Q-ICE Builders

Prepared By

 **THOMPSON ENGINEERING GROUP, INC**

Engineer: Michael Thompson, MSc, P.E. (#47509)

4401 Vineland Road, Suite 46

Orlando, Florida 32811

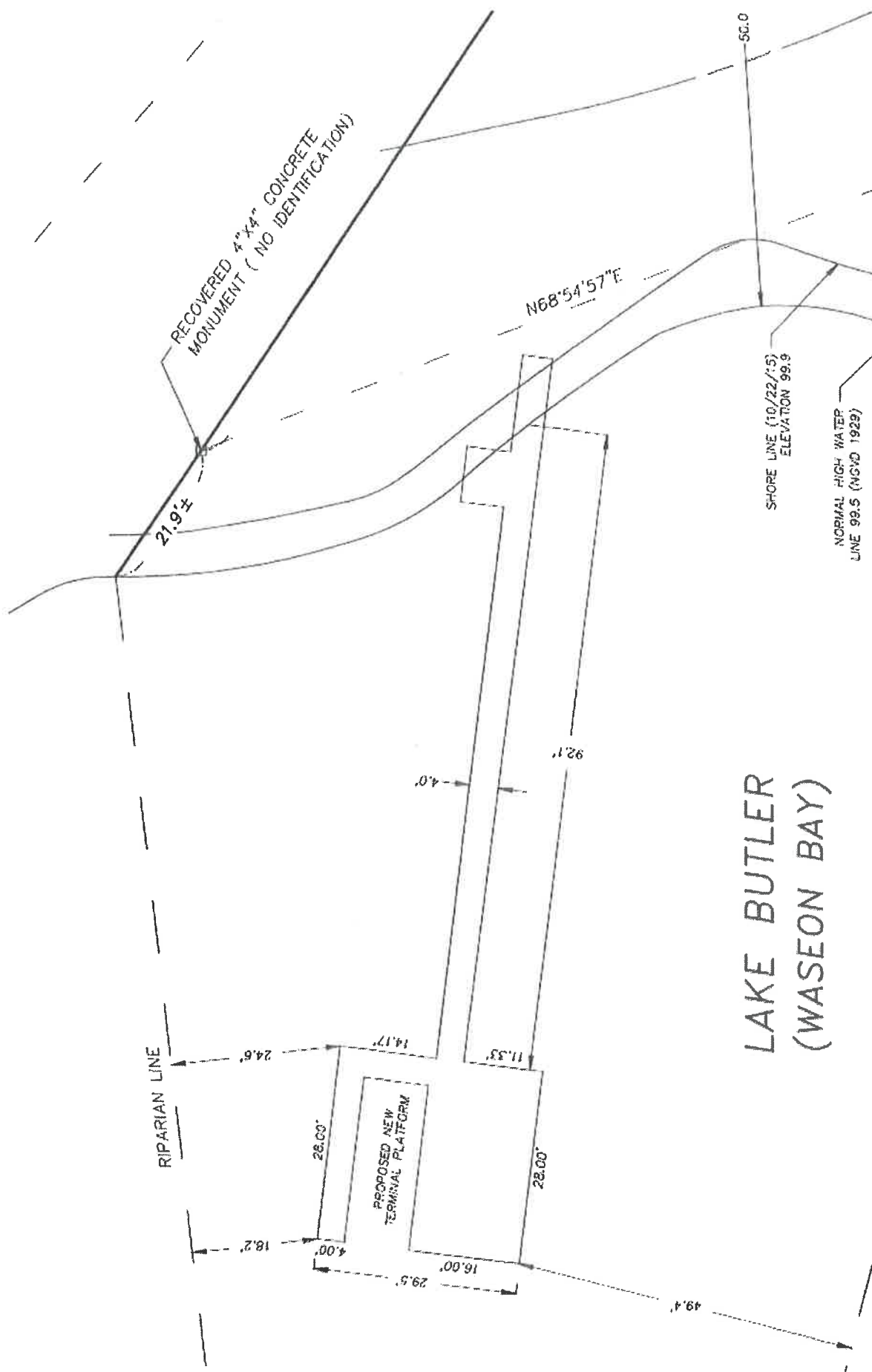
Ph: 407-529-3306

Fax: 407-529-3306

Certificate of Authorization No. 30060

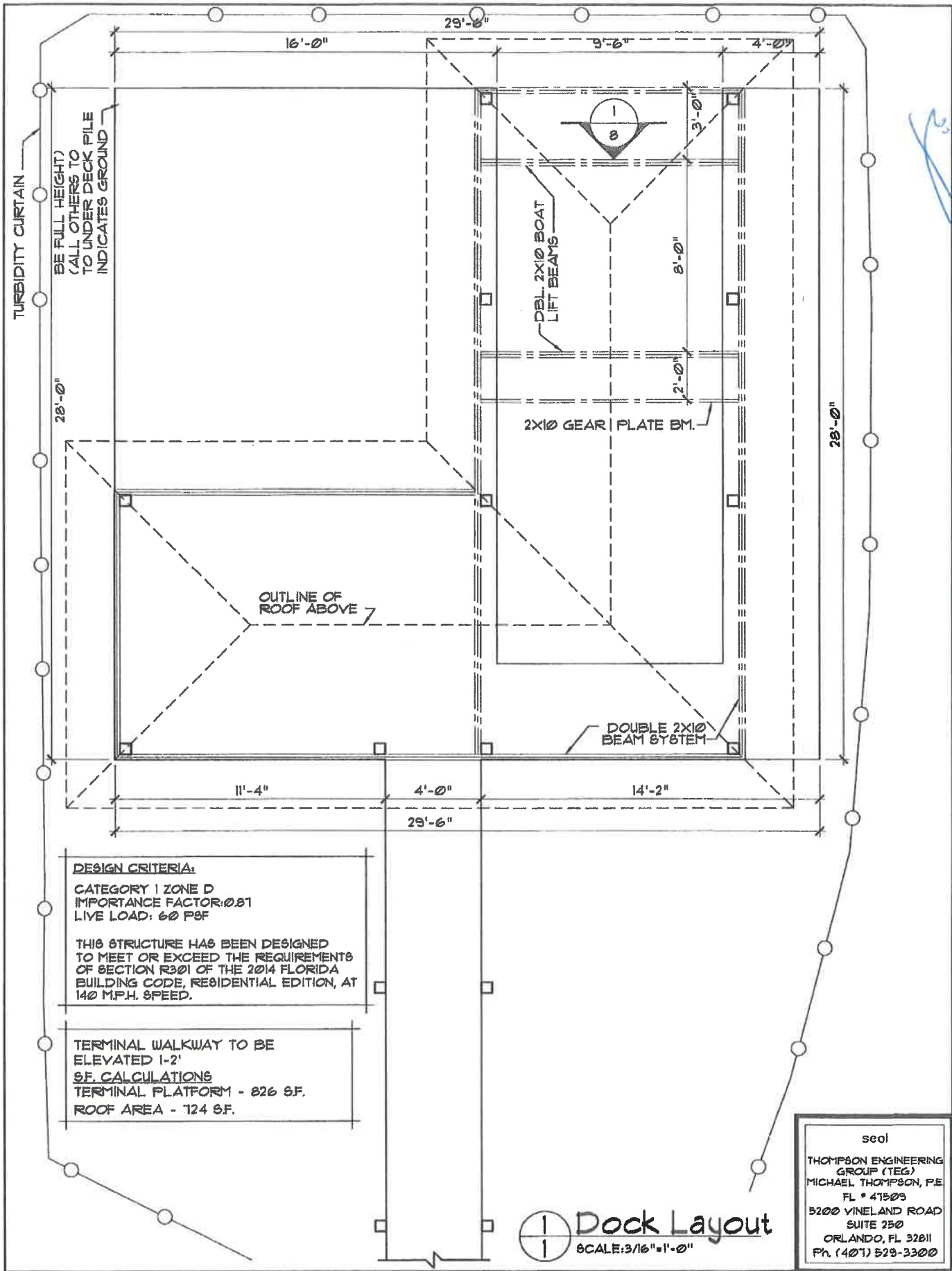
www.thompsoneng.com

August 7, 2017



LAKE BUTLER (WASEON BAY)

Handwritten signature



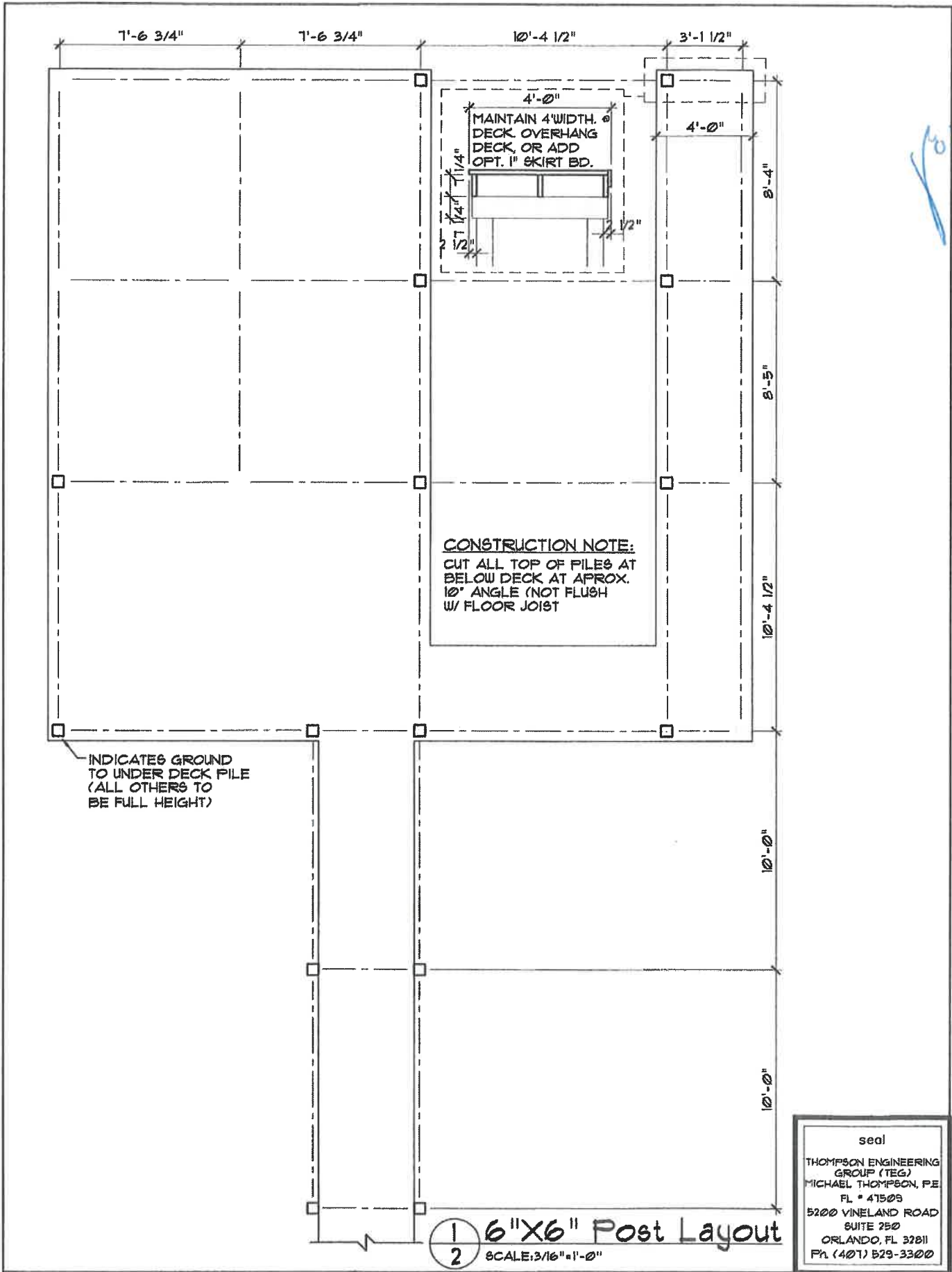
DESIGN CRITERIA:
 CATEGORY I ZONE D
 IMPORTANCE FACTOR: 0.87
 LIVE LOAD: 60 PSF

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF SECTION R301 OF THE 2014 FLORIDA BUILDING CODE, RESIDENTIAL EDITION, AT 140 M.P.H. SPEED.

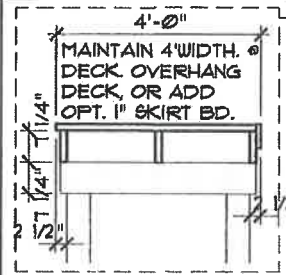
TERMINAL WALKWAY TO BE ELEVATED 1'-2"
 SF. CALCULATIONS
 TERMINAL PLATFORM - 826 SF.
 ROOF AREA - 124 SF.

Dock Layout
 SCALE: 3/16" = 1'-0"

seol
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 47505
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 528-3300



10/17



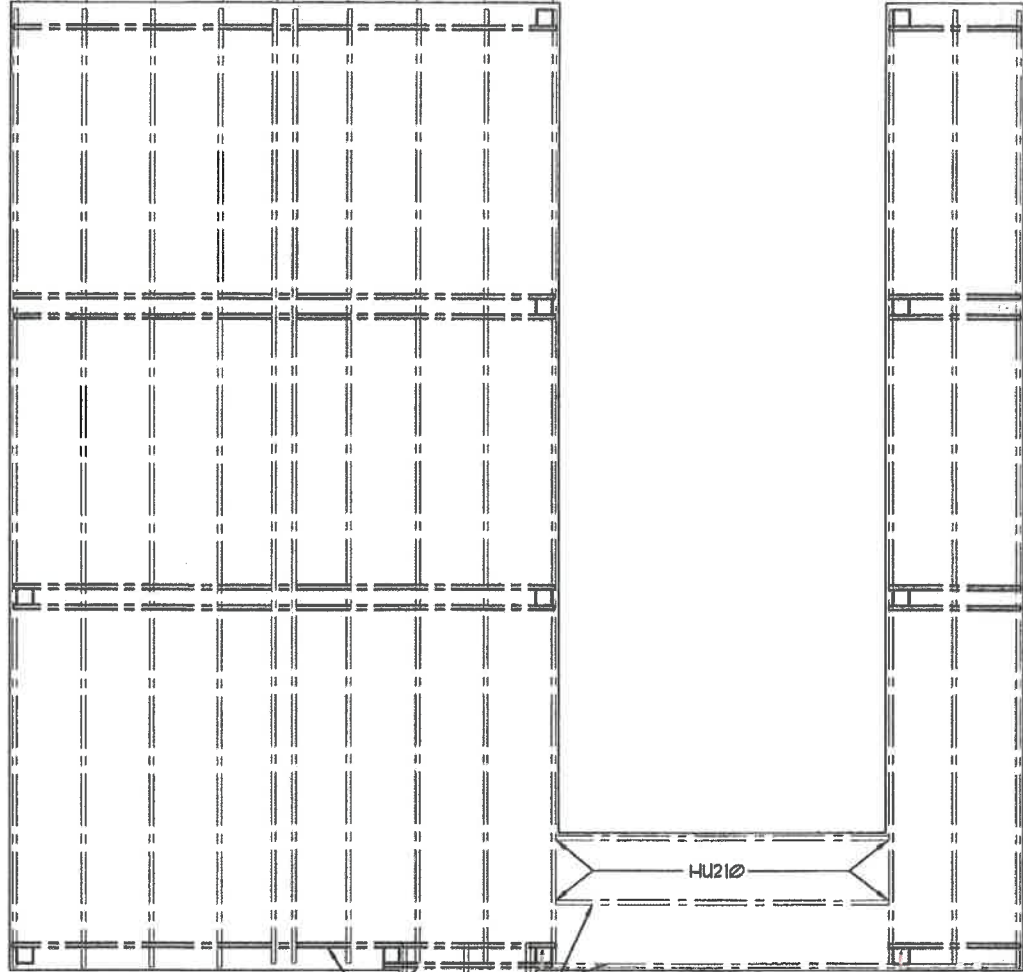
CONSTRUCTION NOTE:
 CUT ALL TOP OF PILES AT
 BELOW DECK AT APPROX.
 10° ANGLE (NOT FLUSH
 W/ FLOOR JOIST)

INDICATES GROUND
 TO UNDER DECK PILE
 (ALL OTHERS TO
 BE FULL HEIGHT)

1 6"X6" Post Layout
 2 SCALE: 3/16" = 1'-0"

seal
 THOMPSON ENGINEERING
 GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 47509
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 PH (407) 529-3300

2'-0" 2'-0" 2'-0" 1'-6 3/4" 2'-0" 2'-0" 2'-0"



10/1/14

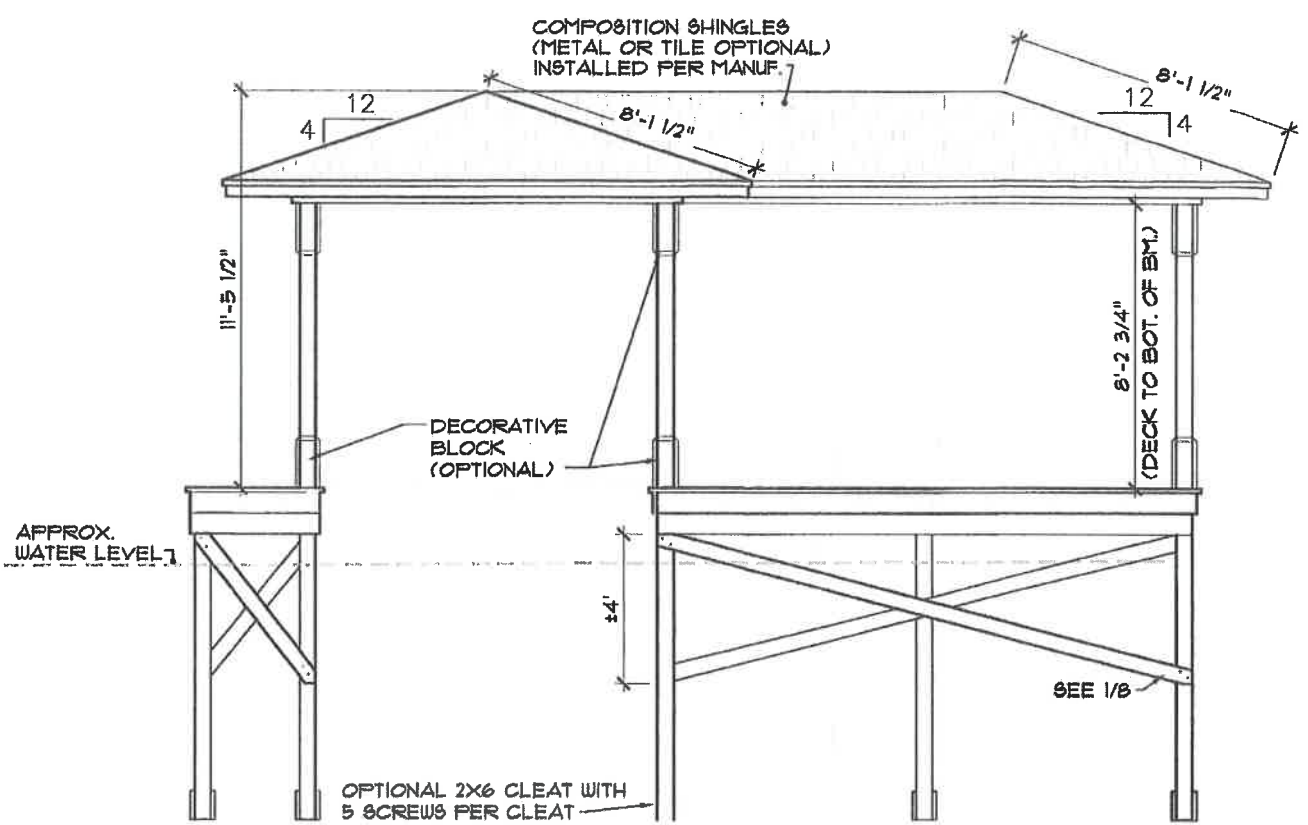
2x8 BEAMS UNDER
(& PERPENDICULAR)
2x8 FLOOR JOISTS

2x8 FLOOR JOISTS

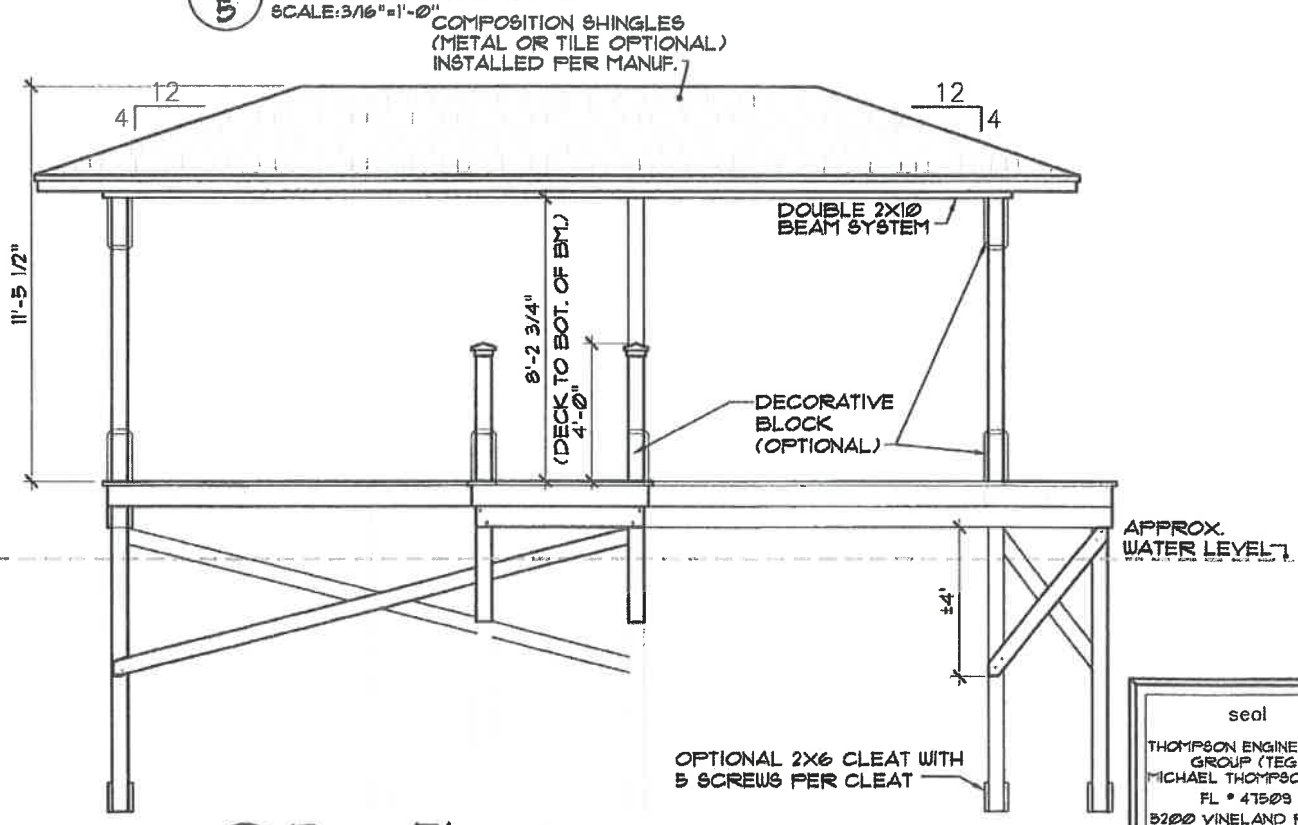
1 Floor Joist Plan
3 SCALE: 3/16" = 1'-0"

seal
THOMPSON ENGINEERING
GROUP (TEG)
MICHAEL THOMPSON, P.E.
FL # 41509
5200 VINELAND ROAD
SUITE 250
ORLANDO, FL 32811
Ph. (407) 529-3300

1/30/17

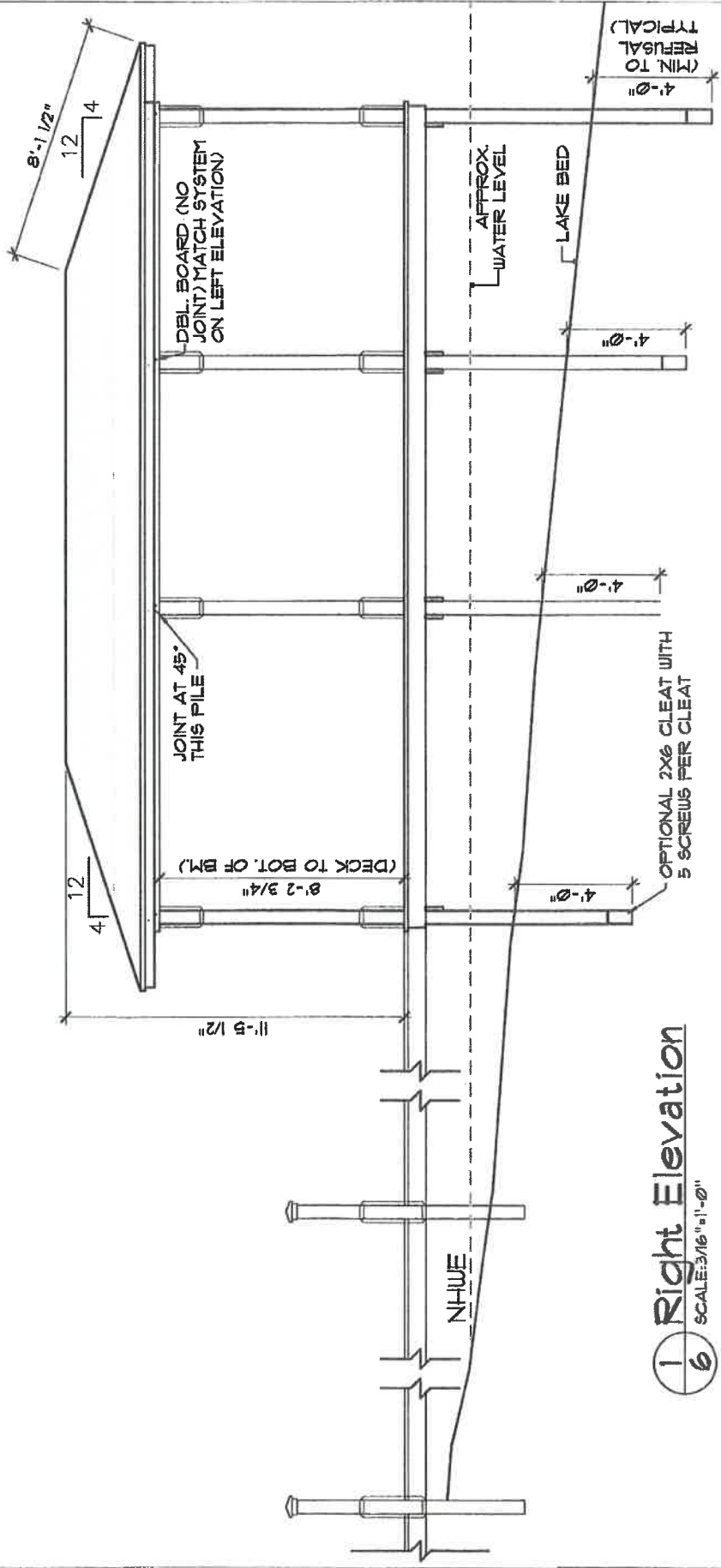


1 Front Elevation
5 SCALE: 3/16" = 1'-0"



2 Rear Elevation
5 SCALE: 3/16" = 1'-0"

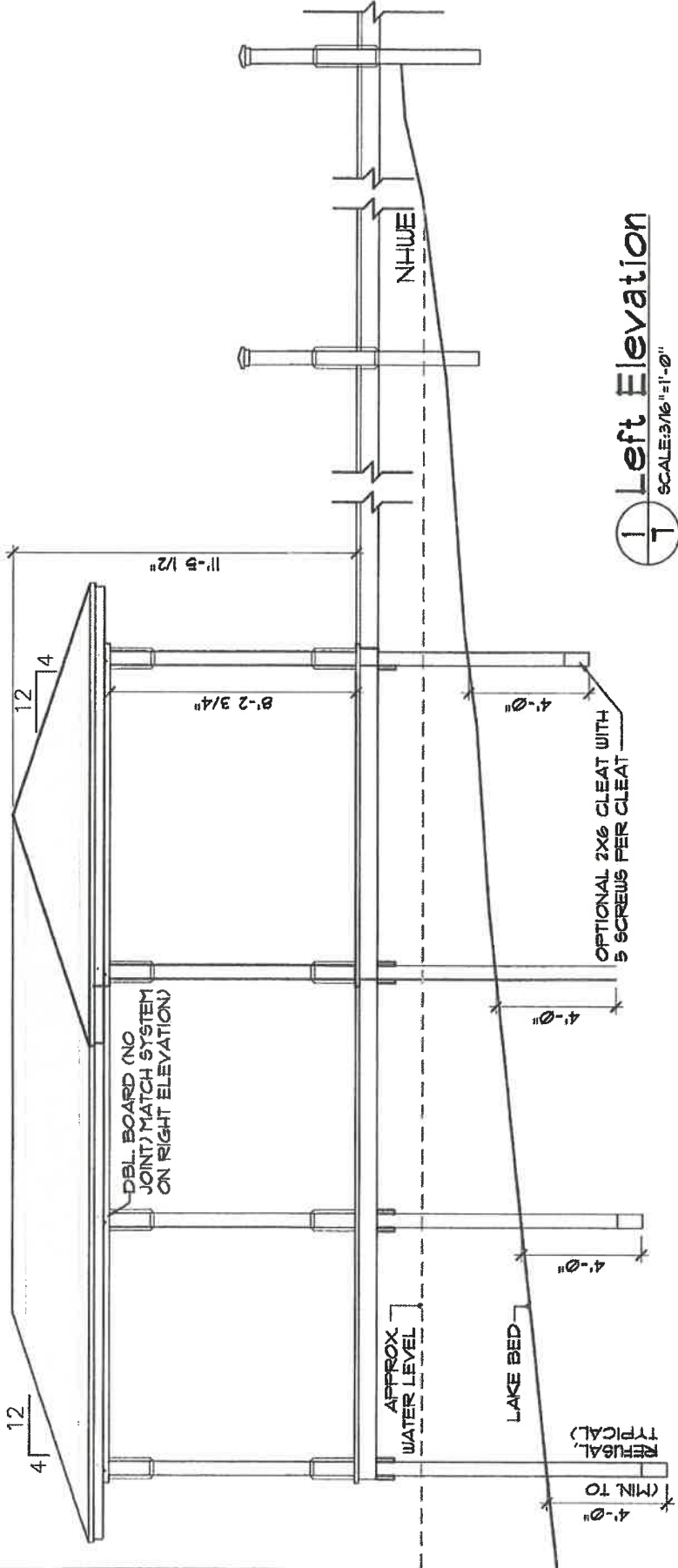
seal
 THOMPSON ENGINEERING GROUP (TEG)
 MICHAEL THOMPSON, P.E.
 FL # 41503
 5200 VINELAND ROAD
 SUITE 250
 ORLANDO, FL 32811
 Ph. (407) 529-3300



1/6 Right Elevation
SCALE 3/16" = 1'-0"

Handwritten signature/initials in blue ink.

seal THOMPSON ENGINEERING GROUP (TEGG) MICHAEL THOMPSON, P.E. FL # 47503 5200 VINELAND ROAD SUITE 250 ORLANDO, FL 32811 PH. (407) 529-3300
--



1 Left Elevation
SCALE: 3/16" = 1'-0"

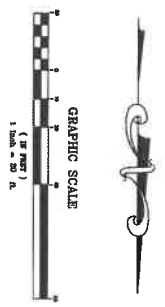
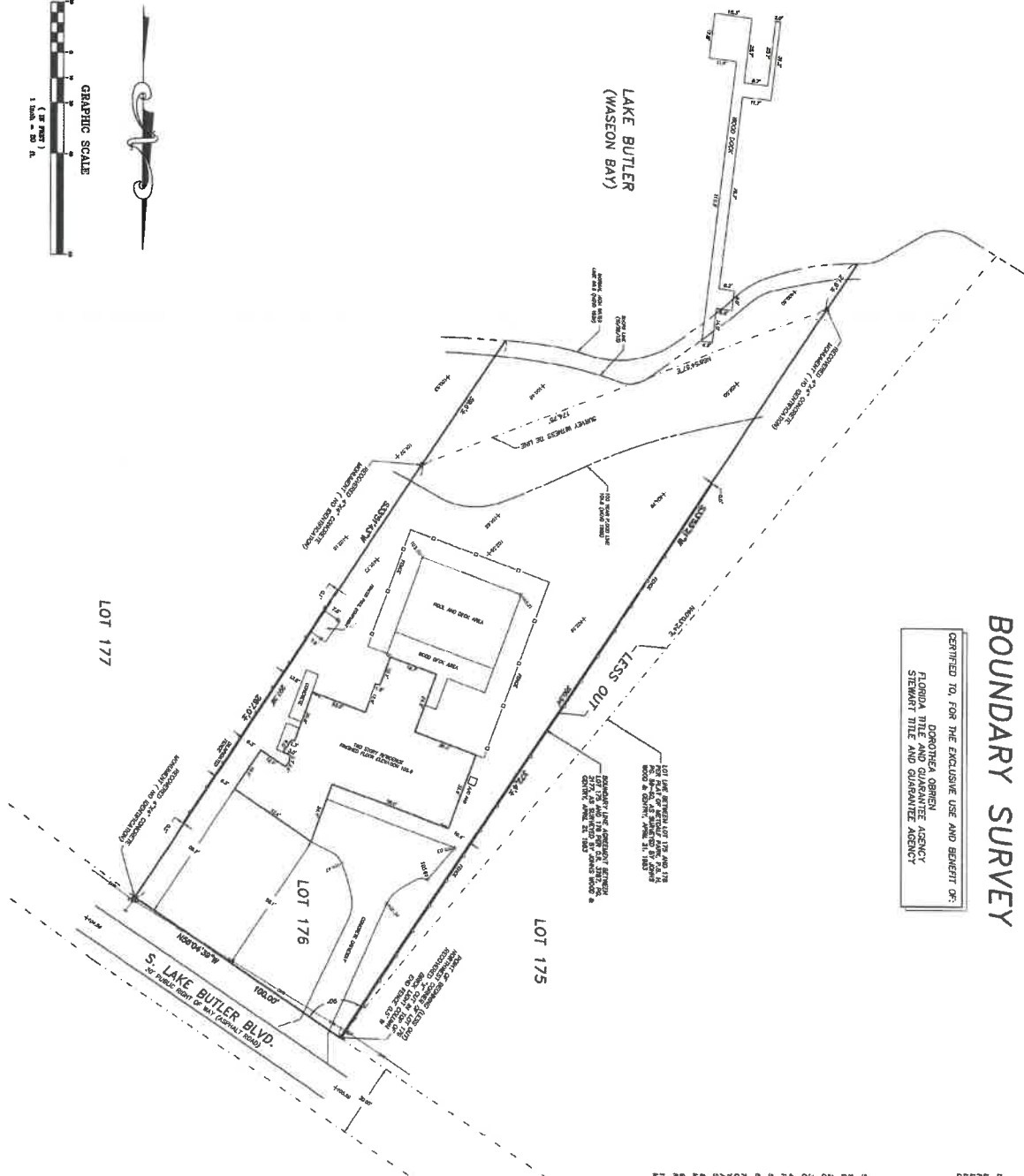
Handwritten signature

see1

THOMPSON ENGINEERING GROUP (TEG)
MICHAEL THOMPSON, PE
FL. # 47508
5200 VINELAND ROAD
SUITE 250
ORLANDO, FL 32811
Ph. (407) 329-3300

BOUNDARY SURVEY

CERTIFIED TO FOR THE EXCLUSIVE USE AND BENEFIT OF:
 DOROTHA ORRIN
 FLORIDA TITLE AND GUARANTEE AGENCY
 STEWART TITLE AND GUARANTEE AGENCY



ACCORDING TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE ACCURATELY AND TRULY REPRESENTED THE FACTS AND CONDITIONS OF THE SURVEY AND THE INTERESTS OF THE PARTIES THEREIN. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE OF ANY KIND FOR THIS SURVEY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEE OF THE SURVEYOR.

- SHORTER NOTES:**
1. LOT 177 WAS SURVEYED BY THE SURVEYOR AND THE ORIGINAL PLATED SURVEY OF A FLORIDA SURVEYOR HAS BEEN RECORDED IN THE PUBLIC RECORDS.
 2. THE SURVEYOR HAS NOT ASSUMED ANY LIABILITY FOR THE RESULTS OF THIS SURVEY.
 3. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)
 4. UNDEVELOPED EASEMENTS AND ENCUMBRANCES HAVE NOT BEEN LOCATED.
 5. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)
 6. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)
 7. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)
 8. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)
 9. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)
 10. THE SURVEYOR HAS NOT CONDUCTED A RE-CORRELATION OF THE EXISTING FIELD CONDITIONS FOR THE PROPERTY LINE. (RECORDS SHOW VARIATION AS SHOWN IN THE DRAWING.)

LEGEND:

1. BOUNDARY LINE	1. BOUNDARY LINE
2. EASEMENT	2. EASEMENT
3. ENCUMBRANCE	3. ENCUMBRANCE
4. SURVEY MARKER	4. SURVEY MARKER
5. CORNER	5. CORNER
6. ADJACENT PROPERTY	6. ADJACENT PROPERTY
7. ROAD	7. ROAD
8. WATER	8. WATER
9. FENCE	9. FENCE
10. UNDEVELOPED EASEMENT	10. UNDEVELOPED EASEMENT
11. ENCUMBRANCE	11. ENCUMBRANCE
12. SURVEY MARKER	12. SURVEY MARKER
13. CORNER	13. CORNER
14. ADJACENT PROPERTY	14. ADJACENT PROPERTY
15. ROAD	15. ROAD
16. WATER	16. WATER
17. FENCE	17. FENCE
18. UNDEVELOPED EASEMENT	18. UNDEVELOPED EASEMENT
19. ENCUMBRANCE	19. ENCUMBRANCE
20. SURVEY MARKER	20. SURVEY MARKER
21. CORNER	21. CORNER
22. ADJACENT PROPERTY	22. ADJACENT PROPERTY
23. ROAD	23. ROAD
24. WATER	24. WATER
25. FENCE	25. FENCE
26. UNDEVELOPED EASEMENT	26. UNDEVELOPED EASEMENT
27. ENCUMBRANCE	27. ENCUMBRANCE
28. SURVEY MARKER	28. SURVEY MARKER
29. CORNER	29. CORNER
30. ADJACENT PROPERTY	30. ADJACENT PROPERTY
31. ROAD	31. ROAD
32. WATER	32. WATER
33. FENCE	33. FENCE
34. UNDEVELOPED EASEMENT	34. UNDEVELOPED EASEMENT
35. ENCUMBRANCE	35. ENCUMBRANCE
36. SURVEY MARKER	36. SURVEY MARKER
37. CORNER	37. CORNER
38. ADJACENT PROPERTY	38. ADJACENT PROPERTY
39. ROAD	39. ROAD
40. WATER	40. WATER
41. FENCE	41. FENCE
42. UNDEVELOPED EASEMENT	42. UNDEVELOPED EASEMENT
43. ENCUMBRANCE	43. ENCUMBRANCE
44. SURVEY MARKER	44. SURVEY MARKER
45. CORNER	45. CORNER
46. ADJACENT PROPERTY	46. ADJACENT PROPERTY
47. ROAD	47. ROAD
48. WATER	48. WATER
49. FENCE	49. FENCE
50. UNDEVELOPED EASEMENT	50. UNDEVELOPED EASEMENT
51. ENCUMBRANCE	51. ENCUMBRANCE
52. SURVEY MARKER	52. SURVEY MARKER
53. CORNER	53. CORNER
54. ADJACENT PROPERTY	54. ADJACENT PROPERTY
55. ROAD	55. ROAD
56. WATER	56. WATER
57. FENCE	57. FENCE
58. UNDEVELOPED EASEMENT	58. UNDEVELOPED EASEMENT
59. ENCUMBRANCE	59. ENCUMBRANCE
60. SURVEY MARKER	60. SURVEY MARKER
61. CORNER	61. CORNER
62. ADJACENT PROPERTY	62. ADJACENT PROPERTY
63. ROAD	63. ROAD
64. WATER	64. WATER
65. FENCE	65. FENCE
66. UNDEVELOPED EASEMENT	66. UNDEVELOPED EASEMENT
67. ENCUMBRANCE	67. ENCUMBRANCE
68. SURVEY MARKER	68. SURVEY MARKER
69. CORNER	69. CORNER
70. ADJACENT PROPERTY	70. ADJACENT PROPERTY
71. ROAD	71. ROAD
72. WATER	72. WATER
73. FENCE	73. FENCE
74. UNDEVELOPED EASEMENT	74. UNDEVELOPED EASEMENT
75. ENCUMBRANCE	75. ENCUMBRANCE
76. SURVEY MARKER	76. SURVEY MARKER
77. CORNER	77. CORNER
78. ADJACENT PROPERTY	78. ADJACENT PROPERTY
79. ROAD	79. ROAD
80. WATER	80. WATER
81. FENCE	81. FENCE
82. UNDEVELOPED EASEMENT	82. UNDEVELOPED EASEMENT
83. ENCUMBRANCE	83. ENCUMBRANCE
84. SURVEY MARKER	84. SURVEY MARKER
85. CORNER	85. CORNER
86. ADJACENT PROPERTY	86. ADJACENT PROPERTY
87. ROAD	87. ROAD
88. WATER	88. WATER
89. FENCE	89. FENCE
90. UNDEVELOPED EASEMENT	90. UNDEVELOPED EASEMENT
91. ENCUMBRANCE	91. ENCUMBRANCE
92. SURVEY MARKER	92. SURVEY MARKER
93. CORNER	93. CORNER
94. ADJACENT PROPERTY	94. ADJACENT PROPERTY
95. ROAD	95. ROAD
96. WATER	96. WATER
97. FENCE	97. FENCE
98. UNDEVELOPED EASEMENT	98. UNDEVELOPED EASEMENT
99. ENCUMBRANCE	99. ENCUMBRANCE
100. SURVEY MARKER	100. SURVEY MARKER

JOB NUMBER:	15103.000
SURVEY DATE:	10/22/15
FIELD BOOK:	1507
PLAT FILE:	15103.000
DRAWING FILE:	15103.000

REVISIONS:	

ARON D. BISHMAN, P.S.M. FLORIDA REGISTRATION NO. 5668

BISHMAN
 Surveying & Mapping, Inc.
 CERTIFICATE OF AUTHORIZATION LB 7274
 32 W. PLANT STREET Phone No. 407.905.8877
 WINTER GARDEN, FL 34787 Fax No. 407.905.8876

SECTION	7	SHEET	1
TOWNSHIP	23 SOUTH	RANGE	28 EAST
		OF	1

windermere fl



For Sale

Up to \$200k

Bed

Home type

Mo

